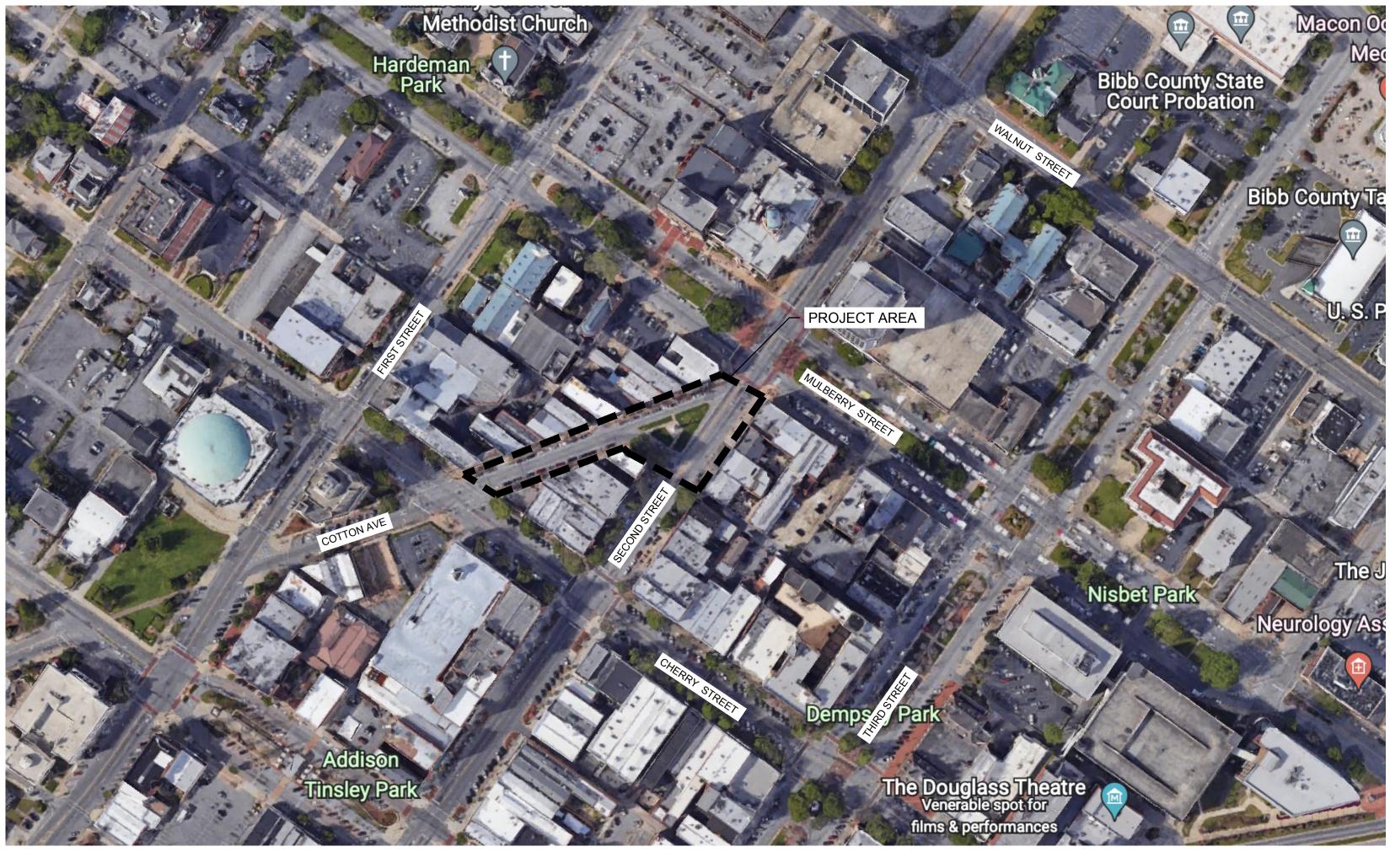
COTTON AVENUE PLAZA ISSUED FOR BID



VICINITY MAP Location: Downtown Macon Macon, Georgia

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840 HIGH STREET MACON, GA 31201 478.808.0391



