

# COTTON AVENUE PLAZA

## ISSUED FOR BID

AUGUST 2022

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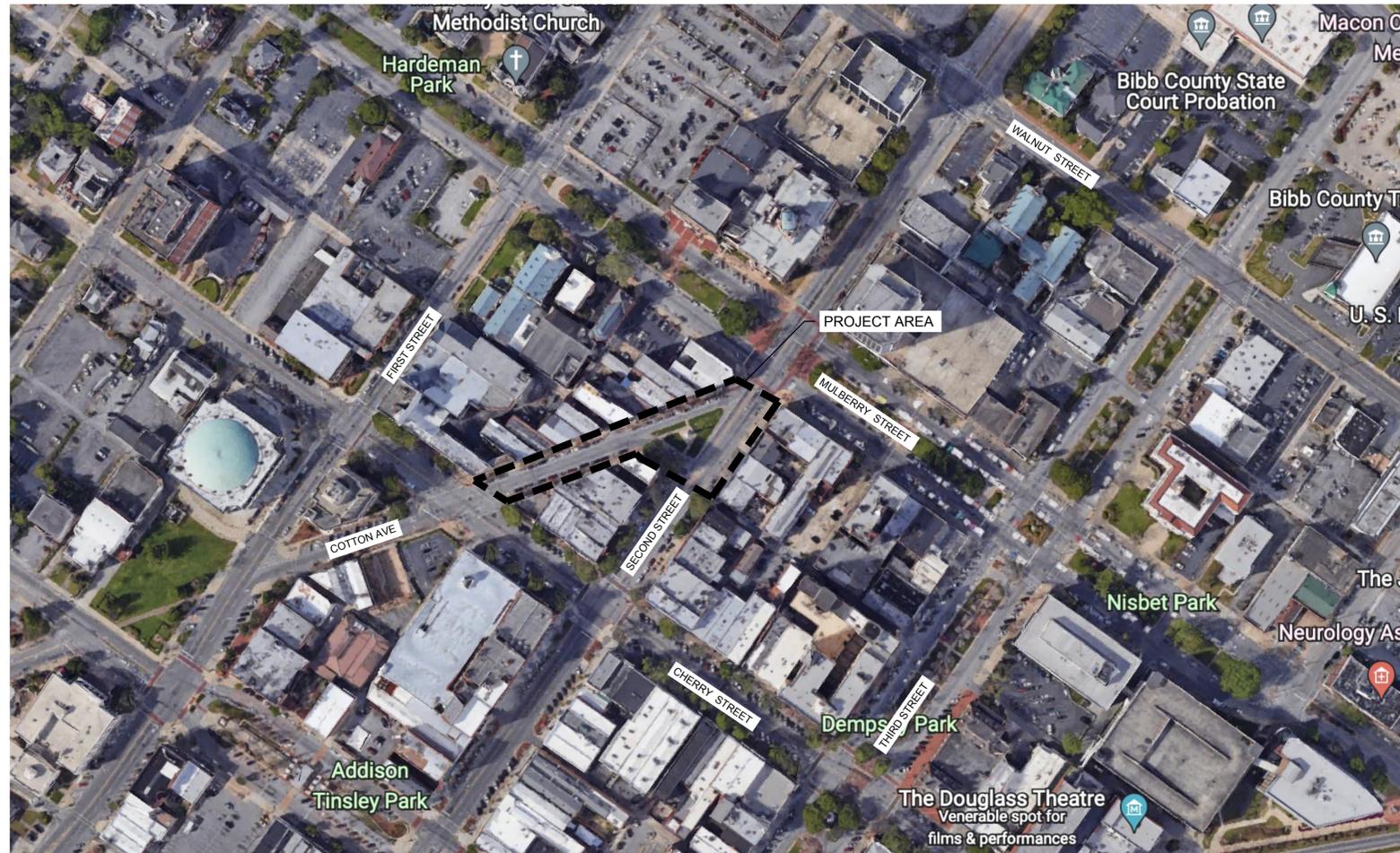
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### **VICINITY MAP**

Location: Downtown Macon  
Macon, Georgia







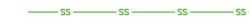
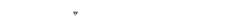
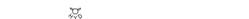
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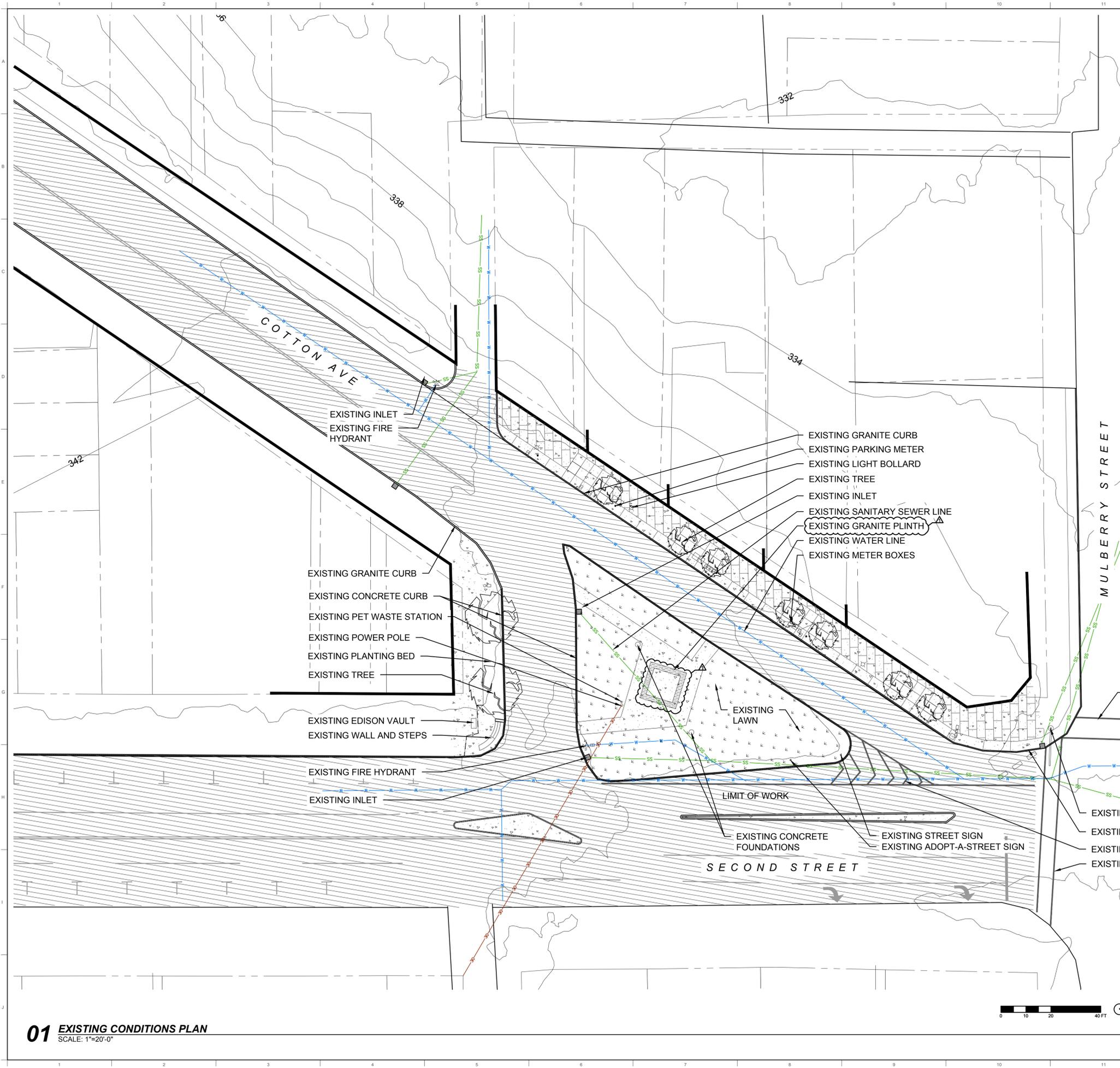
**COTTON AVE PLAZA**  
MACON, GA 31201

