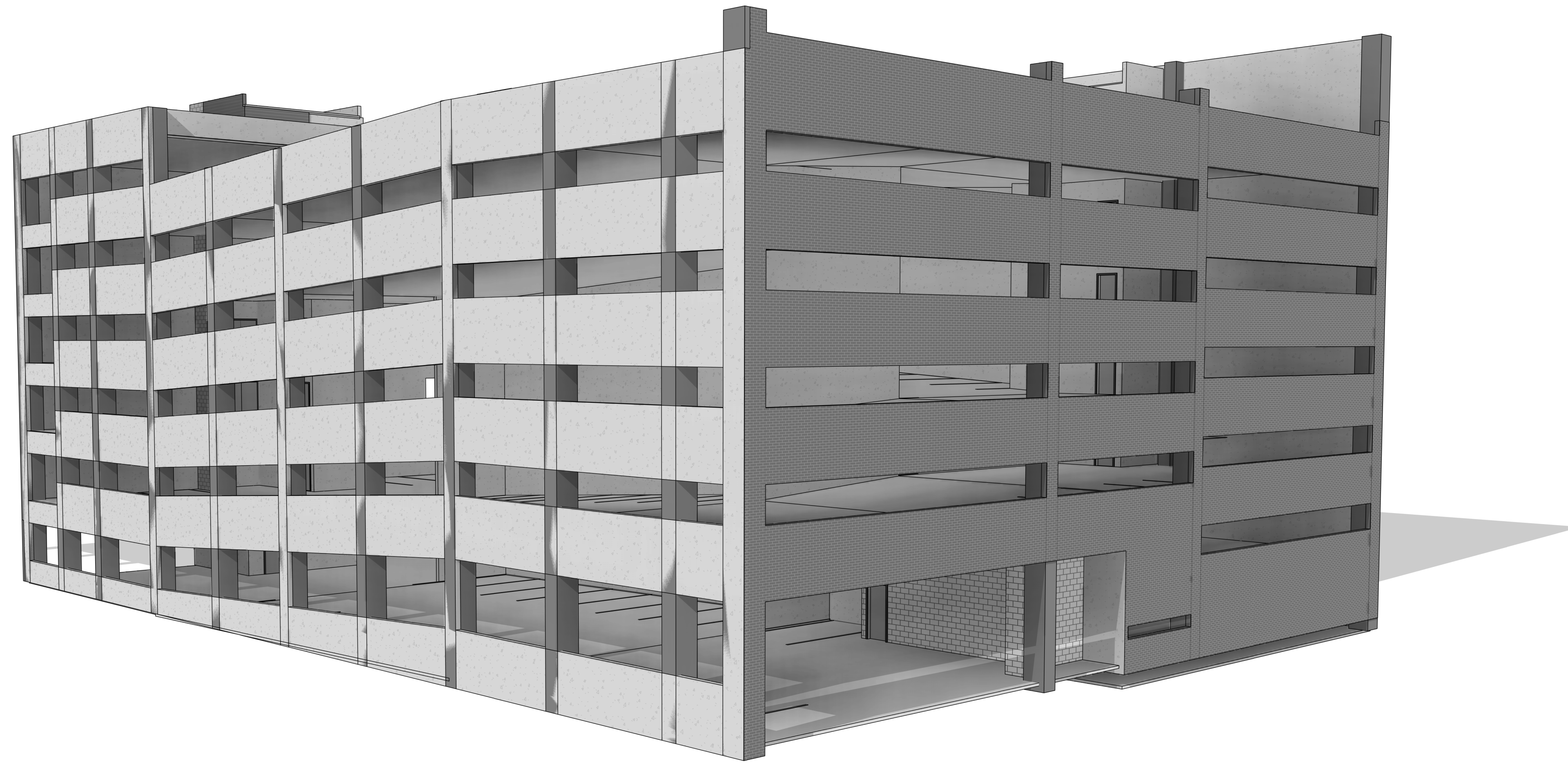


FILE NAME: C:\Users\jordan\Documents\New Projects\2017\16.0304.000 - DT Walton Industries MHI160304000 - DT Walton...
 SHEET NAME: COVER SHEET SHEET NUMBER: T1-00 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 7/15/2019 10:33:30 AM

DT WALTON PARKING DECK

BID SET

06 . 17 . 2019



PROJECT TEAM

OWNER:

MACON-BIBB URBAN DEVELOPMENT AUTHORITY

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CONTRACTOR:

tbd

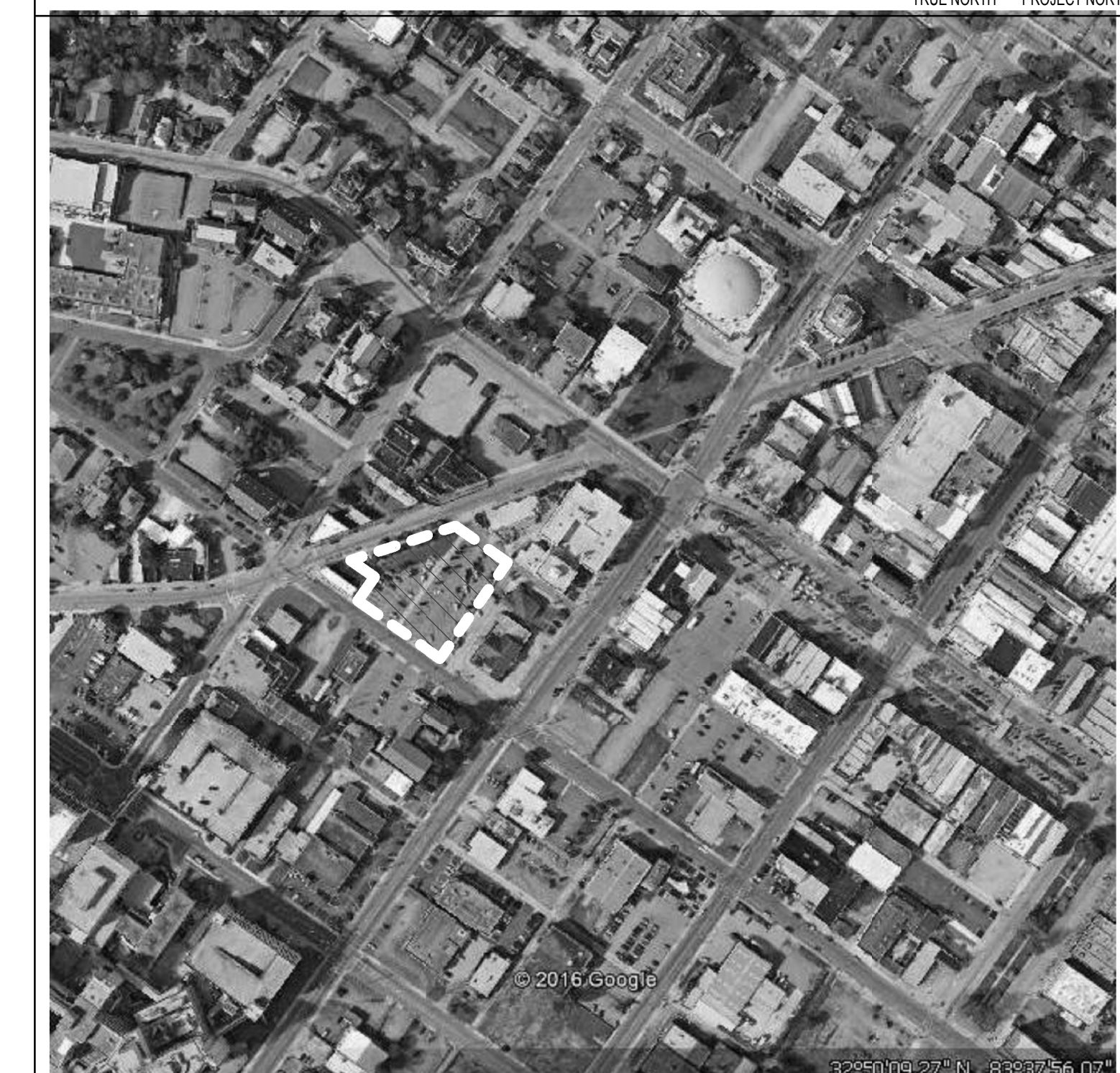
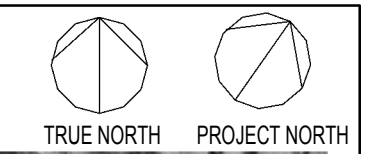
street address
 suite
 city, state, zip