AUGUST 2022

	RAL NOT	TES			DE	MOLITION & PROTECTION N	OTES			<u>LA</u>	NDSCAPE NOTES			
		OR SHALL FIELD VERIFY ALL IT R'S REPRESENTATIVE PRIOR		RING REMOVAL AND PROTECTION UCTION.	N 1.	NO SURVEY WAS CONDUCTED F WAS CREATED THROUGH GIS D VERIFY ALL DIMENSIONS, OBJEC	ATA AND F	IELD OBSERVATION. CONTRACT		1.		NTATIVE SH	T BE FIELD SURVEYED AND ST IALL APPROVE STAKED LOCAT	
RE CC	EMOVED O	OR SHALL VERIFY LOCATIONS OR RELOCATED WITH OWNER'S FION. CONTRACTOR SHALL MA MAIN FOR THE APPROVAL OF (S REPRESEN NRK/FLAG IN	NTATIVE PRIOR TO START OF DIVIDUAL TREES TO BE REMOVED		CONTRACTOR TO POTHOLE ALL PLANNED FOR UTILITIES AND TO CROSSING OR COORDINATION.				2.		RACTOR OF	R LANDSCAPE ARCHITECT SHA ALL CONCRETE FLATWORK PF O POURING.	
AL	L UTILITY	OMMENCING DEMOLITION OPE LOCATOR SERVICES AND CO WITHIN THE LIMITS OF WORK.	NFIRM ALL S	CONTRACTOR SHALL CONTACT SERVICE LINES AND UTILITY	3.	CONTRACTOR SHALL FIELD VER PRIOR TO CONSTRUCTION.	IFY ALL DE	EMOLITION WITH OWNER'S REPR	ESENTATIVE	3.	CONSTRUCTION. AI	NY DEVIATIO	LD VERIFIED BY CONTRACTOR ON FROM THESE PLANS MUST R LANDSCAPE ARCHITECT PRI	В
4. CC	ONTRACTO		OVE AND DIS	SPOSE OF ALL PLANT MATERIALS, DLITION.		THE CONTRACTOR IS PUT ON NO THAT ARE NOT SHOWN IN THE C TO, LIGHTING, SANITARY SEWER	ONSTRUC	TION PLANS INCLUDING, BUT NO	T LIMITED			_	RGROUND UTILITIES MUST BE	-
TH	HAT ARE NO	OT SHOWN IN THE CONSTRUC	CTION PLAN	ROUND IMPROVEMENTS MAY EXIS S INCLUDING, BUT NOT LIMITED ICATION CONDUITS, PIPES, AND		THE CONTRACTOR SHALL IMME UNANTICIPATED CONDITIONS AF CONTRACTOR SHALL THOROUG	RE ENCOU	NTERED DURING CONSTRUCTION	N.	5.		LL VERTICA	NNECTION AND ¹ / ₂ " EXPANSION L INTERSECTIONS BETWEEN N	
ST NC	ORM DRAI	IN AND SEWER CONNECTIONS	6. THE CON	TRACTOR SHALL IMMEDIATELY IKNOWN IMPROVEMENTS ARE		MATERIAL AREAS SHOWN FOR D	EMOLITIO	N. EMOLITION OPERATIONS WITH A		6.	SAW CUT CONTROL DETAILS. EXPANSIO	JOINTS SH	ALL BE SPACED AS INDICATED HALL BE PLACED EVERY 100LF	F
PR MA	REVIOUSLY AY NOT HA	VE BEEN KNOWN DURING DE	AND/OR GRA SIGN. SUCH			TRADES PERFORMING WORK OF CONTRACTOR SHALL REPLACE UTILITIES, AND SITE IMPROVEME	OR REPAIR	R TO ORIGINAL CONDITION ALL B ARE NOT DESIGNATED FOR REM	MOVAL, AND	7.	THE FIELD WITH TH	e owner's Plans. Dir	MENSIONS SUPERSEDE DRAW	
DII RE	RECTION.	THE CONTRACTOR SHALL AS: AND REPAIR COSTS THAT ARE	SUME RESP	OWNER'S REPRESENTATIVE FOR ONSIBILITY FOR ALL NECESSARY T OF FAILURE TO GIVE SUCH		THAT ARE DAMAGED AS A RESU ADDITIONAL COST TO OWNER. CONTRACTOR SHALL CAREFULL		ISTRUCTION OPERATIONS, AT NO		8.	LAYOUT PRIOR TO DIMENSIONS ARE D		N. ACE OF CURB, WALL, AND EDG	GI
7. CC UN	ONTRACTO	OR SHALL BE RESPONSIBLE FO	RUCTURES.			EXISTING SIGNAGE, PAVERS, SC BOXES, TELEPHONE, ELECTRICA ITEMS AS REQUIRED AND DIREC	ULPTURES L, CABLE TED BY OV	S, MANHOLE COVERS, VALVE CO PEDESTALS, AND OTHER MISCEL WNER'S REPRESENTATIVE, UNLE	OVERS AND LANEOUS SS	9.		-	ETWEEN THE PLANS AND SPEC EDE PLANS.	С
8. CC	ONTRACTO	LITY FOR ANY COST INCURRE OR IS RESPONSIBLE FOR SECU PERMITS, ALL REQUIRED CIT	JRING AND I			OTHERWISE NOTED. STOCKPILE SHALL LOCATE AND INSTALL TH EXCEPT AS OTHERWISE DIRECT	ESE ITEMS	SAS THEY WERE ORIGINALLY INS			ANTING NOTES THE CONTRACTOR	SHALL SUPI	PLY ALL PLANTS IN QUANTITIE	
		OR TO INSTALL ALL HARDSCAF			9.	CONTRACTOR SHALL PROTECT CONDUIT, CONNECTIONS AND I CONSTRUCTION, AT NO ADDITIC	MEDIATE	LY RESTORE THEM WHEN DISRU	,		COMPLETE THE WO BETWEEN QUANTIT	ORK SHOWN IES SHOWN	ON THE PLAN. SHOULD ANY IN THE PLANT LIST AND THOS IALL TAKE PRECEDENCE.	′ [
SL CC	JBCONTRA DORDINATI	E CONSTRUCTION WITH OTHE	F SCOPE OF	WORK. CONTRACTOR SHALL		COORDINATE ADDITIONAL DEMO CONSTRUCTION ACCESS AND S	FAGING.			2.	TO INSTALLATION. SPECIFICATIONS O	CONTRACT	E REVIEWED BY THE OWNER'S OR SHALL INSURE PLANT MAT RICAN STANDARDS FOR NURSE	E
11. CC				DRAWINGS FOR APPROVAL PER	11.	DEMOLITION WORK ADJACENT T MAINTAIN AN INTACT EDGE. DAI REQUIRE ADDITIONAL SAWCUTT BE REMOVED AT EXISTING JOIN	/AGE TO T ING, REMO	THE EXISTING EDGE OF PAVEMENT OVAL AND REPLACEMENT. CONC	NT WILL	. 3.	CONTRACTOR SHA	L FURNISH	E AMERICAN ASSOCIATION OF PLANT MATERIALS FREE OF P MATERIAL MUST BE INSPECTED	РΕ
-		TED TO MEET THE APPROVED			12.	ADJUST ALL EXISTING UTILITY M UTILITY BOXES TO FINAL GRADE	ANHOLE C		ORANTS AND		AND CERTIFIED PE	ST AND DISE ANT MATERI	EASE FREE. IT IS THE CONTRAC ALS PER THE SPECIFICATIONS	IC S.
						CONTRACTOR SHALL PROVIDE F					DETERMINE CONFL STAKE PLANT LOCA	ICTS OR INT	TREE LAYOUT WITH OWNER'S I ERFERENCE PRIOR TO STAKIN THE REVIEW BY THE OWNER'S R TO DIGGING PLANTING PITS.	N S
						START OF NEW CONSTRUCTION	ES NO RES	SPONSIBILITY FOR BURIED UTILI	TIES.		RELOCATE ANY PLA LANDSCAPE ARCHI	ANT AS DIRE TECT PRIOR	ECTED BY THE OWNER'S REPR R TO PLANTING AT NO ADDITIO	RE DN
					16	CONTRACTOR IS RESPONSIBLE TO AND DURING CONSTRUCTION PROTECT OCCUPIED AREAS BEI	۱.					CONTROL FA	BE COVERED WITH A MINIMUN ABRIC IS INSTALLED. SUBMIT N R TO INSTALLATION.	
					10.	WATER-TIGHT WHILE WORK ABO AREAS BELOW TO FACILITATE N COORDINATE ACCESS WITH OW	OVE IS TAK EW WORK	ING PLACE. IF DEMOLITION IS R	EQUIRED IN			DIRECTED E	ND LIMITS OF WORK DISTURBE BY OWNER'S REPRESENTATIVE OR'S EXPENSE.	
										7.			MIX/TOPSOIL TO REMAIN DUR MENT AT CONTRACTOR'S EXP	
	APPROX	ABBREVIATIONS APPROXIMATE	DIM	DIMENSION	GA	GUAGE	MAX	MAXIMUM	R	RADIUS		SS	STAINLESS STEEL	_
	@ ALT	ARCHITECT AT ALTERNATE	DWG E EA	DRAWINGS EAST EACH	GAL GALV GB	GALLON GALVANIZED GRADE BREAK	ME MH MIN	MEET EX. GRADE MANHOLE MINIMUM	RCP RE/REF REINF	REFEREN REINFOR	CED	STA STD	STORM SEWER STATION STANDARD	
	B&B BC BM	BALLED AND BURLAPPED BOTTOM OF CURB BENCH MARK	EJ EL ELEC	EXPANSION JOINT ELEVATION ELECTRICAL	GC GEN HDPE	GENERAL CONTRACTOR GENERAL HIGH DENSITY POLYETHYLENE	MISC N N/A	MISCELLANEOUS NORTH NOT APPLICABLE	REQ'D REV RIM	REQUIRE REVISION RIM ELE\	I, REVISED	STRUCT SY SYM	F STRUCTURAL SQUARE YARD SYMMETRICAL	
	BC BR	BACK OF CURB BOTTOM OF RAMP	ENG EQ	ENGINEER EQUAL	HORIZ HP	HORIZONTAL HIGH POINT	NIC NO	NOT IN CONTRACT NUMBER	ROW S	RIGHT-OI SOUTH	E-WAY	TBD TC	TO BE DETERMINED TOP OF CURB	
	BW CAL CJ	BOTTOM OF WALL CALIPER CONTROL JOINT	EW EX EX FL	EACH WAY EXISTING EXISTING FLOWLINE	HT/H ID IN	HEIGHT INSIDE DIAMETER INCHES	NOM NTS OC	NOMINAL NOT TO SCALE ON CENTER	SAN SCH SD	SANITAR SCHEDUI STORM E	E	TF THK TM	TOP OF FOOTING THICK TOP OF MONUMENT	
	CL	CONTROLIJOINT CENTERLINE CONCRETE	EX FL EXP FFE	EXISTING FLOWLINE EXPANSION FINISH FLOOR ELEVATION	IN INV IRR	INCHES INVERT ELEVATION IRRIGATION	OC OD PA	ON CENTER OUTSIDE DIAMETER PLANTING AREA	SD SEC SF	SECTION		TOPO TR	TOP OF MONUMENT TOPOGRAPHY TOP OF RAMP	
	CONC										· /			
	CONC CONT CU CY	CONTINUOUS CUBIC CUBIC YARD	FG FIN FL	FINISHED GRADE FINISH FLOWLINE	JT LIN LF	JOINT LINEAR LINEAR FEET	PED PERF PL	PEDESTRIAN PERFORATED PROPERTY LINE	SHT SI SIM	SHEET STORM II SIMILAR	NLET	TS TSL TW	TOP OF STEP TOP OF SLAB TOP OF WALL	

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- ONS.

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STAKED BY CONTRACTOR. CATION OF IMPROVEMENTS

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SHALL APPROVE FINAL **K PRIOR TO CONSTRUCTION**

TOR PRIOR TO ST BE APPROVED BY PRIOR TO CONSTRUCTION.

BE FIELD VERIFIED (SEE

ON JOINT MATERIAL AND EN NEW AND EXISTING

TED ON THE PLANS AND OULF ALONG CONCRETE TS AND EXPANSION JOINTS IN

AWING SCALES. VERIFY

EDGE UNLESS OTHERWISE

PECIFICATIONS, THE

TIES SUFFICIENT TO NY DISCREPANCIES EXIST IOSE SHOWN IN THE

R'S REPRESENTATIVE PRIOR IATERIAL MEET THE RSERY STOCK (LATEST OF NURSERYMEN.

F PESTS OR PLANT DISEASES. TED BY THE CONTRACTOR RACTOR'S OBLIGATION TO

R'S REPRESENTATIVE TO AKING. CONTRACTOR SHALL ER'S REPRESENTATIVE OR TS. THE CONTRACTOR SHALL PRESENTATIVE OR TIONAL COST TO THE OWNER.