**EXISTING CONDITIONS LEGEND**

-  EXISTING SEWER LINE
-  EXISTING WATER LINE
-  EXISTING OVERHEAD ELEC LINE
-  EXISTING CURB
-  EXISTING CONCRETE
-  EXISTING ASPHALT
-  EXISTING LAWN AREA
-  EXISTING LIGHT POLE
-  EXISTING INLET
-  EXISTING BOLLARD LIGHT
-  EXISTING PARKING METER
-  EXISTING STREET SIGN
-  EXISTING METER BOX
-  EXISTING FIRE HYDRANT
-  EXISTING TREE

**NOTES**

1. NO SURVEY WAS CONDUCTED FOR THIS PROJECT. THE EXISTING CONDITION PLAN WAS CREATED THROUGH GIS DATA AND FIELD OBSERVATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, OBJECTS, AND UTILITIES IN FIELD.



**01 EXISTING CONDITIONS PLAN**  
SCALE: 1"=20'-0"

KEY PLAN:

REVISIONS:	DATE	DESCRIPTION
1	08-03-2022	ADDENDUM

DRAWN: LF      REVIEWED: WT

DATE: AUGUST 3, 2022

EXISTING  
CONDITIONS PLAN

SHEET:

**L0.1**



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**PROTECTION LEGEND**

- PROTECT EXISTING STORM SEWER LINE
- PROTECT EXISTING WATER LINE
- PROTECT EXISTING CURB
- PROTECT EXISTING CONCRETE
- PROTECT EXISTING INLET
- PROTECT EXISTING STREET SIGN
- PROTECT EXISTING METER BOX
- PROTECT EXISTING HYDRANT

**DEMOLITION LEGEND**

- REMOVE EXISTING OVERHEAD ELECTRICAL LINE
- REMOVE EXISTING CURB
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING ASPHALT
- REMOVE EXISTING LIGHT POLE
- REMOVE EXISTING BOLLARD LIGHT
- REMOVE EXISTING PARKING METER
- REMOVE EXISTING STREET SIGN
- REMOVE EXISTING TREE
- REMOVE EXISTING LAWN

**NOTES**

1. INSTALL FULL FLUSH UTILITY BOX WHERE LIGHT BOLLARDS ARE REMOVED.
2. CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS PUT ON NOTICE THAT CONDITIONS MAY EXIST UNDERGROUND THAT ARE NOT SHOWN IN THE CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, LIGHTING, SANITARY SEWER, STORM SEWER, GAS LINES, & IRRIGATION CONDUITS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.
4. ADJUST ALL EXISTING UTILITY MANHOLE COVERS, VALVE BOXES, FIRE HYDRANTS AND UTILITY BOXES TO FINAL GRADE.
5. CONTRACTOR SHALL PROVIDE FOR EROSION CONTROL PER STATE AND LOCAL CODES DURING DEMOLITION.
6. THOROUGHLY CLEAN ALL AREAS AND SURFACES IMPACTED BY DEMOLITION PRIOR TO START OF NEW CONSTRUCTION.
7. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR BURIED UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES PRIOR TO AND DURING CONSTRUCTION.
8. PROTECT OCCUPIED AREAS BELOW DURING CONSTRUCTION. AREAS BELOW SHALL BE WATER-TIGHT WHILE WORK ABOVE IS TAKING PLACE. IF DEMOLITION IS REQUIRED IN AREAS BELOW TO FACILITATE NEW WORK, RESTORE TO ORIGINAL CONDITIONS. COORDINATE ACCESS WITH OWNER.