PHONE: ###. ###. ####

CONTACT: first name, last name

EMAIL: email@emaladdress.com

LOCATION MAP



SHEET NUMBER	SHEET NAME	BID SET - 06/17/2019
3 PD TITLE		
T1-00	COVER SHEET	X
T1-01	PROJECT INFORMATION	X
3.1 PD LS		
LS2-00	PHASING PLAN	X
LS2-01	LIFE SAFETY - LEVEL 01-02	X
LS2-03	LIFE SAFETY - LEVEL 03-06	X
LS2-07	LIFE SAFETY - LEVEL 07	X
3.2 CIVIL		
C0-0	COVER SHEET	X
C1-0	OVERALL SITE PLAN	X
C1-1	SITE SURVEY	X
C1-2	PROJECT NOTES	X
C2-1	SITE DEMOLITION PLAN	X
C2-2	SITE DEMOLITION PLAN INSETS	X
C3-1	SITE LAYOUT AND PAVING PLAN	X
C3-2	SITE LAYOUT AND PAVING PLAN INSETS	X
C4-1	SITE GRADING AND DRAINAGE PLAN	X
C4-2	SITE GRADING AND DRAINAGE PLAN INSETS	X
C5-1	SITE WATER AND SANITARY SEWER PLAN	X
C5-2	SITE WATER AND SANITARY SEWER PLAN INSETS	X
C6-1	INITIAL STORMWATER POLLUTION PREVENTION PLAN	X
C6-2	INITIAL STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6-3	INTERMEDIATE STORMWATER POLLUTION PREVENTION PLAN	X
C6-4	INTERMEDIATE STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6-5	FINAL STORMWATER POLLUTION PREVENTION PLAN	X
C6-6	FINAL STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6-7	NPDES COMPREHENSIVE MONITORING PROGRAM NOTES	X

SHEET NUMBER	SHEET NAME	BID SET - 06/17/2019
C6-8	STORMWATER POLLUTION PREVENTION NOTES	X
C6-9	STORMWATER POLLUTION PREVENTION DETAILS	X
C7-1	MISCELLANEOUS SITE DETAILS	X
C7-2	MISCELLANEOUS SITE DETAILS	X
C7-3	MISCELLANEOUS SITE DETAILS	X
C7-4	SITE WATER DETAILS	X
C7-5	SITE SANITARY SEWER DETAILS	X
3.3 PD ARCHITECTURE		
A1-00	ARCHITECTURAL SITE PLAN	X
A1-10	LEVEL 01 - OVERALL - PARKING DECK	X
A1-13	LEVEL 01 - PARKING PLAN	X
A1-20	LEVEL 02 - OVERALL - PARKING DECK	X
A1-23	LEVEL 02 - PARKING PLAN	X
A1-30	LEVEL 03 - OVERALL - PARKING DECK	X
A1-33	LEVEL 03 - PARKING PLAN	X
A1-40	LEVEL 04 - OVERALL - PARKING DECK	X
A1-43	LEVEL 04 - PARKING PLAN	X
A1-50	LEVEL 05 - OVERALL - PARKING DECK	X
A1-53	LEVEL 05 - PARKING PLAN	X
A1-60	LEVEL 06 - OVERALL - PARKING DECK	X
A1-63	LEVEL 06 - PARKING PLAN	X
A1-70	LEVEL 07 - OVERALL - PARKING DECK	X
A1-73	LEVEL 07 - PARKING PLAN	X
A2-20	EXTERIOR ELEVATIONS - PARKING DECK	X
A2-21	EXTERIOR ELEVATIONS - PARKING DECK	X
A2-22	PARKING DECK NORTH ELEVATION ALTERNATE	X
A3-01	BUILDING SECTIONS - PARKING DECK	X
A5-01	STAIR 01	X

SHEET NUMBER	SHEET NAME	BID SET - 06/17/2019
A5-02	STAIR 02	X
A5-10	ELEVATOR & TRASH CHUTE PLANS	X
A5-11	ELEVATOR & TRASH CHUTE SECTIONS	X
A7-05	DOOR SCHEDULE AND DETAILS	X
3.4 PD STRUCTURE		
S-0	GENERAL NOTES	X
S-1	FOUNDATION PLAN	X
S-2	FOUNDATION SECTIONS	X
S-3	FOUNDATION SECTIONS	X
3.5 PD MECHANICAL		
M0-01	GENERAL NOTES, LEGEND + SCHEDULES - HVAC	X
M1-10	LEVEL 01 - OVERALL - HVAC	X
M1-13	LEVEL 01 - PARKING - HVAC	X
M1-20	LEVEL 02 - OVERALL - HVAC	X
M1-23	LEVEL 02 - PARKING - HVAC	X
M1-30	LEVEL 03 - OVERALL - HVAC	X
M1-33	LEVEL 03 - PARKING - HVAC	X
M1-40	LEVEL 04 - OVERALL - HVAC	X
M1-43	LEVEL 04 - PARKING - HVAC	X
M1-70	LEVEL 07 - OVERALL - HVAC	X
M1-73	LEVEL 07 - PARKING - HVAC	X
3.6 PD ELECTRICAL		
E1-10	LEVEL 01 - OVERALL - ELECTRICAL	X
E1-13	LEVEL 01 - PARKING - ELECTRICAL	X
E1-20	LEVEL 02 - OVERALL - ELECTRICAL	X
E1-23	LEVEL 02 - PARKING - ELECTRICAL	X
E1-30	LEVEL 03 - OVERALL - ELECTRICAL	X
E1-33	LEVEL 03 - PARKING - ELECTRICAL	X

SHEET NUMBER	SHEET NAME	BID SET - 06/17/2019
E1-40	LEVEL 04 - OVERALL - ELECTRICAL	X
E1-43	LEVEL 04 - PARKING - ELECTRICAL	X
E1-50	LEVEL 05 - OVERALL - ELECTRICAL	X
E1-53	LEVEL 05 - PARKING - ELECTRICAL	X
E1-60	LEVEL 06 - OVERALL - ELECTRICAL	X
E1-63	LEVEL 06 - PARKING - ELECTRICAL	X
E1-70	LEVEL 07 - OVERALL - ELECTRICAL	X
E1-73	LEVEL 07 - PARKING - ELECTRICAL	X
E5-01	ELECTRICAL RISER DIAGRAM	X
E6-01	PANEL SCHEDULES	X
E7-01	ELECTRICAL DETAILS	X
E7-02	ELECTRICAL DETAILS	X
E1-00P	SITE PLAN - ELECTRICAL PARKING	X
3.7 PD PLUMBING		
P1-01	GENERAL NOTES + SCHEDULES - PLUMBING	X
P1-13	LEVEL 01 - PARKING - PLUMBING	X
P1-23	LEVEL 02 - PARKING - PLUMBING	X
P1-33	LEVEL 03 - PARKING - PLUMBING	X
P1-43	LEVEL 04 - PARKING - PLUMBING	X
P1-53	LEVEL 05 - PARKING - PLUMBING	X
P1-63	LEVEL 06 - PARKING - PLUMBING	X
P1-73	LEVEL 07 - PARKING - PLUMBING	X

DESIGNING ARCHITECT

**WAKEFIELD
 BEASLEY &
 ASSOCIATES**

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**DT WALTON MIXED USE
 DEVELOPMENT**

743 PLUM STREET &
 586 DT WALTON SR WAY
 MACON, GA

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Revisions

Date Job No.
 06/31/2017 160304.000

Sheet Title

COVER SHEET

Sheet No.