IUM OF 4 INCH DEPTH MULCH, T MULCH SAMPLE TO

RBED BY CONSTRUCTION IVE, SHALL BE REPAIRED OR

DURING CONSTRUCTION WILL

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VERT VERTICAL VERIFY IN FIELD VIF W WEST W/ WITH WITHOUT W/O WELDED WIRE FABRIC WELDED WIRE MESH WWF WWM YD YARD

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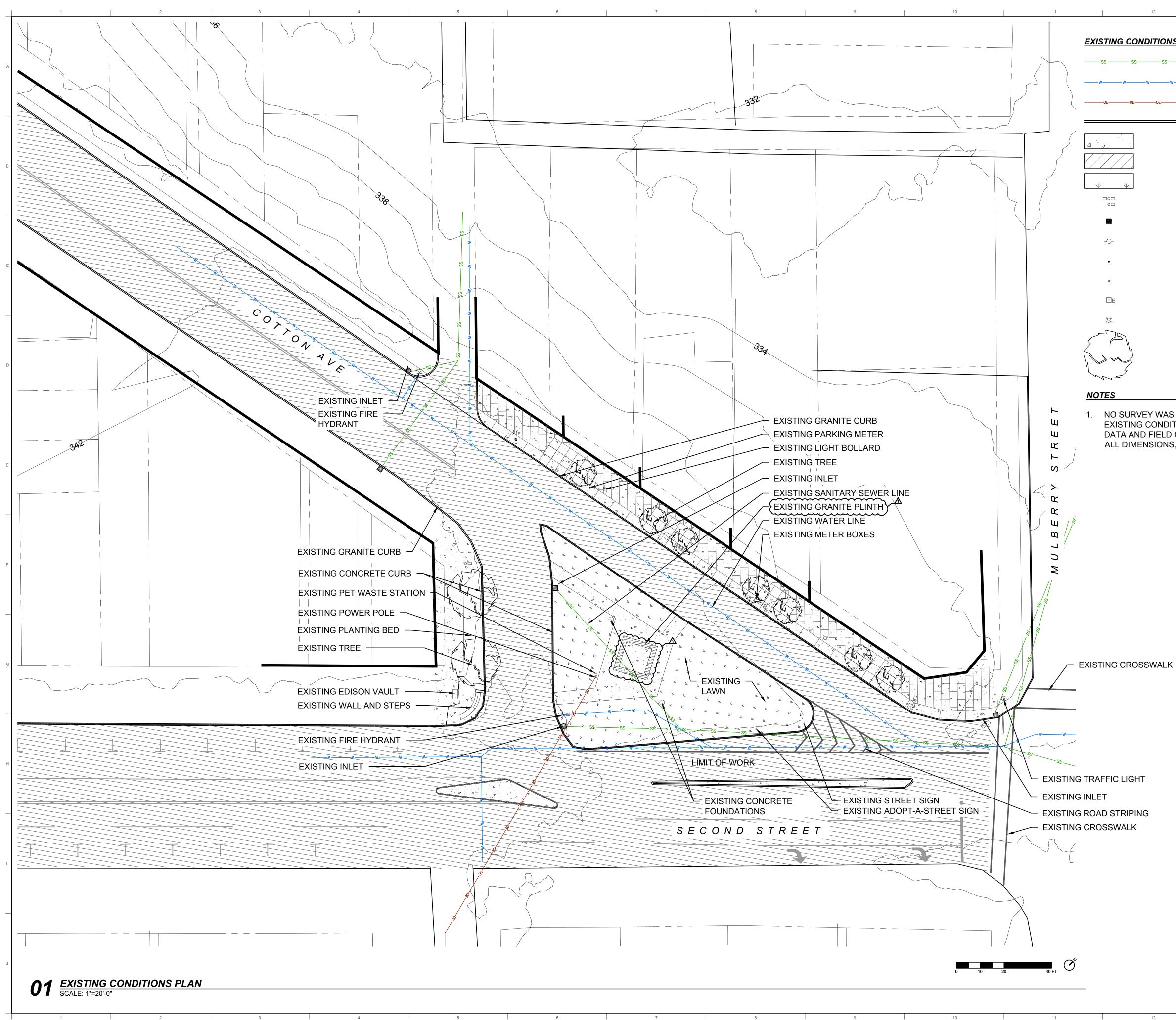
KEY PLAN:

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_____ _____ _____ _____ DRAWN: LF REVIEWED: WT DATE: AUGUST 3, 2022 NOTES AND ABBREVIATIONS

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SHEET:



ONDITIONS LEGEN	D
s ——— ss ——— ss ——	EXISTING SEWER LINE
www	EXISTING WATER LINE
OEOE	EXISTING OVERHEAD ELEC LINE
	EXISTING CURB
	EXISTING CONCRETE
	EXISTING ASPHALT
	EXISTING LAWN AREA
	EXISTING LIGHT POLE
	EXISTING INLET
	EXISTING BOLLARD LIGHT
	EXISTING PARKING METER
	EXISTING STREET SIGN
	EXISTING METER BOX
	EXISTING FIRE HYDRANT
	EXISTING TREE

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1. NO SURVEY WAS CONDUCTED FOR THIS PROJECT. THE EXISTING CONDITION PLAN WAS CREATED THROUGH GIS DATA AND FIELD OBSERVATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, OBJECTS, AND UTILITIES IN FIELD.

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ANDSCAP 840 HIGH MACON, 478.80 0AK H STL 986 COLL MACON,	Treadwell ARCHITECT ARCHITECT ASTREET GA 31201 08.0391
COTTON AVE PLAZA	MACON, GA 31201
KEY PLAN:	
# DATE M 08-03-2022 08-03-2022	DESCRIPTION ADDENDUM

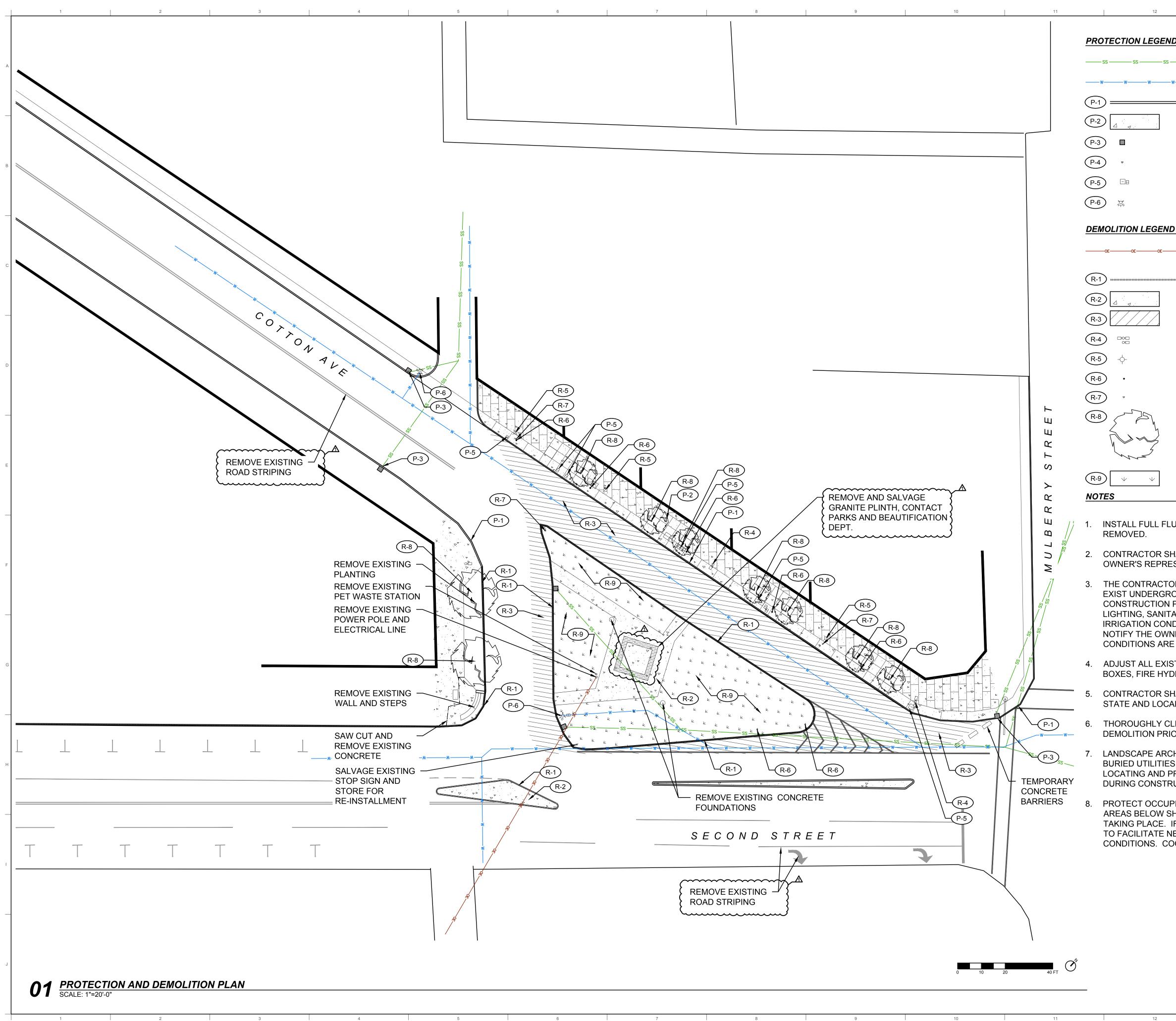
DATE: AUGUST 3, 2022

EXISTING CONDITIONS PLAN

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SHEET:

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PROTECTION LEGEND

— ss —— ss —— ss —	PROTECT EXISTING STORM SEWER LINE
vwww	PROTECT EXISTING WATER LINE
	PROTECT EXISTING CURB
✓	PROTECT EXISTING CONCRETE
	PROTECT EXISTING INLET
	PROTECT EXISTING STREET SIGN
Β	PROTECT EXISTING METER BOX
	PROTECT EXISTING HYDRANT

OEOEOE	REMOVE EXISTING OVERHEAD ELECTRICAL LINE
	REMOVE EXISTING CURB
4	REMOVE EXISTING CONCRETE
	REMOVE EXISTING ASPHALT
	REMOVE EXISTING LIGHT POLE
	REMOVE EXISTING BOLLARD LIGHT
	REMOVE EXISTING PARKING METER
	REMOVE EXISTING STREET SIGN
	REMOVE EXISTING TREE

1. INSTALL FULL FLUSH UTILITY BOX WERE LIGHT BOLLARDS ARE

REMOVE EXISTING LAWN

2. CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR IS PUT ON NOTICE THAT CONDITIONS MAY EXIST UNDERGROUND THAT ARE NOT SHOWN IN THE CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, LIGHTING, SANITARY SEWER, STORM SEWER, GAS LINES, & IRRIGATION CONDUITS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.