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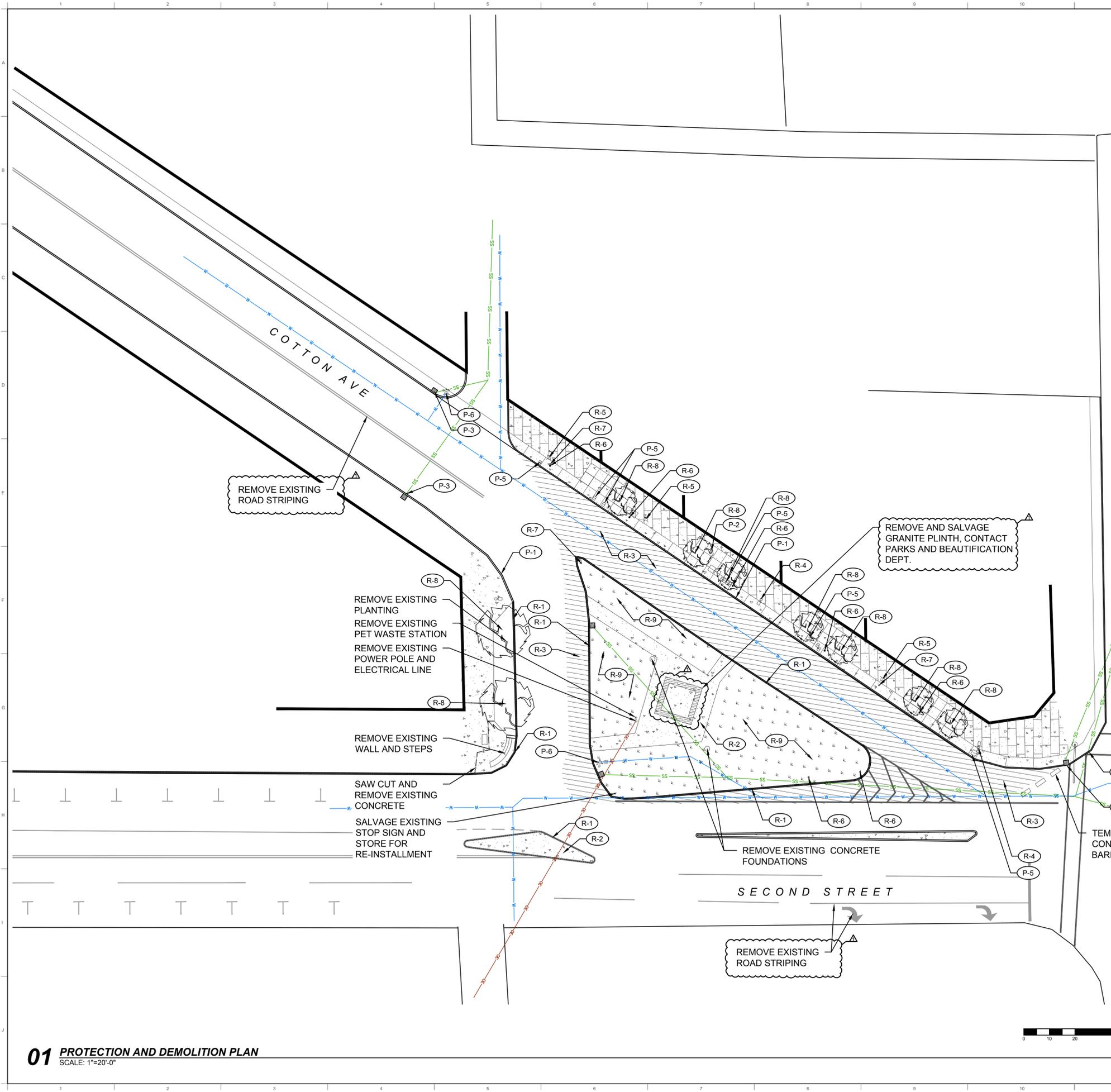
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PROTECTION & DEMOLITION PLAN

SHEET:

**L0.2**



**01 PROTECTION AND DEMOLITION PLAN**  
SCALE: 1"=20'-0"





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**SITE LEGEND & DETAIL KEYNOTES**

PAVING	DETAIL
1.0 CONC. PAVING - STANDARD FINISH	1/L3.0
1.1 CONC. UNIT PAVERS	3/L3.0
1.2 GRANITE COBBLES	3/L3.1
1.3 EXISTING CONCRETE TO REMAIN	NA
1.4 ADA TACTILE WARNING STRIP	5/L3.0

SITE FURNISHINGS	DETAIL
2.0 PRECAST BENCH	1/L3.1
2.1 RESET EXISTING SIGNAGE	PER CITY STD
2.3 TRASH RECEPTACLE	PER CITY STD
2.4 STANDARD U BIKE RACK	2/L3.1
2.5 BOLLARD	

UTILITIES	DETAIL
3.0 LIGHT POLE	PER CITY STD
3.1 EXISTING HYDRANT TO REMAIN	
3.2 EXISTING METER BOXES TO REMAIN	
3.2 EXISTING INLET	
3.3 PROPOSED CURB INLET	PER CITY STD
3.4 PROPOSED ELECTRICAL	SEE L2.1

PLANTING	DETAIL
PROPOSED TREES - SEE PLANTING PLANS	
PLANTING AREA- SEE PLANTING PLANS	

EXISTING	DETAIL
EXISTING SEWER LINE	
EXISTING WATER LINE	

- NOTES**
- CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES THAT ARE WITHIN 5' OF ALL PLANNED FOR UTILITIES AND TO POTHOLE ALL UTILITIES THAT REQUIRE UTILITY CROSSING OR COORDINATION.
  - ALL SITE IMPROVEMENTS MUST BE FIELD SURVEYED AND STAKED BY CONTRACTOR. OWNER'S REPRESENTATIVE SHALL APPROVE STAKED LOCATION OF IMPROVEMENTS PRIOR TO INSTALLATION.
  - OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL APPROVE FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
  - PRIOR TO EXCAVATION, UNDERGROUND UTILITIES MUST BE FIELD VERIFIED (SEE GENERAL NOTES).
  - DO NOT SCALE THE PLANS. DIMENSIONS SUPERSEDE DRAWING SCALES. VERIFY LAYOUT PRIOR TO EXCAVATION.
  - DIMENSIONS ARE DRAWN TO FACE OF CURB, WALL, AND EDGE UNLESS OTHERWISE SPECIFIED.
  - IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE SPECIFICATIONS WILL SUPERSEDE PLANS.