T1-00

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DT WALTON MIXED USE DEVELOPMENT

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586 DT WALTON SR WAY
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Print Record
BID SET JUNE 17, 2019

Revisions

Date Job No.
09/31/2017 1603094.000

Sheet Title

PHASING PLAN

Sheet No.
LS2-00

NOT ISSUED FOR CONSTRUCTION

PHASING / PERMITTING NARRATIVE

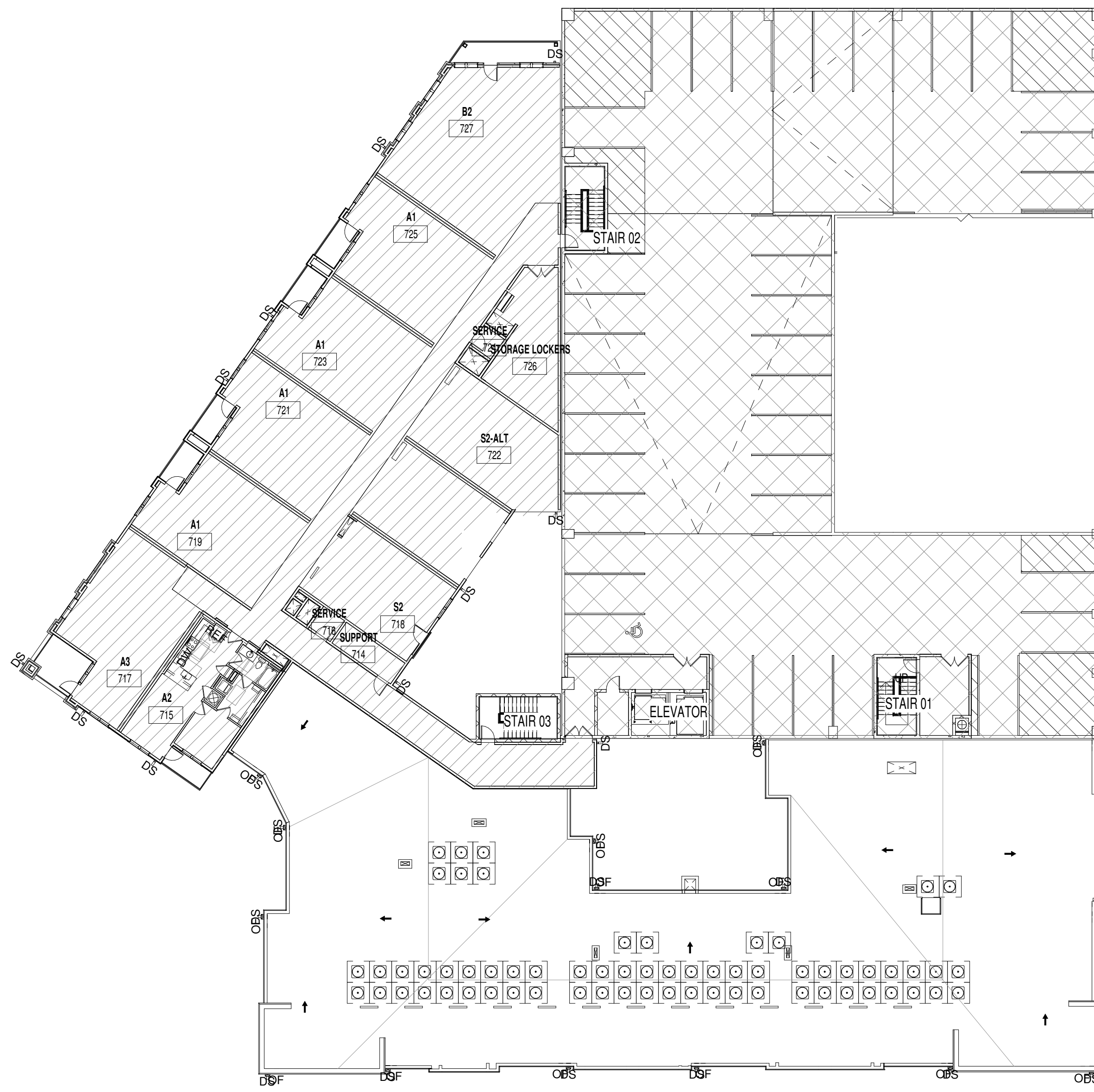
THE DT WALTON MIXED-USE DEVELOPMENT WILL BE SUBMITTED UNDER 3 SEPARATE PERMITS TO ALLOW FOR CERTIFICATES OF OCCUPANCY OR COMPLETION TO BE RECEIVED INDEPENDENTLY OF THE COMPLETION OF THE ENTIRE PROJECT. THE PERMITS WILL BE FOR THE PARKING DECK, RETAIL SHELLS AND RESIDENTIAL BUILDING ABOVE POOLUM. THEY ARE MARKED ON THE PHASING PLANS ON THIS PAGE AND THE LIFE SAFETY PLANS ON LS1-01 - LS1-07 WITH THE FOLLOWING HATCHES