4. ADJUST ALL EXISTING UTILITY MANHOLE COVERS, VALVE BOXES, FIRE HYDRANTS AND UTILITY BOXES TO FINAL GRADE.

CONTRACTOR SHALL PROVIDE FOR EROSION CONTROL PER STATE AND LOCAL CODES DURING DEMOLITION.

THOROUGHLY CLEAN ALL AREAS AND SURFACES IMPACTED BY DEMOLITION PRIOR TO START OF NEW CONSTRUCTION.

LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR BURIED UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES PRIOR TO AND DURING CONSTRUCTION.

PROTECT OCCUPIED AREAS BELOW DURING CONSTRUCTION; AREAS BELOW SHALL BE WATER-TIGHT WHILE WORK ABOVE IS TAKING PLACE. IF DEMOLITION IS REQUIRED IN AREAS BELOW TO FACILITATE NEW WORK, RESTORE TO ORIGINAL CONDITIONS. COORDINATE ACCESS WITH OWNER.

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Wimberly Treadwell
840 HIGH STREET MACON, GA 31201
478.808.0391
OAK HAVEN
STUDIO
986 COLE STREET
MACON, GA 31201

478.747.0250

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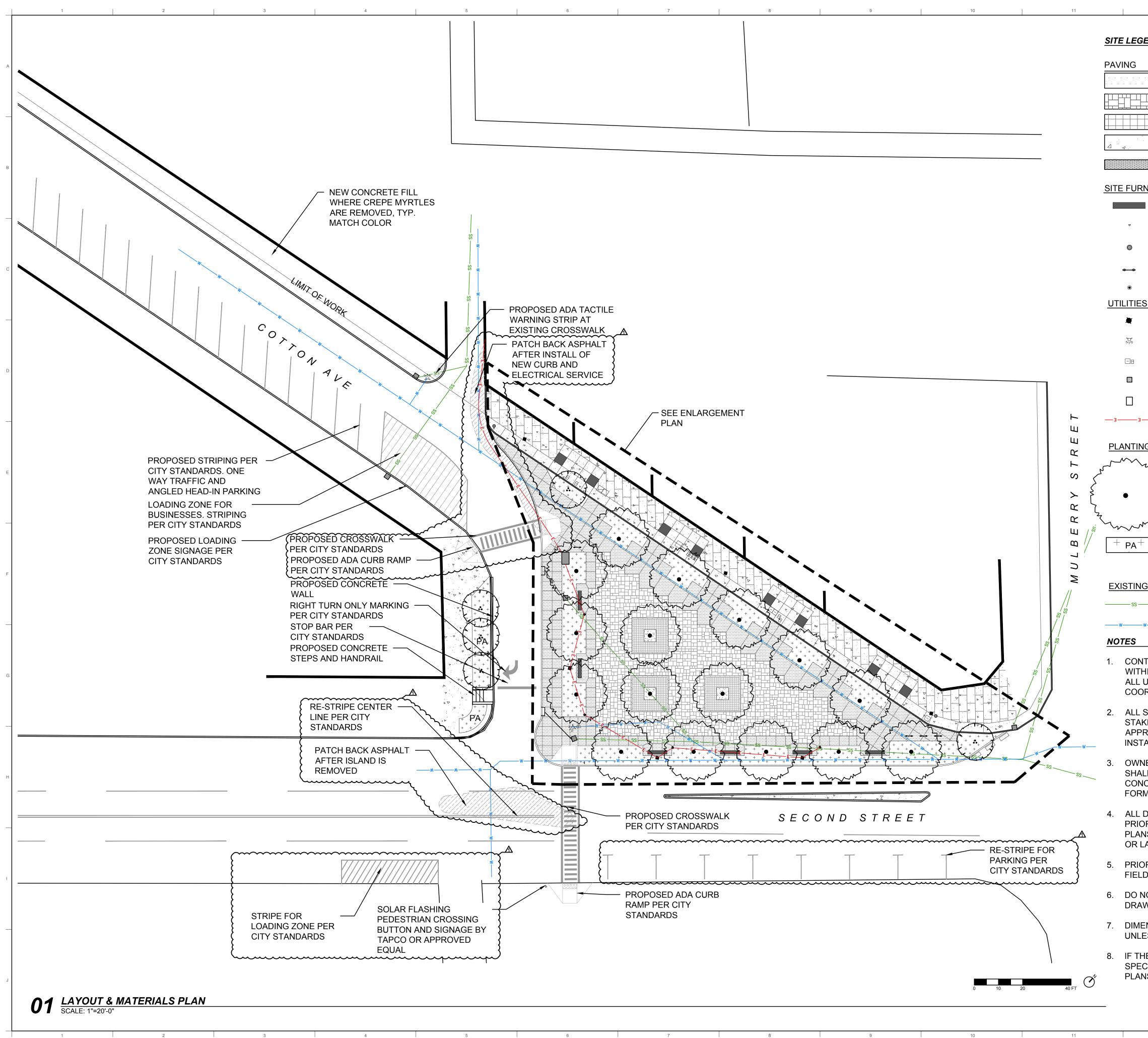
KEY PLAN:

REVISIONS:
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 DESCRIPTION

 1
 08-03-2022
 ADDENDUM
 DRAWN: LF REVIEWED: WT DATE: AUGUST 3, 2022 **PROTECTION &** DEMOLITION PLAN

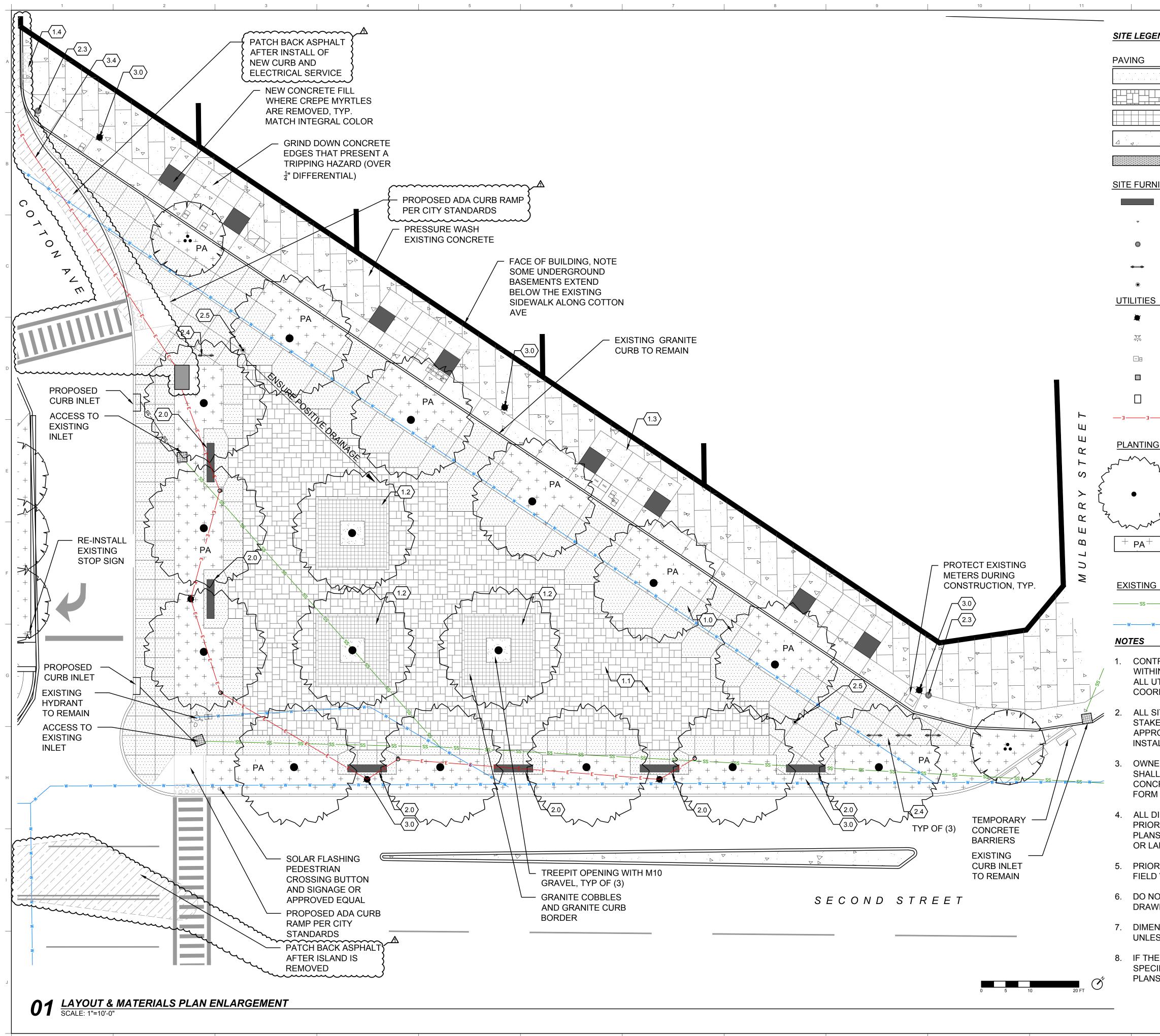
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SHEET:



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	DETAIL KEYNOTES	
		DETAIL
1.0	CONC. PAVING - STANDARD FINISH	1/L3.0
1.1	CONC.UNIT PAVERS	3/L3.0
1.2	GRANITE COBBLES	3/L3.1
1.3	EXISTING CONCRETE TO REMAIN	NA
1.4	ADA TACTILE WARNING STRIP	5/L3.0
ISHIN	GS	DETAIL
2.0	PRECAST BENCH	1/L3.1
2.1	RESET EXISTING SIGNAGE	PER CITY STE
2.3	TRASH RECEPTACLE	PER CITY STE
2.4	STANDARD U BIKE RACK	2/L3.1
2.5	BOLLARD	
) LIGHT POLE	PER CITY STE
_	EXISTING HYDRANT TO REMAIN	
_	2 EXISTING METER BOXES TO REMAIN	
		PER CITY STE
		SEE L2.1
3.4	PROPOSED ELECTRICAL	
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	ANTING AREA- SEE PLANTING PLANS	
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] EX		
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TRACTO	KISTING SEWER LINE KISTING WATER LINE OR TO POTHOLE ALL EXISTING UTILITIE F ALL PLANNED FOR UTILITIES AND TO ES THAT REQUIRE UTILITY CROSSING C TON. PROVEMENTS MUST BE FIELD SURVEY CONTRACTOR. OWNER'S REPRESENTA TAKED LOCATION OF IMPROVEMENTS	POTHOLE PR ED AND ATIVE SHALL
ER'S RI L APPF CRACTO	KISTING SEWER LINE KISTING WATER LINE OR TO POTHOLE ALL EXISTING UTILITIE F ALL PLANNED FOR UTILITIES AND TO ES THAT REQUIRE UTILITY CROSSING C TON. PROVEMENTS MUST BE FIELD SURVEY CONTRACTOR. OWNER'S REPRESENTA TAKED LOCATION OF IMPROVEMENTS	POTHOLE R ED AND ATIVE SHALL PRIOR TO
TRACTO IN 5' OI ITILITIE RDINAT SITE IMI ED BY SOVE S ALLATIO ER'S RI L APPF CRETE I WORI NORI SIMENS R TO C S MUS	KISTING SEWER LINE KISTING WATER LINE OR TO POTHOLE ALL EXISTING UTILITIE F ALL PLANNED FOR UTILITIES AND TO ES THAT REQUIRE UTILITY CROSSING C TON. PROVEMENTS MUST BE FIELD SURVEY CONTRACTOR. OWNER'S REPRESENTA TAKED LOCATION OF IMPROVEMENTS ON. EPRESENTATIVE OR LANDSCAPE ARCH ROVE FINAL STAKING BY CONTRACTOR FLATWORK PRIOR TO CONSTRUCTION	POTHOLE R ED AND ATIVE SHALL PRIOR TO IITECT OF ALL AND ALL NTRACTOR THESE ENTATIVE
TRACTO IN 5' OI ITILITIE RDINAT GITE IMI ED BY ROVE S ALLATIO ER'S RI L APPF CRETE I WORI OIMENS R TO C S MUSC ANDSC R TO E	AISTING SEWER LINE AISTING WATER LINE OR TO POTHOLE ALL EXISTING UTILITIE F ALL PLANNED FOR UTILITIES AND TO ES THAT REQUIRE UTILITY CROSSING C TON. PROVEMENTS MUST BE FIELD SURVEY CONTRACTOR. OWNER'S REPRESENTA TAKED LOCATION OF IMPROVEMENTS TO DN. EPRESENTATIVE OR LANDSCAPE ARCH ROVE FINAL STAKING BY CONTRACTOR FLATWORK PRIOR TO CONSTRUCTION K PRIOR TO POURING. SIONS SHALL BE FIELD VERIFIED BY CO ONSTRUCTION. ANY DEVIATION FROM T BE APPROVED BY OWNER'S REPRESE	POTHOLE R ED AND ATIVE SHALL PRIOR TO IITECT OF ALL AND ALL NTRACTOR THESE ENTATIVE TION.
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	AISTING SEWER LINE AISTING WATER LINE OR TO POTHOLE ALL EXISTING UTILITIE F ALL PLANNED FOR UTILITIES AND TO ES THAT REQUIRE UTILITY CROSSING C TON. PROVEMENTS MUST BE FIELD SURVEY CONTRACTOR. OWNER'S REPRESENTA TAKED LOCATION OF IMPROVEMENTS TAKED LOCATION OF IMPROVEMENTS ON. EPRESENTATIVE OR LANDSCAPE ARCH ROVE FINAL STAKING BY CONTRACTOR FLATWORK PRIOR TO CONSTRUCTION & PRIOR TO POURING. SIONS SHALL BE FIELD VERIFIED BY CO ONSTRUCTION. ANY DEVIATION FROM T BE APPROVED BY OWNER'S REPRESI APE ARCHITECT PRIOR TO CONSTRUCT XCAVATION, UNDERGROUND UTILITIES FIED (SEE GENERAL NOTES).	POTHOLE R ED AND ATIVE SHALL PRIOR TO ITECT OF ALL AND ALL NTRACTOR THESE ENTATIVE TION. MUST BE EDE AVATION.

COTTON AVE PLAZA MACON, GA 31201	KEY PLAN:		OAK HAVEN STUDIO 986 COLE STREET MACON, GA 31201 478.747.0250	
		# DATE DESCRIPTION M 08-03-2022 ADDENDUM Image: Second Secon	COTTON AVE PLAZA MACON, GA 31201	
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END & DETAIL KEYNOTES	
	DETAIL
1.0 CONC. PAVING - STANDARD FINISH	
1.1 CONC.UNIT PAVERS	3/L3.0
1.2 GRANITE COBBLES	3/L3.1
1.3 EXISTING CONCRETE TO REMAIN	NA
1.4 ADA TACTILE WARNING STRIP	5/L3.0
IISHINGS	DETAIL
2.0 PRECAST BENCH	1/L3.1
2.1 RESET EXISTING SIGNAGE	PER CITY STD
2.3 TRASH RECEPTACLE	PER CITY STD
2.4 STANDARD U BIKE RACK	2/L3.1
2.5 BOLLARD	
	PER CITY STD
3.0 LIGHT POLE	PER GITT STD
3.1 EXISTING HYDRANT TO REMAIN	N
3.2 EXISTING METER BOXES TO REMAI	IN
3.2 EXISTING INLET 3.3 PROPOSED CURB INLET	PER CITY STD
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3.4 PROPOSED ELECTRICAL	
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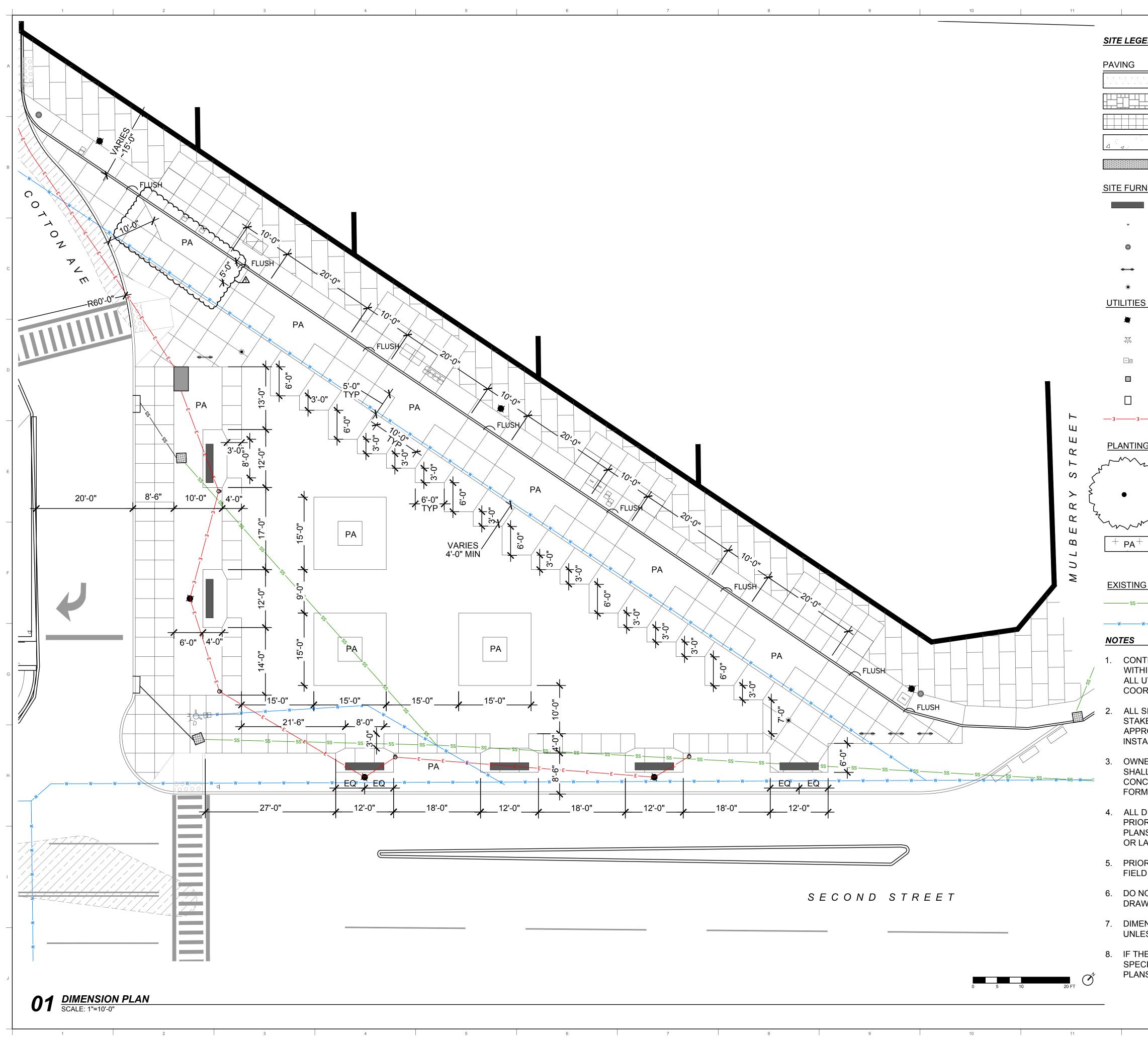
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MATERIALS PLAN