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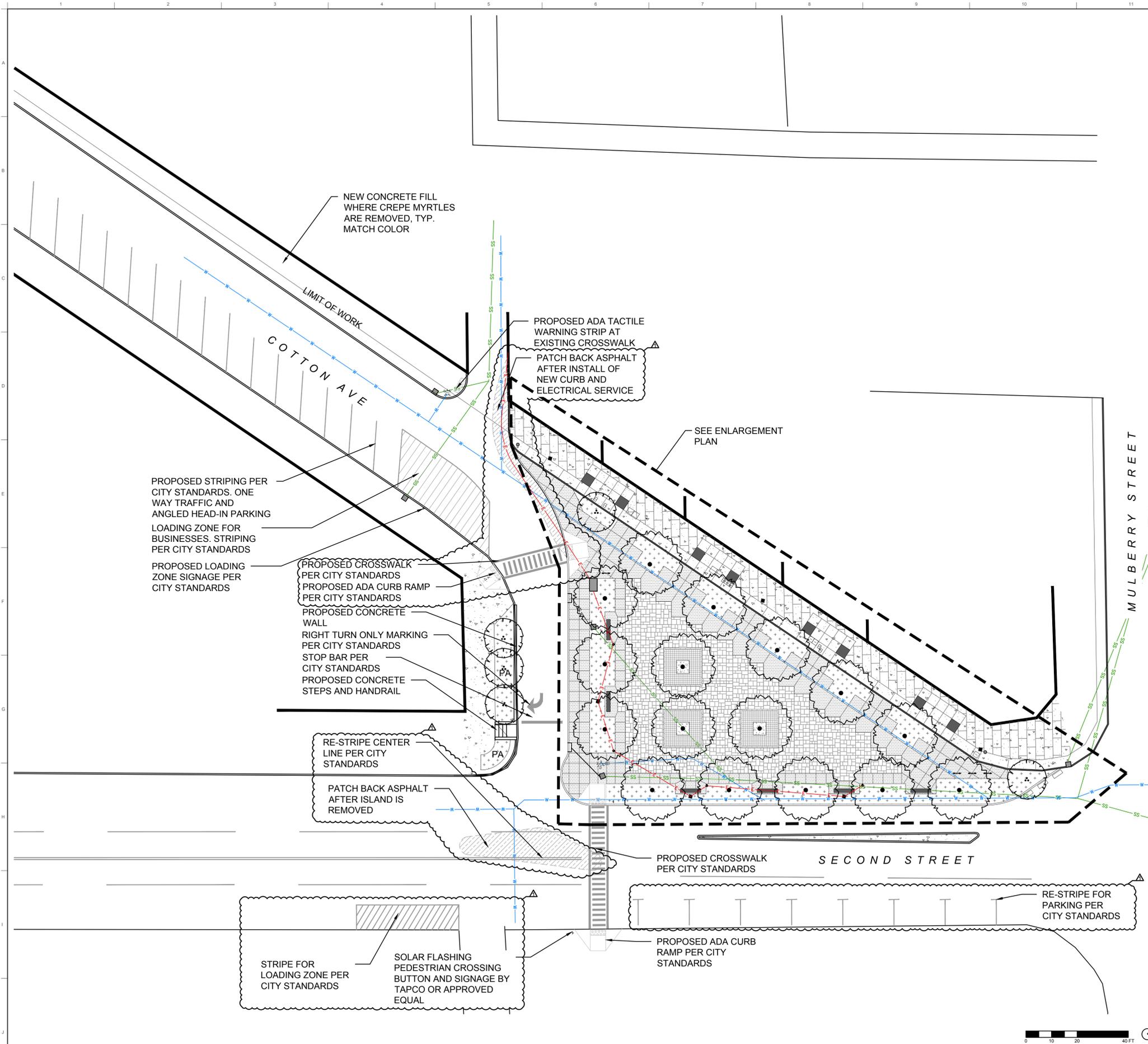
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LAYOUT & MATERIALS PLAN

SHEET:

**L1.0**



NEW CONCRETE FILL WHERE CREPE MYRTLES ARE REMOVED, TYP. MATCH COLOR

LIMIT OF WORK

COTTON AVE

PROPOSED STRIPING PER CITY STANDARDS. ONE WAY TRAFFIC AND ANGLED HEAD-IN PARKING

LOADING ZONE FOR BUSINESSES. STRIPING PER CITY STANDARDS

PROPOSED LOADING ZONE SIGNAGE PER CITY STANDARDS

PROPOSED CROSSWALK PER CITY STANDARDS

PROPOSED ADA CURB RAMP PER CITY STANDARDS

PROPOSED CONCRETE WALL

RIGHT TURN ONLY MARKING PER CITY STANDARDS

STOP BAR PER CITY STANDARDS

PROPOSED CONCRETE STEPS AND HANDRAIL

RE-STRIPE CENTER LINE PER CITY STANDARDS

PATCH BACK ASPHALT AFTER ISLAND IS REMOVED

PROPOSED ADA TACTILE WARNING STRIP AT EXISTING CROSSWALK

PATCH BACK ASPHALT AFTER INSTALL OF NEW CURB AND ELECTRICAL SERVICE

SEE ENLARGEMENT PLAN

MULBERRY STREET

SECOND STREET

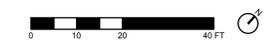
RE-STRIPE FOR PARKING PER CITY STANDARDS

PROPOSED ADA CURB RAMP PER CITY STANDARDS

STRIPE FOR LOADING ZONE PER CITY STANDARDS

SOLAR FLASHING PEDESTRIAN CROSSING BUTTON AND SIGNAGE BY TAPCO OR APPROVED EQUAL

**01 LAYOUT & MATERIALS PLAN**  
SCALE: 1"=20'-0"





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	1.3 EXISTING CONCRETE TO REMAIN NA
	1.4 ADA TACTILE WARNING STRIP 5/L3.0

SITE FURNISHINGS	DETAIL
	2.0 PRECAST BENCH 1/L3.1
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	2.5 BOLLARD

UTILITIES	DETAIL
	3.0 LIGHT POLE PER CITY STD
	3.1 EXISTING HYDRANT TO REMAIN
	3.2 EXISTING METER BOXES TO REMAIN
	3.2 EXISTING INLET
	3.3 PROPOSED CURB INLET PER CITY STD
	3.4 PROPOSED ELECTRICAL SEE L2.1