- PARKING DECK
- RETAIL
- RESIDENTIAL

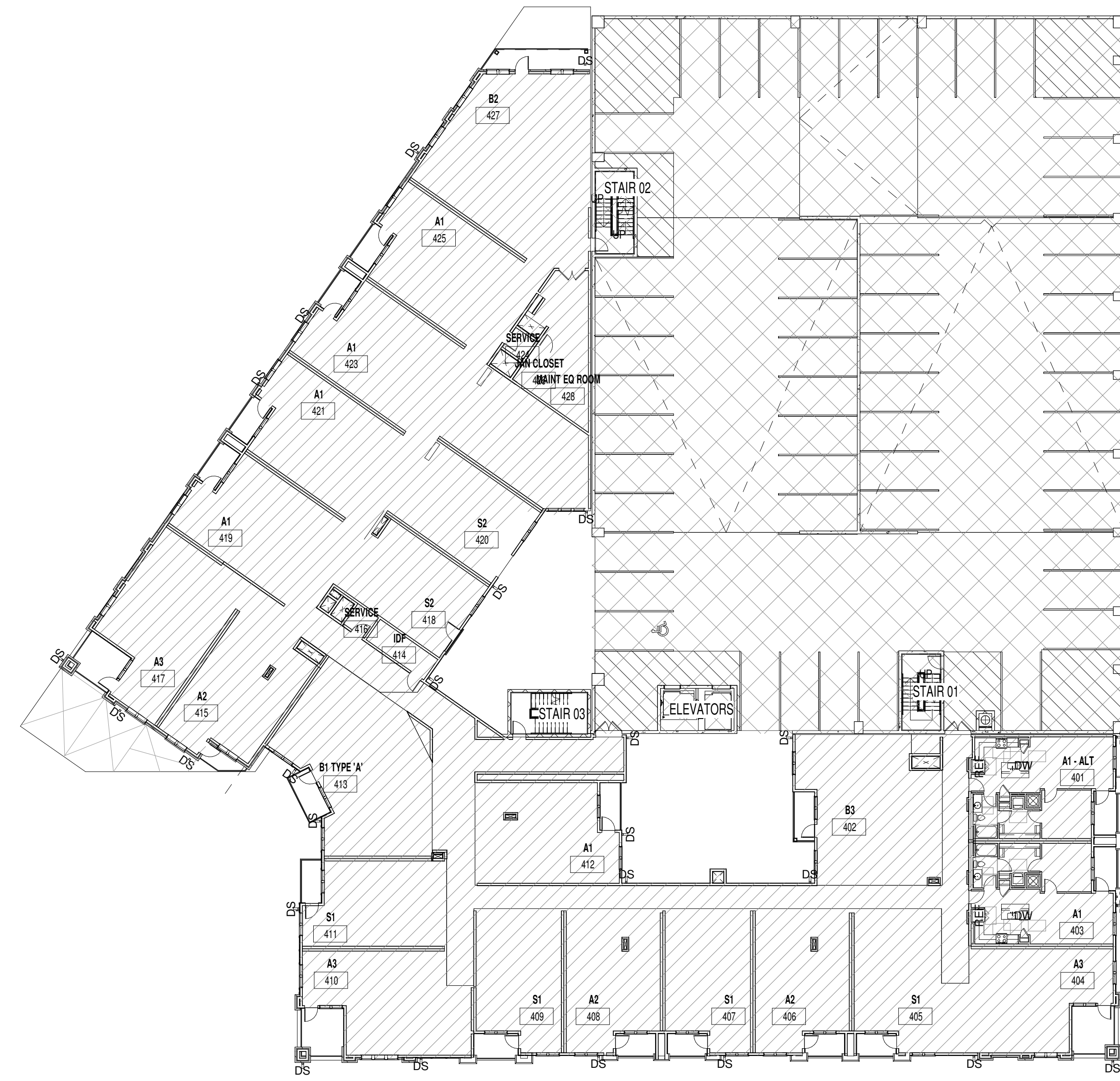
THE SEQUENCING OF THESE PERMITS WILL BE AS FOLLOWS:

- THE PARKING DECK WILL BE BUILT FIRST AND CONTAIN 2 POINTS FOR MEANS OF EGRESS
- THE RETAIL SHELL WILL BE COMPLETED SECOND WITH THE REQUIRED NUMBER OF MEANS OF EGRESS PROVIDED IN EACH SHELL (A, B & C)
- THE RESIDENTIAL BUILDING WILL BE COMPLETED LAST WITH 3 POINTS OF EGRESS PROVIDED

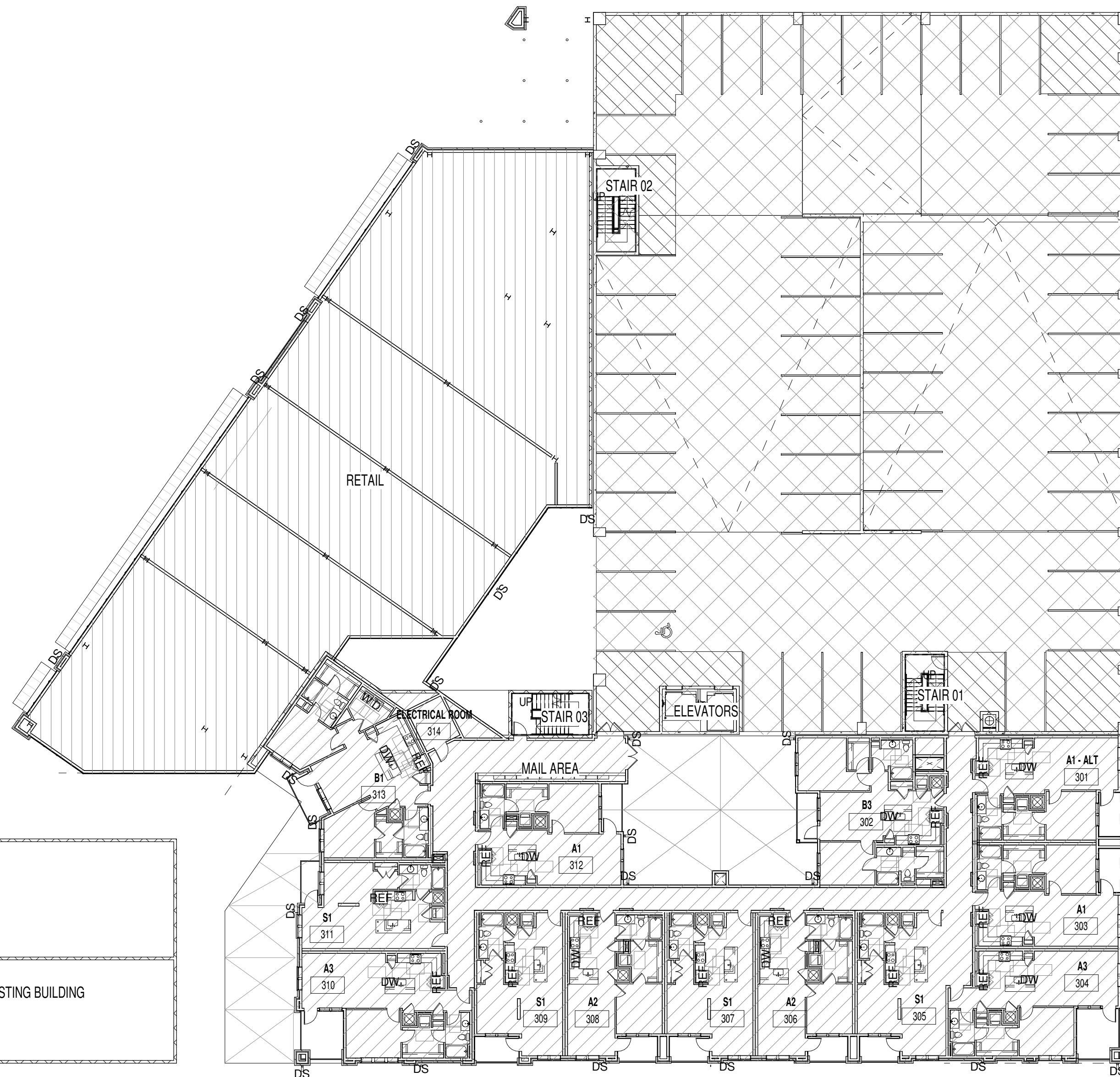
SEE THE LIFE SAFETY PLANS (LS1-01 - LS1-07) FOR OCCUPANT LOADS AND TRAVEL DISTANCES WITHIN EACH COMPONENT