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ND & DETAIL KEYNOTES	
	DETAIL
1.0 CONC. PAVING - STANDARD FIN	
1.1 CONC.UNIT PAVERS	3/L3.0
1.2 GRANITE COBBLES	3/L3.1
1.3 EXISTING CONCRETE TO REMAI	N NA
1.4 ADA TACTILE WARNING STRIP	5/L3.0
ISHINGS	DETAIL
2.0 PRECAST BENCH	1/L3.1
2.1 RESET EXISTING SIGNAGE	PER CITY STE
2.3 TRASH RECEPTACLE	PER CITY STE
2.4 STANDARD U BIKE RACK	2/L3.1
2.5 BOLLARD	
3.0 LIGHT POLE	PER CITY STE
3.1 EXISTING HYDRANT TO REMAIN	J
3.2 EXISTING METER BOXES TO RE	EMAIN
3.2 EXISTING INLET	
3.3 PROPOSED CURB INLET	PER CITY STE
3.4 PROPOSED ELECTRICAL	SEE L2.1
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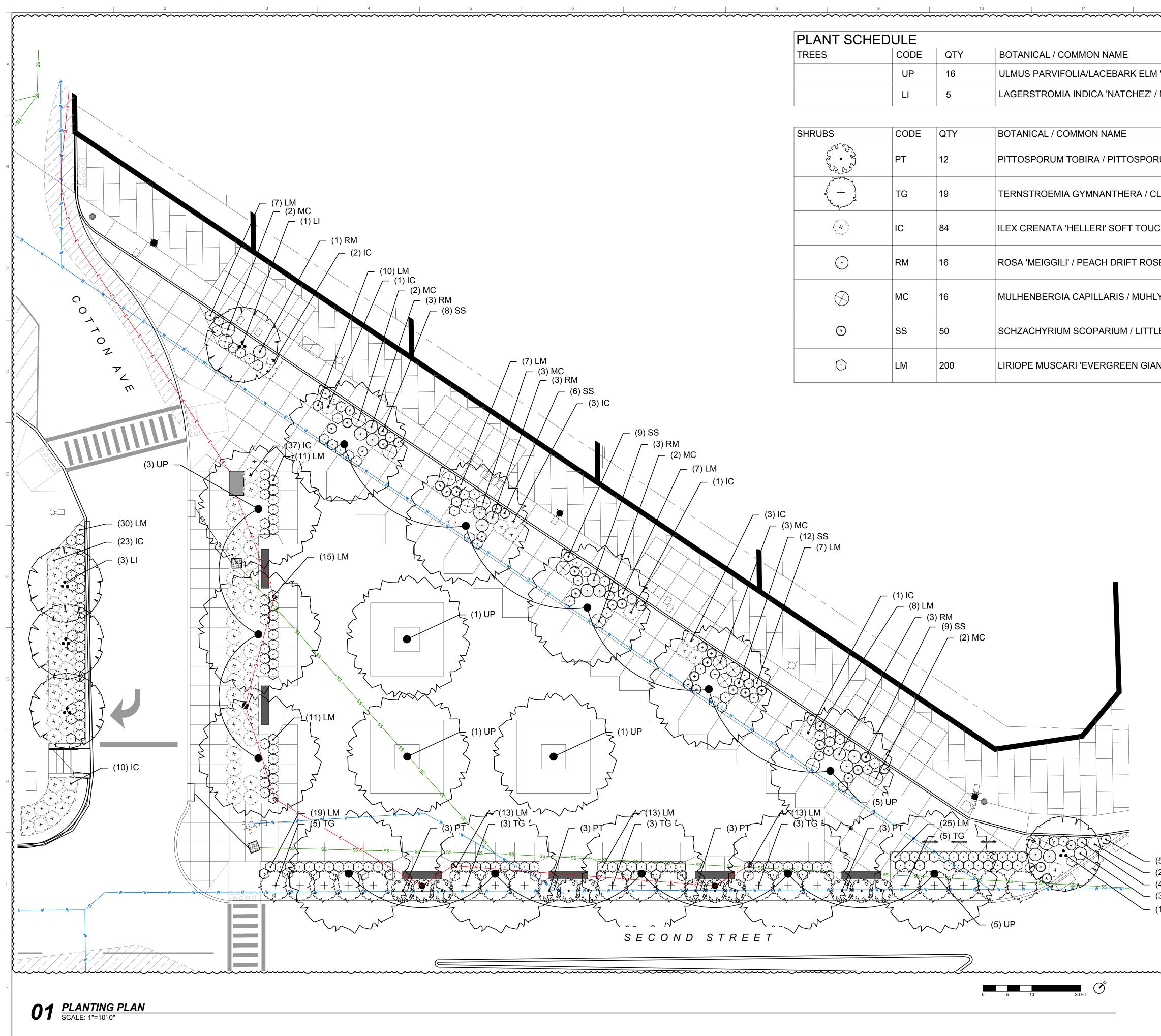
STUDIO 986 COLE STREET MACON, GA 31201 478.747.0250
COTTON AVE PLAZA MACON, GA 31201
KEY PLAN:
DATE DESCRIPTION

SHEET:

DATE: AUGUST 3, 2022

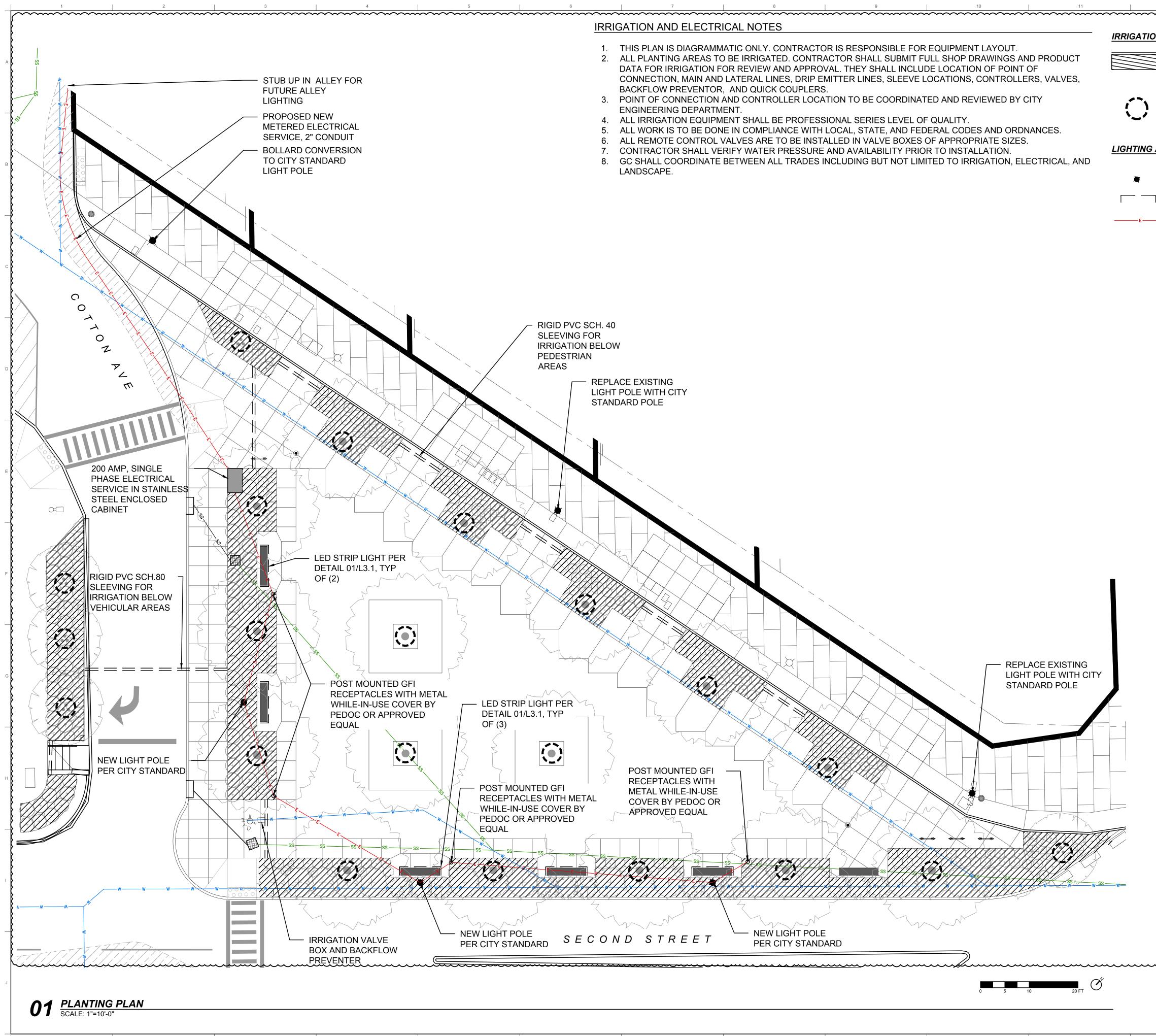
DIMENSION PLAN

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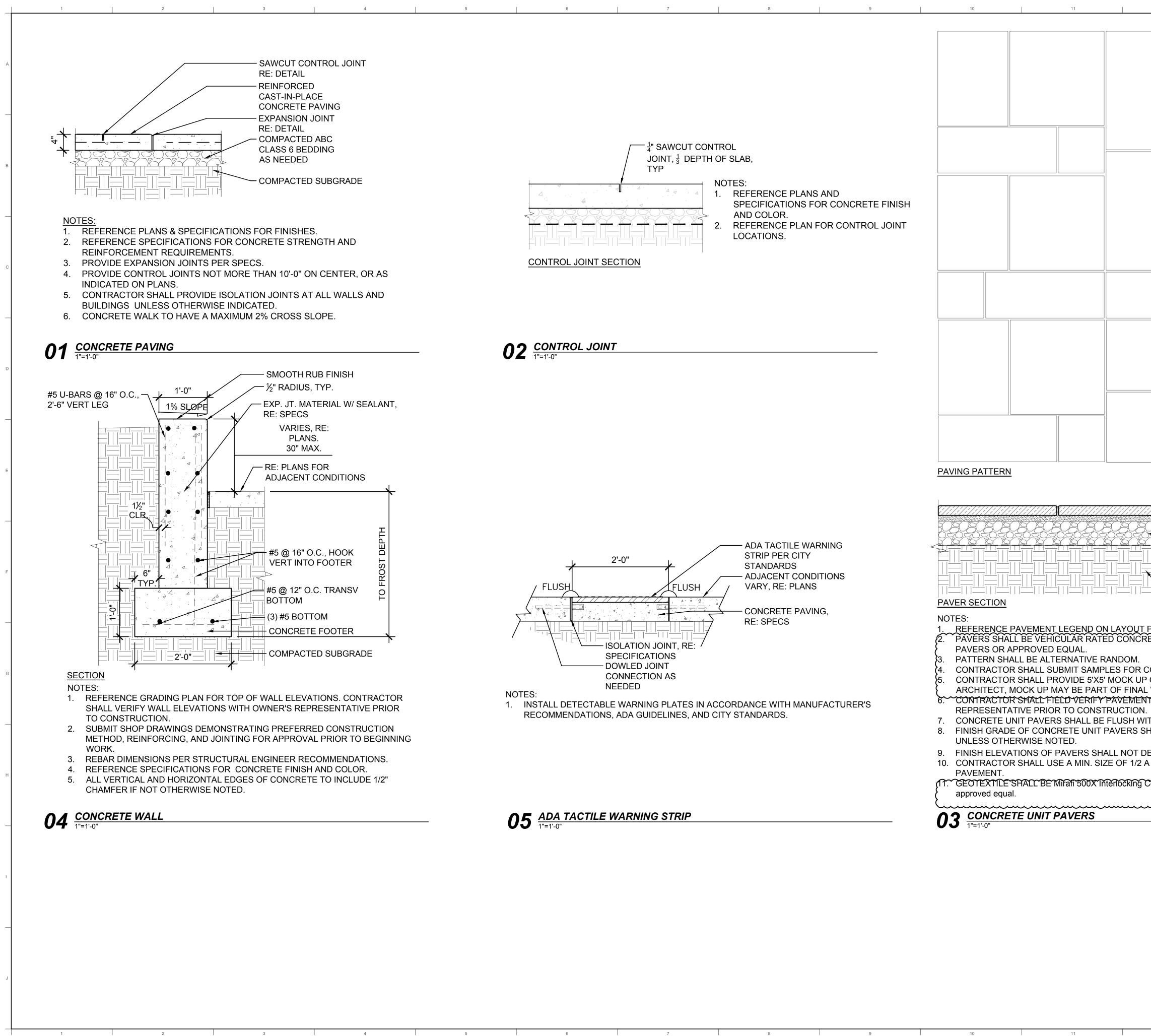
TREES					
INLLO	CODE	QTY 16	BOTANICAL / COMMON NAME ULMUS PARVIFOLIA/LACEBARK ELM 'ALLEE' OR 'DRAKE'	SIZE 5" CAL	Wimberly Tread
	LI	5	LAGERSTROMIA INDICA 'NATCHEZ' / NATCHEZ CREPE MYRTLE, MULTI STEM	8' HT	840 HIGH STRE MACON, GA 312
					478.808.0391
SHRUBS	CODE	QTY		SIZE	
Contract of the second	PT	12	PITTOSPORUM TOBIRA / PITTOSPORUM	5 GAL	
	TG	19	TERNSTROEMIA GYMNANTHERA / CLEYERA	7 GAL	OAK HAVEN STUDIO 986 COLE STRE
$(\mathbf{+})$	IC	84	ILEX CRENATA 'HELLERI' SOFT TOUCH / SOFT TOUCH HELLERI HOLLY	3 GAL	MACON, GA 312 478.747.0250
\odot	RM	16	ROSA 'MEIGGILI' / PEACH DRIFT ROSE	3 GAL	
\bigotimes	МС	16	MULHENBERGIA CAPILLARIS / MUHLY GRASS	3 GAL	Z
\odot	SS	50	SCHZACHYRIUM SCOPARIUM / LITTLE BLUESTEM	1 GAL	A A
\bigcirc	LM	200	LIRIOPE MUSCARI 'EVERGREEN GIANT' /EVERGREEN GIANT LIRIOPE	4" POTS	201 201
ИС (12) SS (7) LM	(1) IC	(3) RM			COTTON, MACON
(12) SS	/ (8) Ll				KEY PLAN:
(12) SS (7) LM (7) LM	(5) UP	(3) RM (9) SS (2) MC (2) MC (5) TG (5) TG			
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	UP	16	ULMUS PARVIFOLIA/LACEBARK ELM 'ALLEE' OR 'DRAKE'	5" CAL	Wimberly Treadw
	LI	5	LAGERSTROMIA INDICA 'NATCHEZ' / NATCHEZ CREPE MYRTLE, MULTI STEM	8' HT	840 HIGH STREET MACON, GA 3120
UBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	478.808.0391
· · · · · · · · · · · · · · · · · · ·	PT	12	PITTOSPORUM TOBIRA / PITTOSPORUM	5 GAL	
<	TG	19	TERNSTROEMIA GYMNANTHERA / CLEYERA	7 GAL	OAK HAVEN STUDIO 986 COLE STREE
(+)	IC	84	ILEX CRENATA 'HELLERI' SOFT TOUCH / SOFT TOUCH HELLERI HOLLY	3 GAL	- MACON, GA 3120 478.747.0250
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\bigotimes	MC	16	MULHENBERGIA CAPILLARIS / MUHLY GRASS	3 GAL	Z
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\bigcirc	LM	200	LIRIOPE MUSCARI 'EVERGREEN GIANT' /EVERGREEN GIANT LIRIOPE	4" POTS	E PL 31201
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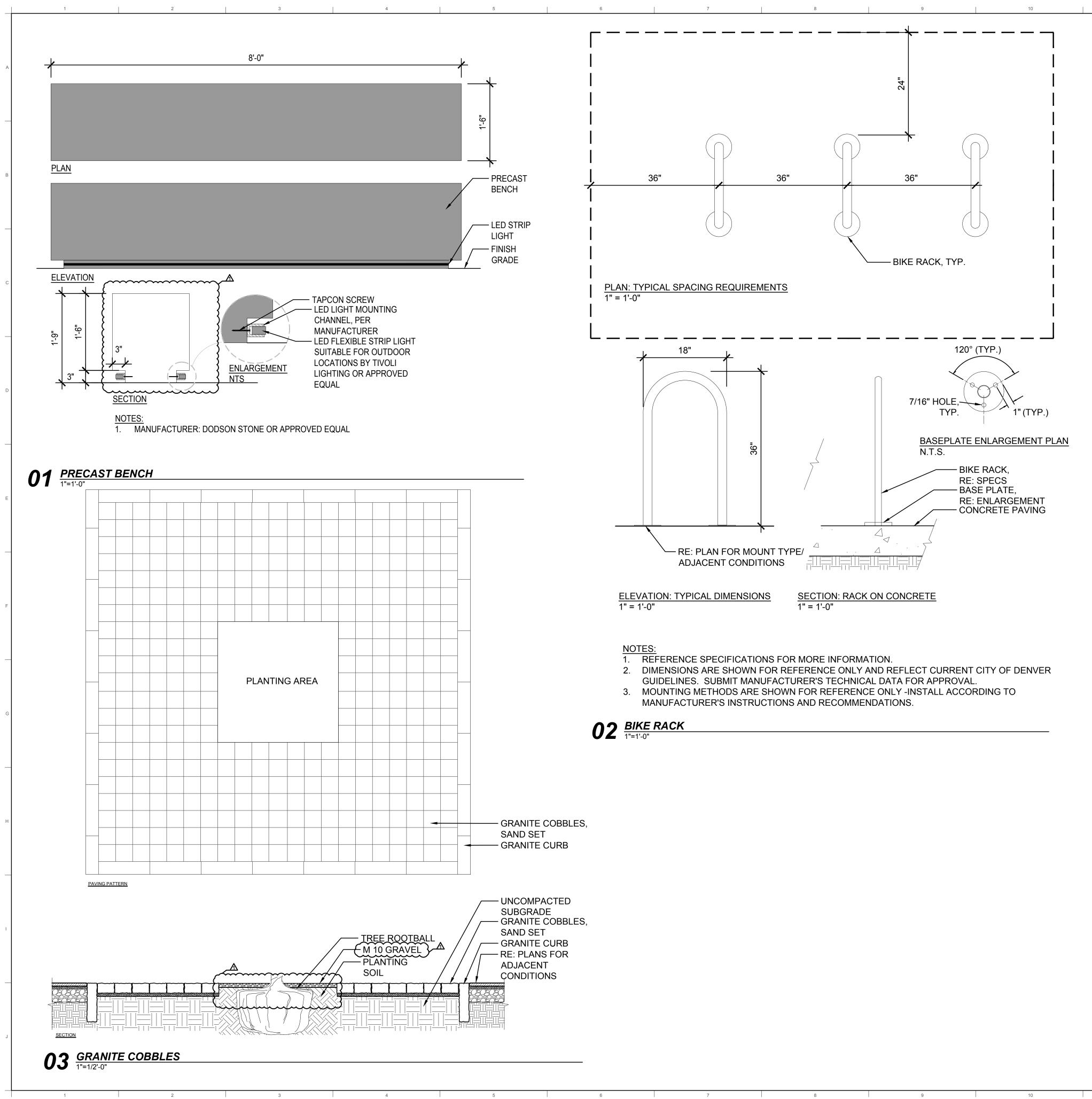