PLANTING	DETAIL
	PROPOSED TREES - SEE PLANTING PLANS
	PLANTING AREA- SEE PLANTING PLANS

EXISTING	DETAIL
	EXISTING SEWER LINE
	EXISTING WATER LINE

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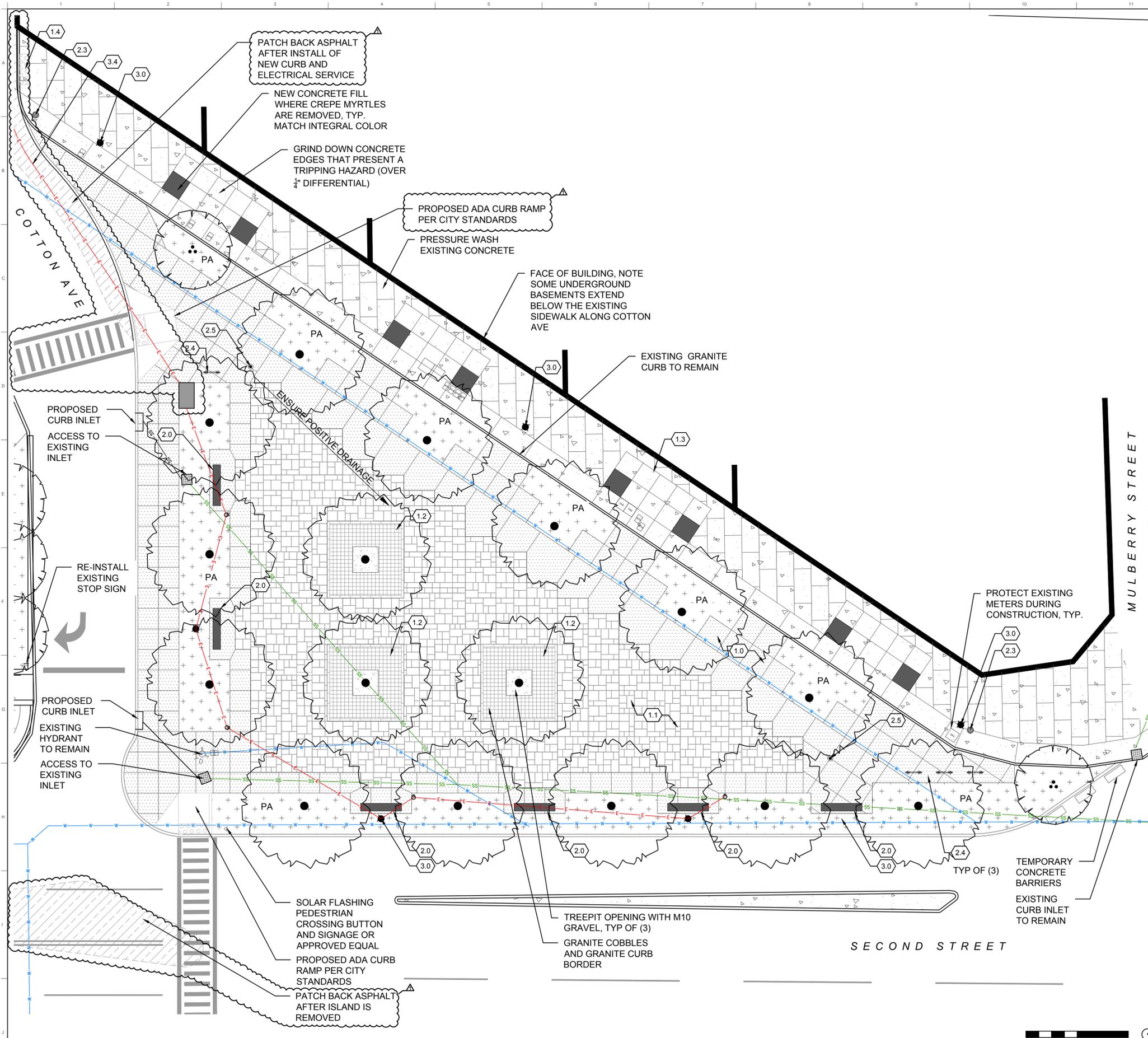
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LAYOUT & MATERIALS PLAN ENLARGEMENT

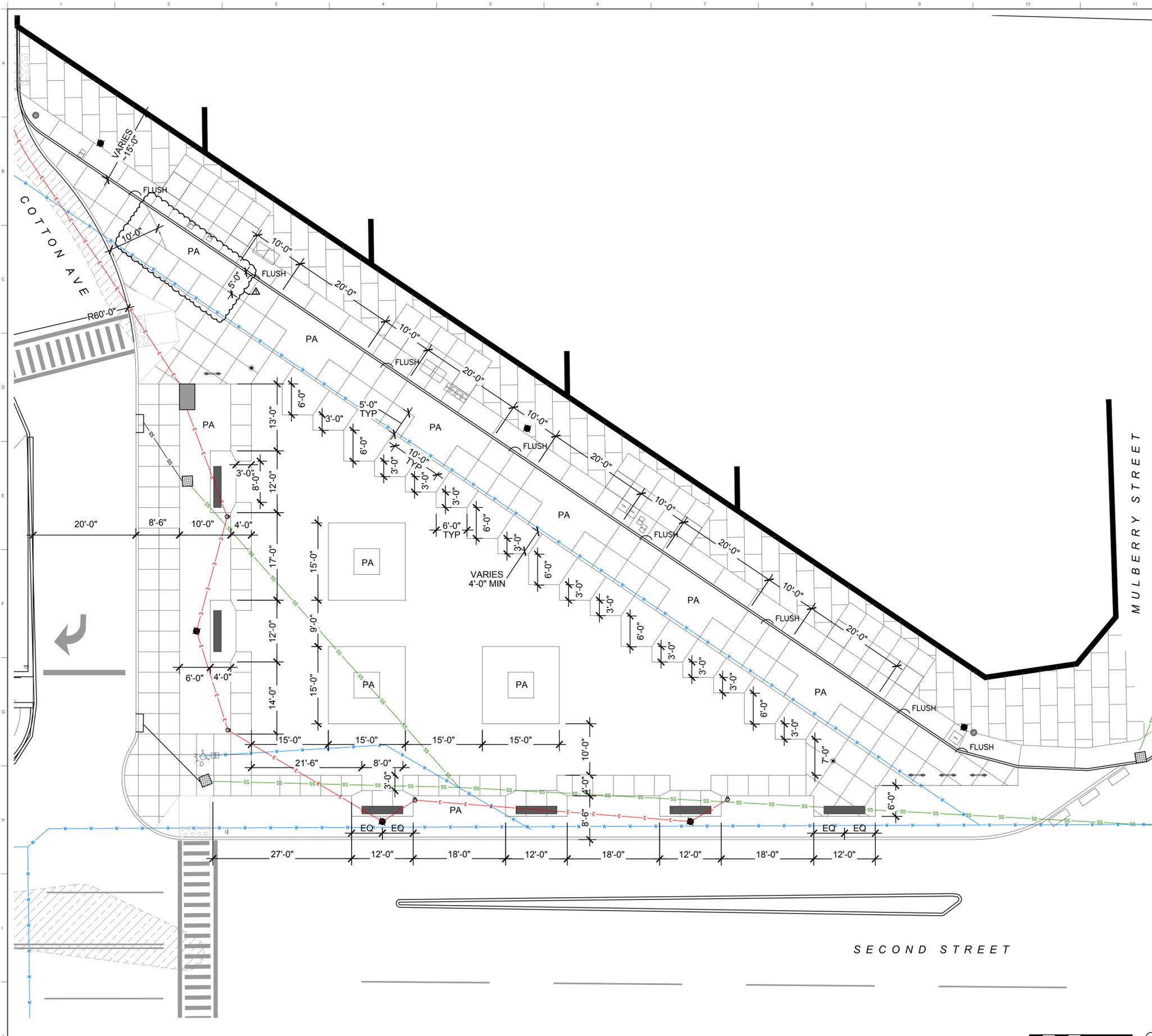
SHEET:

**L1.1**



**01 LAYOUT & MATERIALS PLAN ENLARGEMENT**  
SCALE: 1"=10'-0"





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UTILITIES	DETAIL
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3.1 EXISTING HYDRANT TO REMAIN	
3.2 EXISTING METER BOXES TO REMAIN	
3.2 EXISTING INLET	
3.3 PROPOSED CURB INLET	PER CITY STD
3.4 PROPOSED ELECTRICAL	SEE L2.1

**PLANTING**

- PROPOSED TREES - SEE PLANTING PLANS
- PLANTING AREA- SEE PLANTING PLANS

**EXISTING**

- EXISTING SEWER LINE
- EXISTING WATER LINE

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**01 DIMENSION PLAN**  
SCALE: 1"=10'-0"

KEY PLAN:

**REVISIONS:**

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DIMENSION PLAN

SHEET:

**L1.2**



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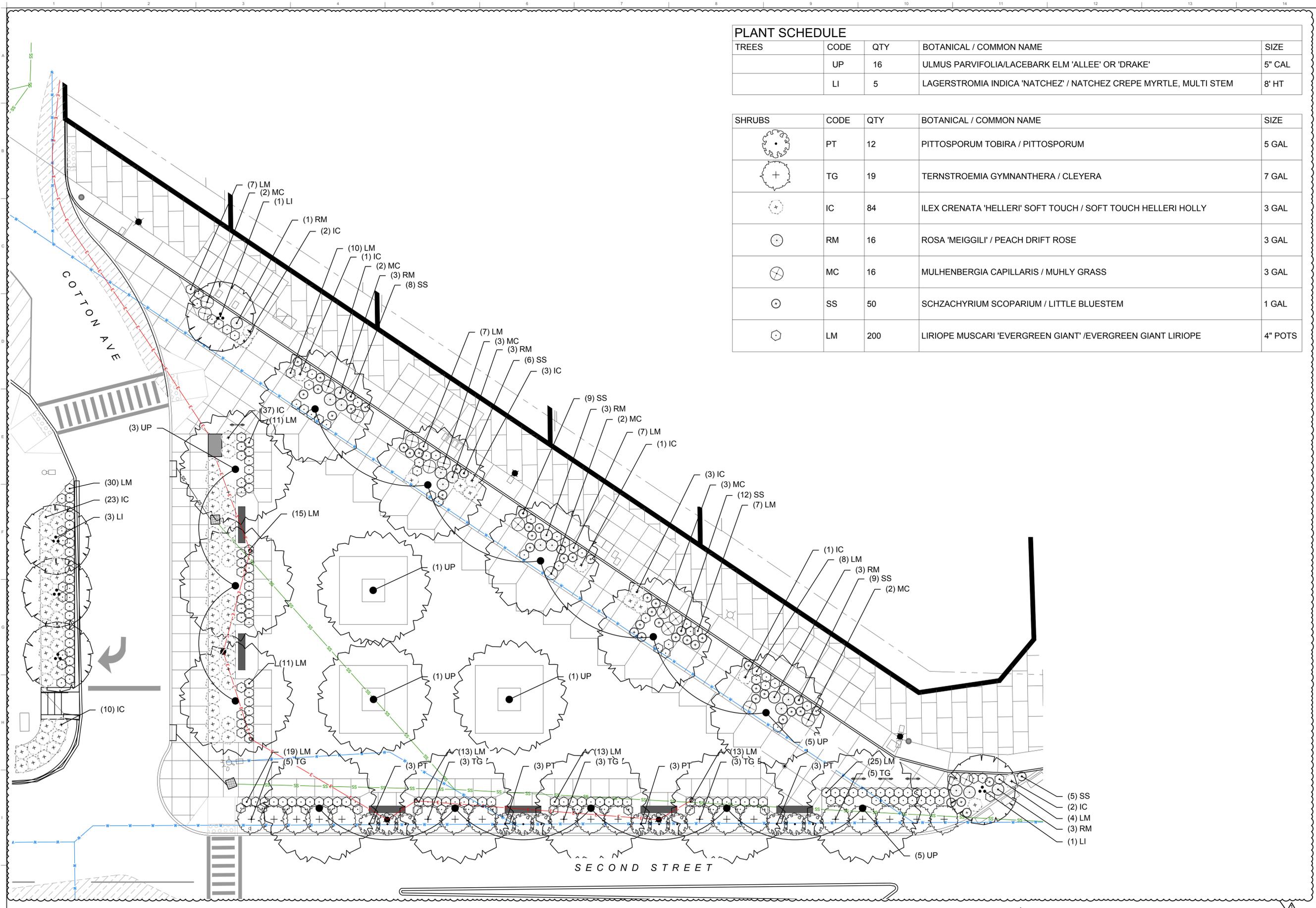
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**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	UP	16	ULMUS PARVIFOLIA/LACEBARK ELM 'ALLEE' OR 'DRAKE'	5" CAL
	LI	5	LAGERSTROMIA INDICA 'NATCHEZ' / NATCHEZ CREPE MYRTLE, MULTI STEM	8' HT