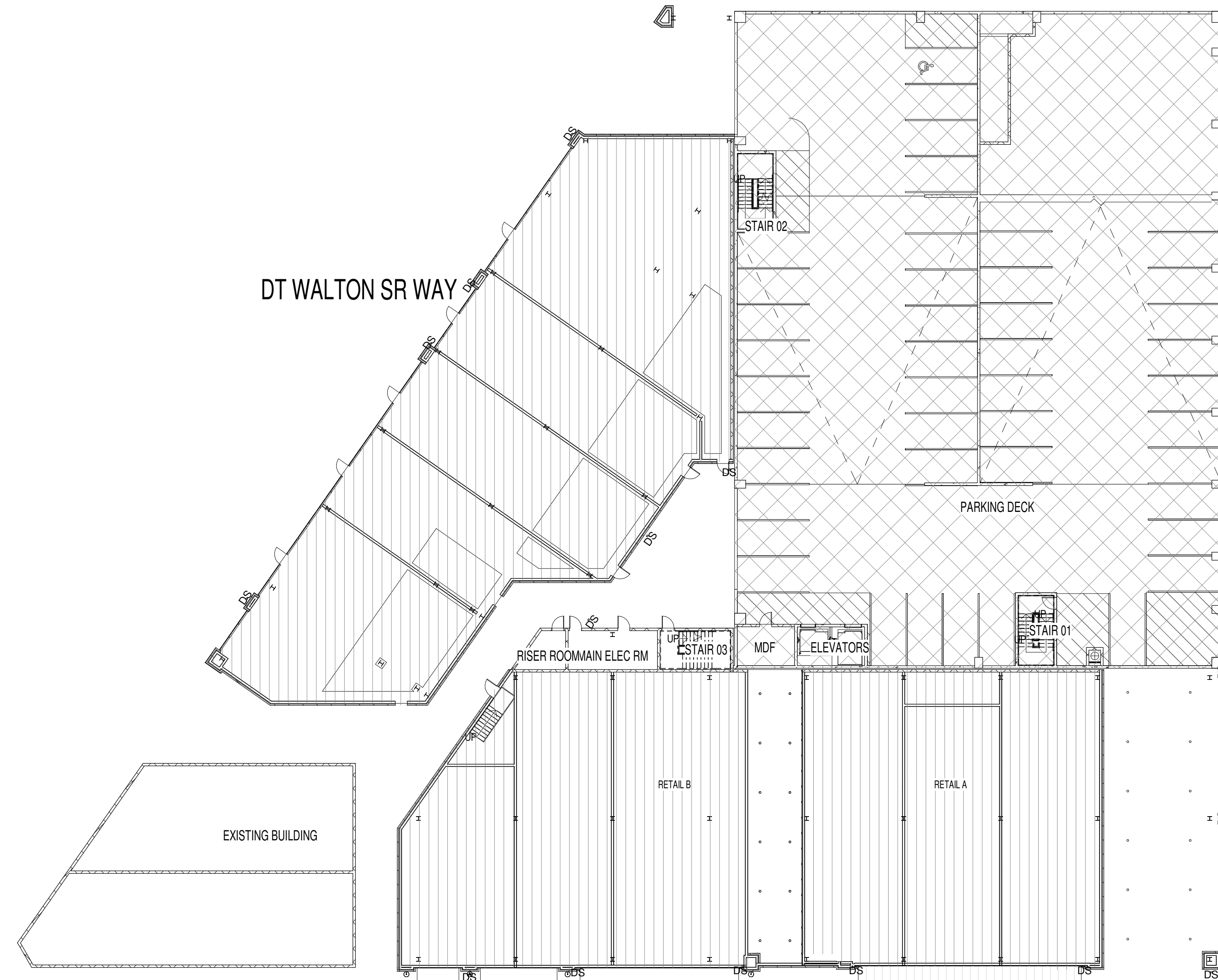
4 LEVEL 07 - PHASING PLAN PD
SCALE: 1"=20'-0"



3 LEVELS 04-06 - PHASING PLAN
SCALE: 1"=20'-0"



2 LEVEL 03 - PHASING PLAN PD
SCALE: 1"=20'-0"



1 LEVEL 01 & 02 - PHASING PLAN
SCALE: 1"=20'-0"

FILENAME: C:\Users\jgale\Documents\Revit Projects\2017\16.03094.000 - DT Walton Residential\PHASING\PHASING PLAN SHEET NUMBER: LS2-00 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 8:35:48 PM
 SHEET NAME: PHASING PLAN SHEET NUMBER: LS2-00 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT

6/17/2019 6:53 PM

PLOTTED: SHEET NAME: LIFE SAFETY - LEVEL 01-02 SHEET NUMBER: LS2-01 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT

FILENAME: C:\Users\jgall\Documents\My Recent Projects\201716-03094-000-DT Walton Mixed Use\Drawings\LS2-01-WALTON_CAD.dwg

MEANS OF EGRESS - NFPA 101 - LIFE SAFETY CODE

PARKING DECK EGRESS CAPACITY CALCULATIONS

SEE LIFE SAFETY PLANS ON SHEETS LS2-01 THROUGH LS2-07

LIFE SAFETY CODE REFERENCES

- SECTION 7.2.2.5.4.1 - NEW ENCLOSED STAIRS SERVING THREE OR MORE STORIES SHALL BE PROVIDED SIGNAGE COMPLYING WITH 7.2.2.5.4.1 (A) THROUGH 7.2.2.5.4.1 (M).
- TABLE 7.3.3.1 - EGRESS WIDTH PER OCCUPANT SERVED:
STAIRWAYS: 0.3
OTHER EGRESS COMPONENTS: 0.2
- SECTION 7.3.3.2 - INCREASE FACTOR FOR STAIRS
- SECTION 7.7.2 - EXIT DISCHARGE THROUGH INTERIOR BUILDING AREAS
- SECTION 30.2.2.12.2 - AN AREA OF REFUGE IS NOT REQUIRED IN THIS BUILDING
- SECTION 30.2.5.3.2 - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 50'-0" AT THE RESIDENTIAL LEVELS.
- SECTION 30.2.4.3 - MINIMUM NUMBER OF EXIT ACCESS DOORS SHALL BE TWO.

- SECTION 30.2.6.2 - THE MAXIMUM TRAVEL DISTANCE WITHIN A UNIT TO THE CORRIDOR DOOR SHALL NOT EXCEED 125'-0".
- SECTION 30.2.6.3.2 - MAXIMUM TRAVEL DISTANCE FROM A UNIT DOOR TO AN EXIT SHALL NOT EXCEED SHALL BE 200'-0".
- SECTION 30.2.5.4.2 - MAXIMUM LENGTH OF DEAD END CORRIDORS SHALL BE 50'-0".
- SECTION 30.3.6.1.2 - 30 MIN. CORRIDOR WALLS
- SECTION 30.3.6.2.1 - 20 MIN. CORRIDOR DOORS
- SECTION 30.3.6.3.2 - UNRATED OPENINGS IN CORRIDOR WALLS
- SECTION 30.2.5.3 - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 75'-0" AT THE MERCANTILE LEVEL.
- SECTION 42.2.5.1 - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 50'-0" AT THE PARKING GARAGE.