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ON LEGEND		
AREAS TO BE DRIP IRRIGATED		
PROVIDE IRRIGATION TREE SOAKER RINGS		
AND ELECTRICAL LEGEND		
LIGHT POLE PER CITY STANDARDS	}	
LED LIGHTS PER DETAIL 1/L3.1	}	
- NEW METERED ELECTRICAL SERVICE		-
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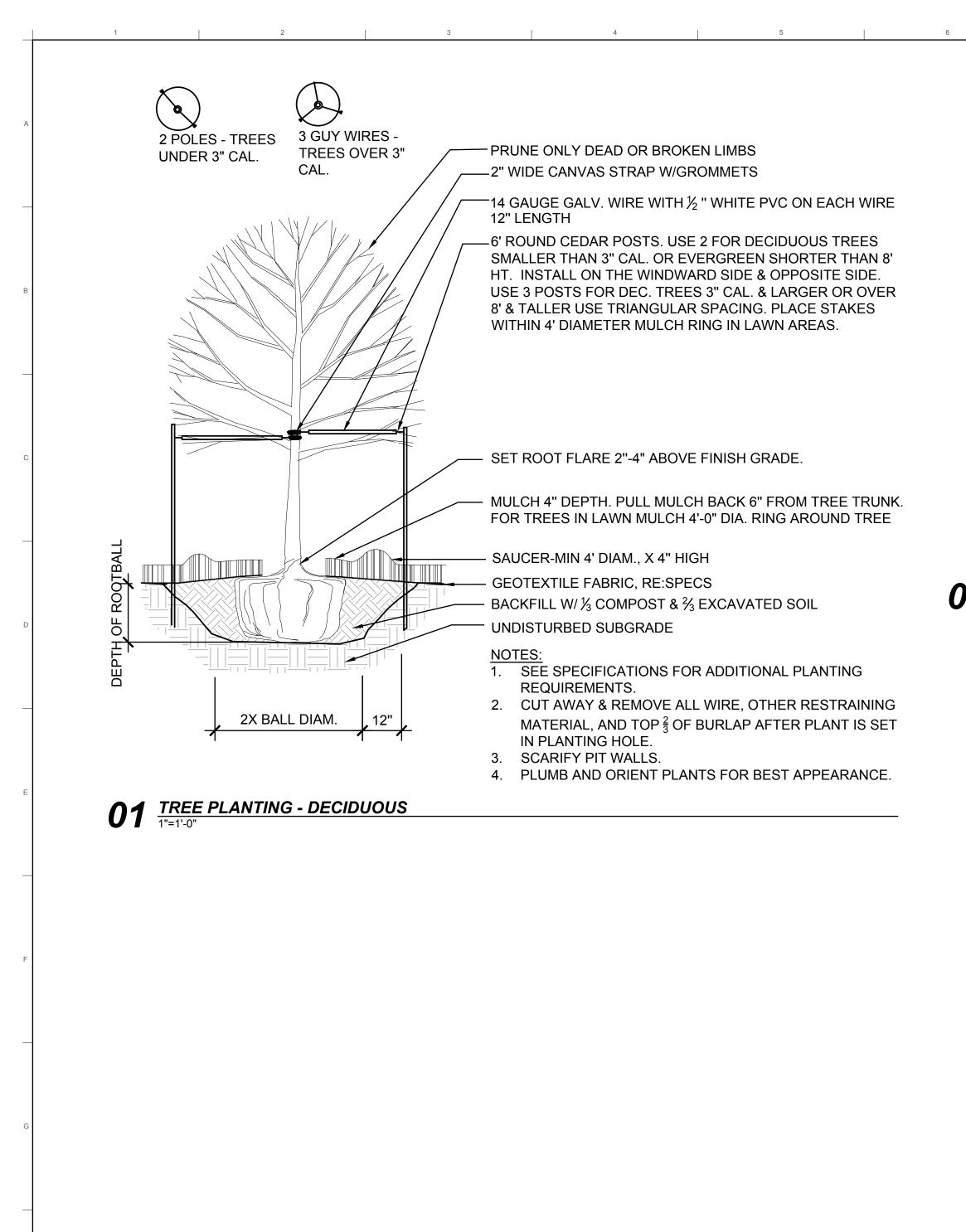
Wimberly Treadwell LANDSCAPE ARCHITECT B40 HIGH STREET MACON, GA 31201 478.808.0391
COTTON AVE PLAZA MACON, GA 31201
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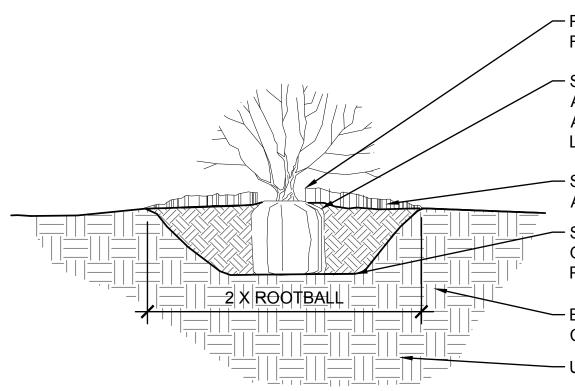


Wimberly Treadwell LANDSCAPE ARCHITECT 840 HIGH STREET MACON, GA 31201 478.808.0391 OAK HAVEN STUDIO 986 COLE STREET
MACON, GA 31201 478.747.0250
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- PULL MULCH MIN. 3" BACK FROM SHRUB BASE

- SET TOP OF ROOTBALL 1" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 1" ABOVE LOWER ADJACENT GRADE.

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– SHREDDED WOOD MULCH AT 3" DEPTH

- SCORE ROOT BALL & TEASE ROOTS OUTWARD TO ENCOURAGE PENETRATION INTO BACKFILL.

- BACKFILL PLANTING PIT WITH 1/3 COMPOST 2/3 EXCAVATED SOIL.

- UNDISTURBED SUBGRADE

NOTES:

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1. SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.

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- 2. PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.
- REMOVE ALL TWINE FROM ROOT BALL, AND FOLD BURLAP BACK 2/3.
 REMOVE PLASTIC BURLAP ENTIRELY. FOR CONTAINER SHRUBS, CAREFULLY REMOVE

8

9

- 4. REMOVE PLASTIC BURLAP ENTIRELY. FOR C CONTAINER AND SCORE ROOT BALL.
- 5. SEE PLANTING PLAN FOR MORE INFORMATION.

02 <u>*PLANTING - SURHB*</u> <u>1"=1'-0"</u>

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