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	PT	12	PITTOSPORUM TOBIRA / PITTOSPORUM	5 GAL
	TG	19	TERNSTROEMIA GYMNANTHERA / CLEYERA	7 GAL
	IC	84	ILEX CRENATA 'HELLER' / SOFT TOUCH / SOFT TOUCH HELLERI HOLLY	3 GAL
	RM	16	ROSA 'MEIGGILI' / PEACH DRIFT ROSE	3 GAL
	MC	16	MULHENBERGIA CAPILLARIS / MUHLY GRASS	3 GAL
	SS	50	SCHZACHYRIUM SCOPARIUM / LITTLE BLUESTEM	1 GAL
	LM	200	LIRIOPE MUSCARI 'EVERGREEN GIANT' / EVERGREEN GIANT LIRIOPE	4" POTS



**01 PLANTING PLAN**  
SCALE: 1"=10'-0"

KEY PLAN:

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PLANTING PLAN

SHEET:

**L2.0**

**IRRIGATION AND ELECTRICAL NOTES**

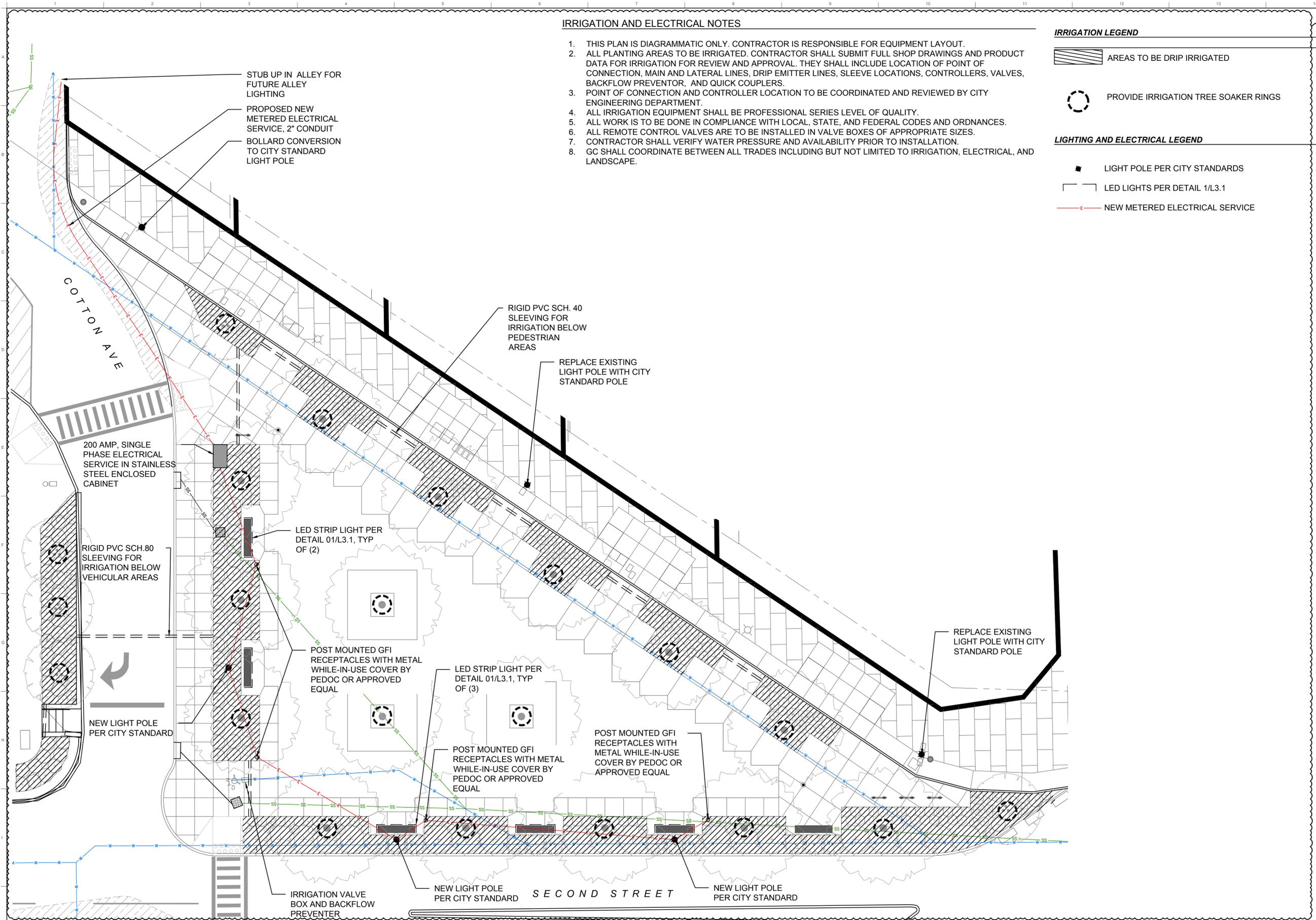
1. THIS PLAN IS DIAGRAMMATIC ONLY. CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT LAYOUT.
2. ALL PLANTING AREAS TO BE IRRIGATED. CONTRACTOR SHALL SUBMIT FULL SHOP DRAWINGS AND PRODUCT DATA FOR IRRIGATION FOR REVIEW AND APPROVAL. THEY SHALL INCLUDE LOCATION OF POINT OF CONNECTION, MAIN AND LATERAL LINES, DRIP EMITTER LINES, SLEEVE LOCATIONS, CONTROLLERS, VALVES, BACKFLOW PREVENTOR, AND QUICK COUPLERS.
3. POINT OF CONNECTION AND CONTROLLER LOCATION TO BE COORDINATED AND REVIEWED BY CITY ENGINEERING DEPARTMENT.
4. ALL IRRIGATION EQUIPMENT SHALL BE PROFESSIONAL SERIES LEVEL OF QUALITY.
5. ALL WORK IS TO BE DONE IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
6. ALL REMOTE CONTROL VALVES ARE TO BE INSTALLED IN VALVE BOXES OF APPROPRIATE SIZES.
7. CONTRACTOR SHALL VERIFY WATER PRESSURE AND AVAILABILITY PRIOR TO INSTALLATION.
8. GC SHALL COORDINATE BETWEEN ALL TRADES INCLUDING BUT NOT LIMITED TO IRRIGATION, ELECTRICAL, AND LANDSCAPE.