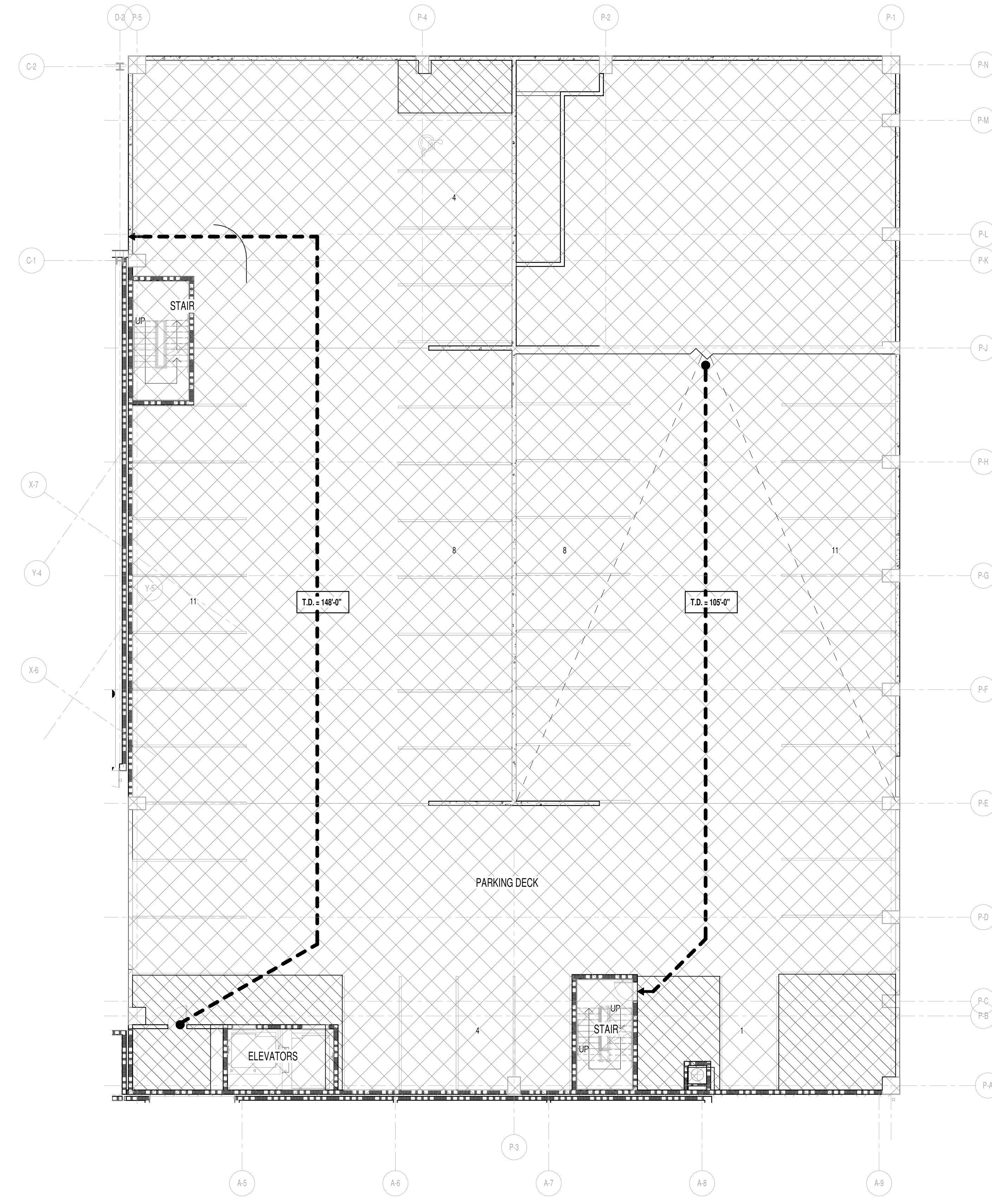
CALCULATION FOR AREA INCREASE FOR FRONTAGE

PARKING DECK (S-2)
PER TABLE 503 PER 2012 IBC, HEIGHT DOES NOT EXCEED 11 STORIES AND AREA FOOTPRINT DOES NOT EXCEED 79,000 SF

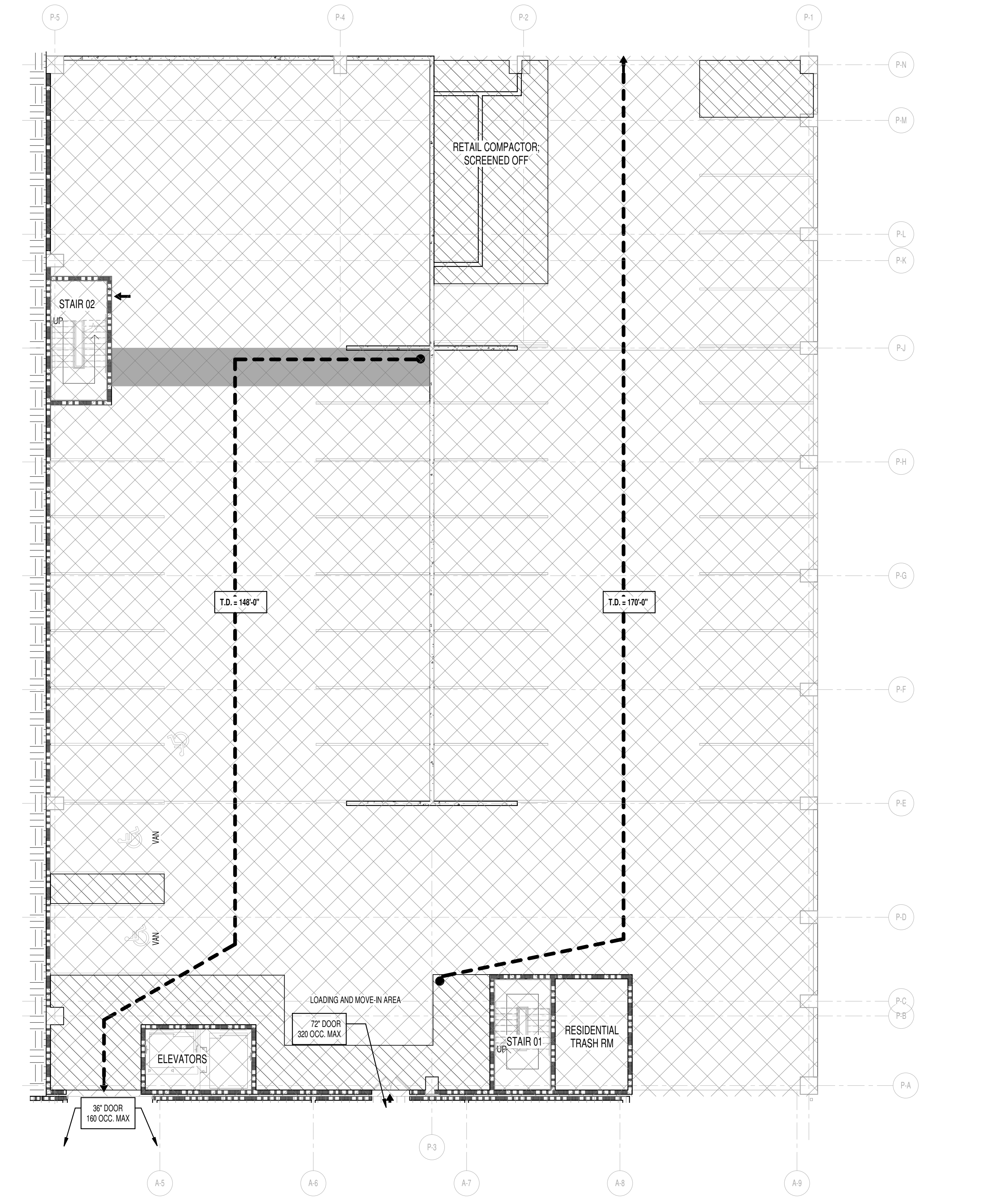
SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
PARKING DECK	STORAGE	200	20,083	101

SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
PARKING DECK	STORAGE	200	18,182	91

FIRE RATED PARTITION KEY	
(Dotted pattern)	NON RATED PARTITION
(Diagonal lines)	30 MIN RATED PARTITION
(Vertical lines)	1 HR RATED PARTITION
(Horizontal lines)	2 HR RATED BARRIER
(Cross-hatch)	3 HR RATED WALL



2 LEVEL 02 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"



1 LEVEL 01 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"

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DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
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Revisions

No.	Description

Date	08/31/2017	Job No.	1620094-000
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Sheet Title
LIFE SAFETY - LEVEL 01-02

Sheet No.
LS2-01

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6/17/2019 6:53:53 PM PLOTTED - SHEET NAME: LIFE SAFETY - LEVEL 03-06 SHEET NUMBER: LS2-03 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT

LEVEL 04, 05 & 06 OCCUPANT LOAD				
SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
	PARKING DECK STORAGE	200	20,028	101

LEVEL 03 OCCUPANT LOAD				
SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
	PARKING DECK STORAGE	200	20,028	101

FIRE RATED PARTITION KEY	
	NON RATED PARTITION
	30 MIN RATED PARTITION
	1 HR RATED PARTITION
	2 HR RATED BARRIER
	3 HR RATED WALL

DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY
MACON, GA

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BID SET JUNE 17, 2019

Revisions

Date Job No.
06/31/2017 1603094.000

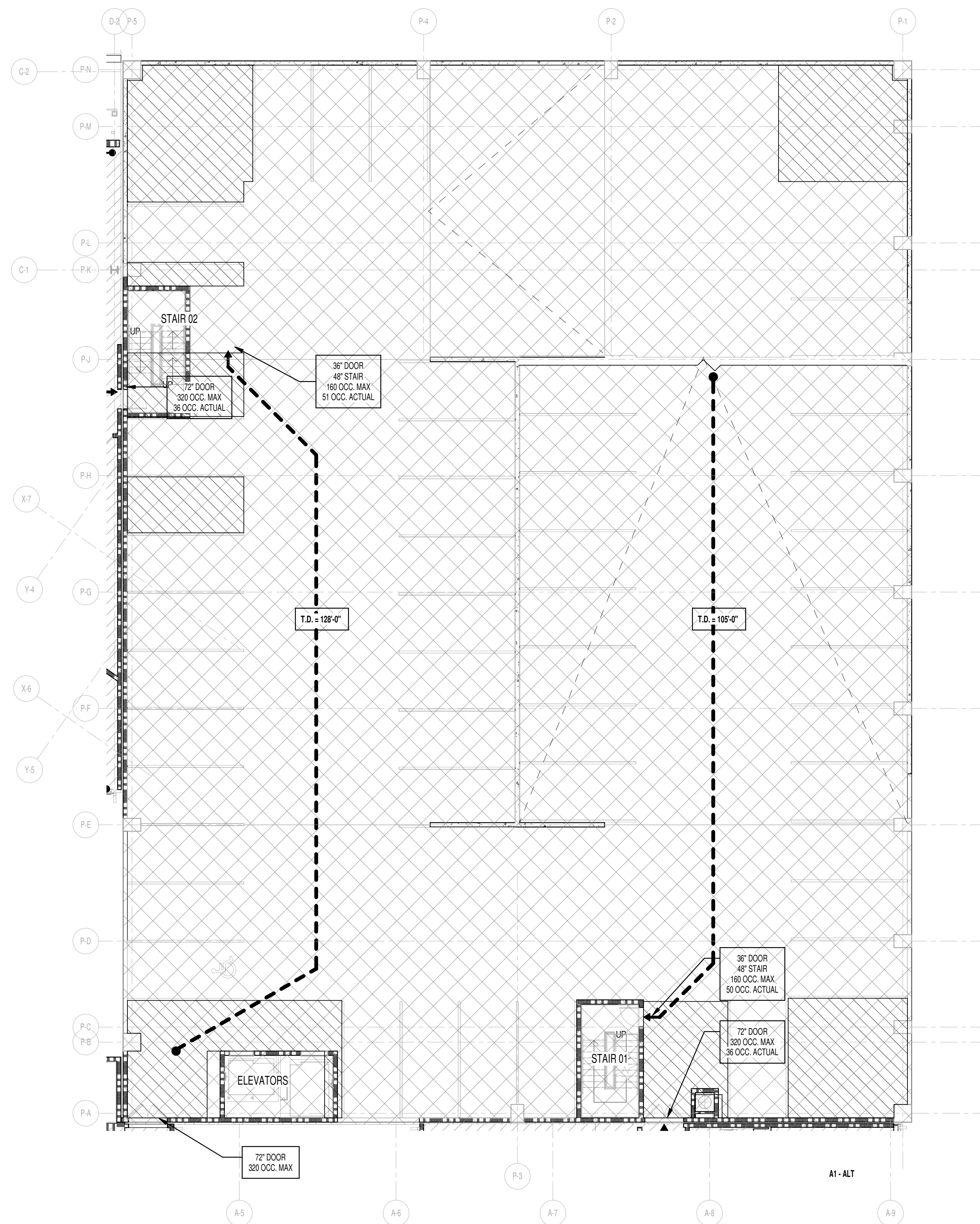
Sheet Title

LIFE SAFETY - LEVEL 03-06

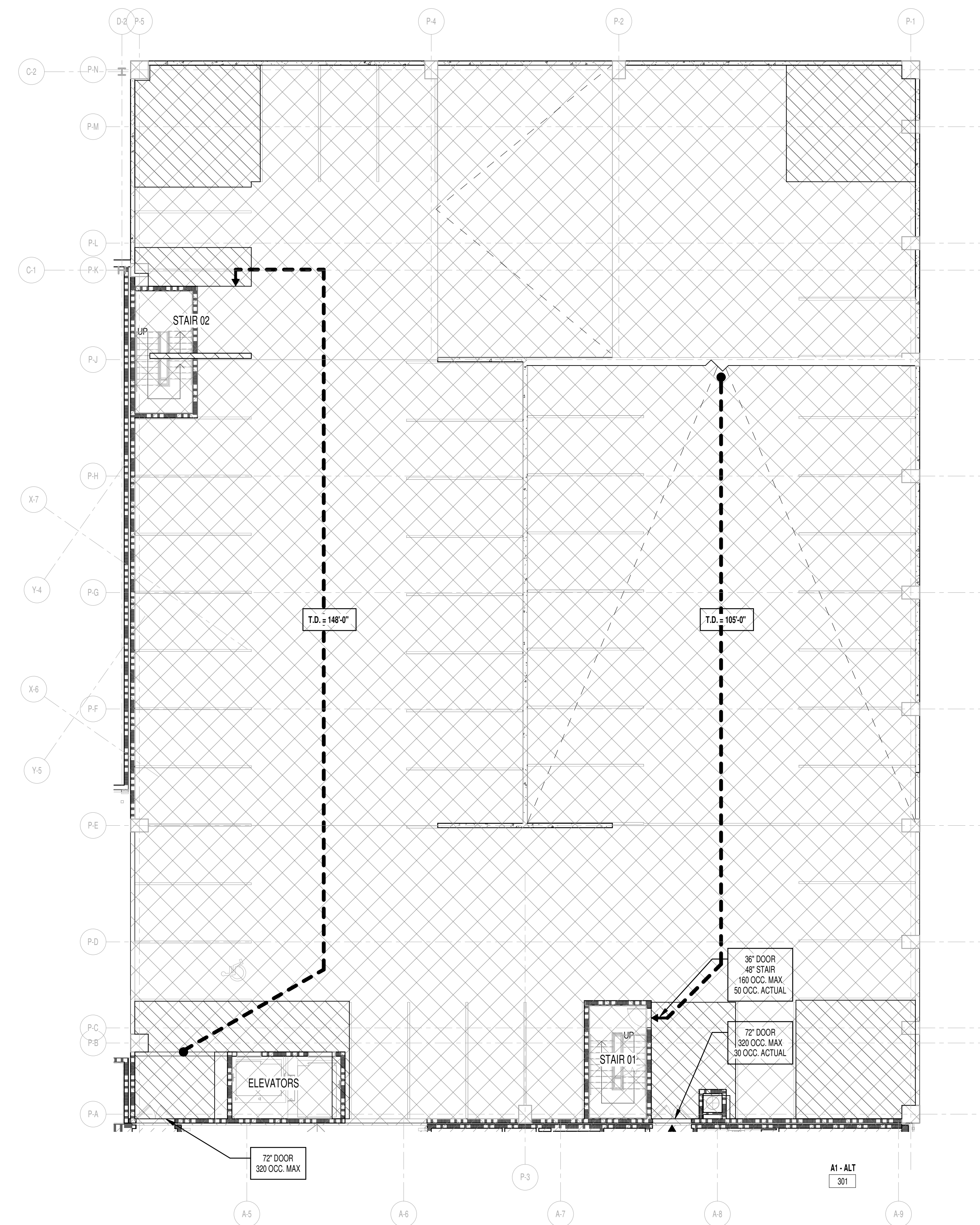
Sheet No.