**IRRIGATION LEGEND**

-  AREAS TO BE DRIP IRRIGATED
-  PROVIDE IRRIGATION TREE SOAKER RINGS

**LIGHTING AND ELECTRICAL LEGEND**

-  LIGHT POLE PER CITY STANDARDS
-  LED LIGHTS PER DETAIL 1/L3.1
-  NEW METERED ELECTRICAL SERVICE



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IRRIGATION AND ELECTRICAL PLAN

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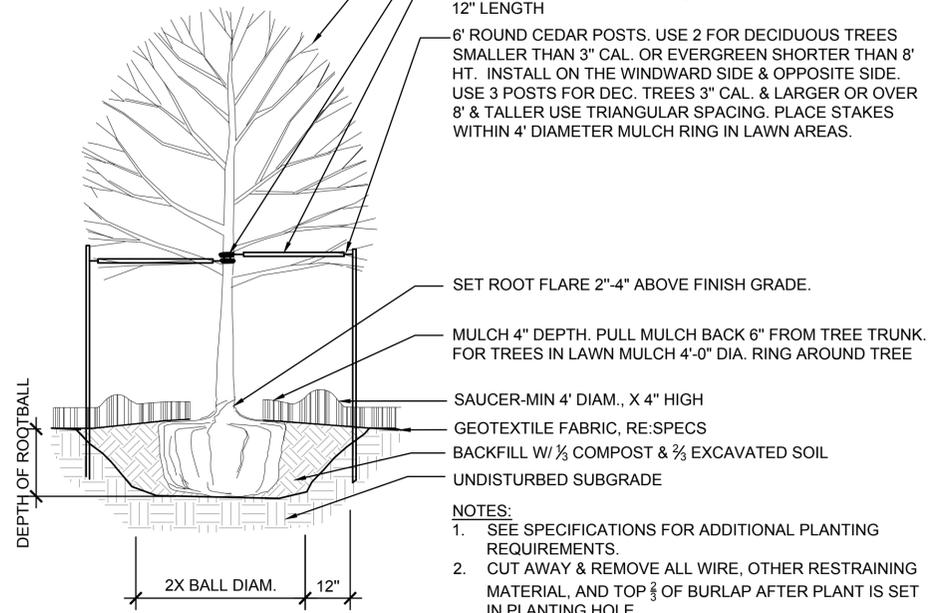
**L2.1**







- 2 POLES - TREES UNDER 3" CAL.
- 3 GUY WIRES - TREES OVER 3" CAL.

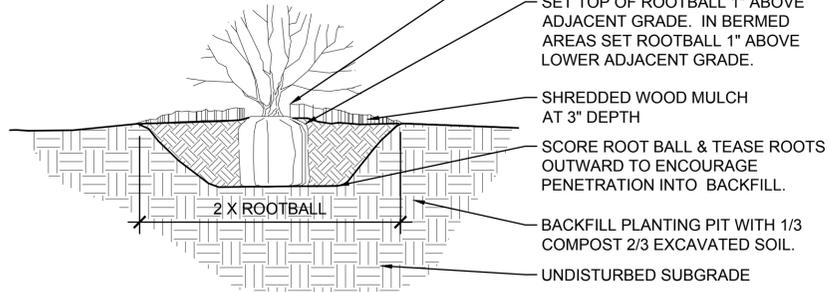


**01 TREE PLANTING - DECIDUOUS**  
1"=1'-0"

- PRUNE ONLY DEAD OR BROKEN LIMBS
- 2" WIDE CANVAS STRAP W/GROMMETS
- 14 GAUGE GALV. WIRE WITH 1/2" WHITE PVC ON EACH WIRE 12" LENGTH
- 6" ROUND CEDAR POSTS. USE 2 FOR DECIDUOUS TREES SMALLER THAN 3" CAL. OR EVERGREEN SHORTER THAN 8' HT. INSTALL ON THE WINDWARD SIDE & OPPOSITE SIDE. USE 3 POSTS FOR DEC. TREES 3" CAL. & LARGER OR OVER 8' & TALLER USE TRIANGULAR SPACING. PLACE STAKES WITHIN 4' DIAMETER MULCH RING IN LAWN AREAS.

- SET ROOT FLARE 2"-4" ABOVE FINISH GRADE.
- MULCH 4" DEPTH. PULL MULCH BACK 6" FROM TREE TRUNK. FOR TREES IN LAWN MULCH 4'-0" DIA. RING AROUND TREE
- SAUCER-MIN 4' DIAM., X 4" HIGH
- GEOTEXTILE FABRIC, RE: SPECS
- BACKFILL W/ 1/2 COMPOST & 1/2 EXCAVATED SOIL
- UNDISTURBED SUBGRADE

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS.
  - CUT AWAY & REMOVE ALL WIRE, OTHER RESTRAINING MATERIAL, AND TOP 1/3 OF BURLAP AFTER PLANT IS SET IN PLANTING HOLE.
  - SCARIFY PIT WALLS.
  - PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.



- NOTES:**
- SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.
  - PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.
  - REMOVE ALL TWINE FROM ROOT BALL, AND FOLD BURLAP BACK 2/3.
  - REMOVE PLASTIC BURLAP ENTIRELY. FOR CONTAINER SHRUBS, CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.
  - SEE PLANTING PLAN FOR MORE INFORMATION.

**02 PLANTING - SURHB**  
1"=1'-0"

- PULL MULCH MIN. 3" BACK FROM SHRUB BASE
- SET TOP OF ROOTBALL 1" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 1" ABOVE LOWER ADJACENT GRADE.
- SHREDDED WOOD MULCH AT 3" DEPTH
- SCORE ROOT BALL & TEASE ROOTS OUTWARD TO ENCOURAGE PENETRATION INTO BACKFILL.
- BACKFILL PLANTING PIT WITH 1/3 COMPOST 2/3 EXCAVATED SOIL.
- UNDISTURBED SUBGRADE



Wimberly Treadwell  
LANDSCAPE ARCHITECT  
840 HIGH STREET  
MACON, GA 31201  
478.808.0391



OAK HAVEN  
STUDIO  
986 COLE STREET  
MACON, GA 31201  
478.747.0250

**COTTON AVE PLAZA**  
MACON, GA 31201

KEY PLAN:

REVISIONS:		
#	DATE	DESCRIPTION
1	08-03-2022	ADDENDUM

DRAWN: LF      REVIEWED: WT

DATE: AUGUST 3, 2022

PLANTING DETAILS

SHEET:

**L3.2**