LS2-03

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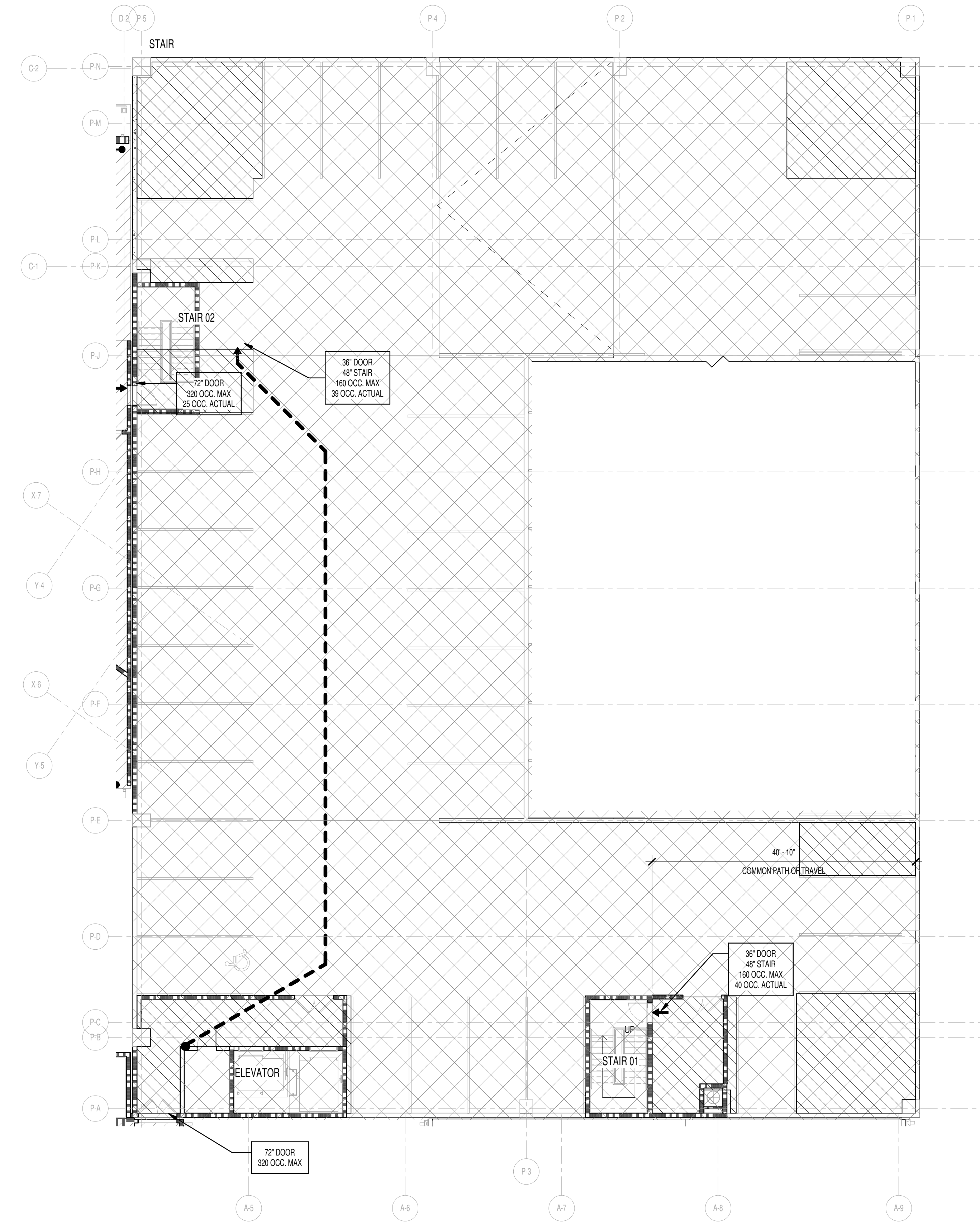
2 LEVEL 04-06 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"



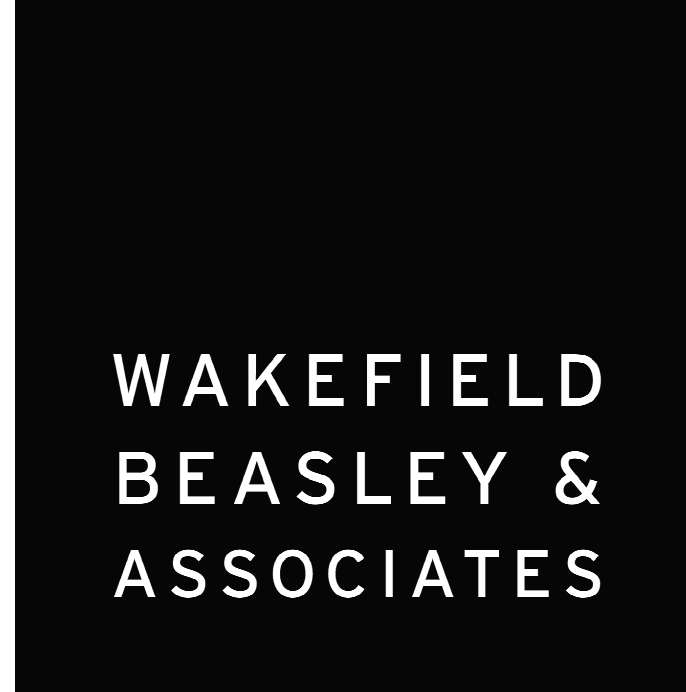
1 LEVEL 03 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"

LEVEL 03 OCCUPANT LOAD				
SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
PARKING DECK	STORAGE	200	15,660	79

FIRE RATED PARTITION KEY	
[Thin solid line]	NON RATED PARTITION
[Dashed line]	30 MIN RATED PARTITION
[Dotted line]	1 HR RATED PARTITION
[Solid black line]	2 HR RATED BARRIER
[Thick solid black line]	3 HR RATED WALL



1 LEVEL 07 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"



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DT WALTON MIXED USE DEVELOPMENT

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Date	Job No.
09/31/2017	1603094-000

Sheet Title
LIFE SAFETY - LEVEL 07
LS2-07

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CONSTRUCTION PLANS

DT WALTON MIXED USE DEVELOPMENT

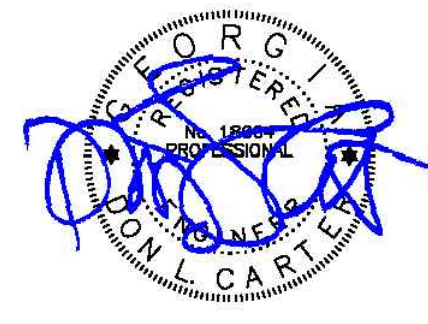
743 PLUM STREET & 586 DT WALTON SR WAY
MACON, GEORGIA 31201

MACON-BIBB COUNTY URBAN
DEVELOPMENT AUTHORITY
200 CHERRY STREET, SUITE 300
MACON, GEORGIA 31201

MAY 28, 2019



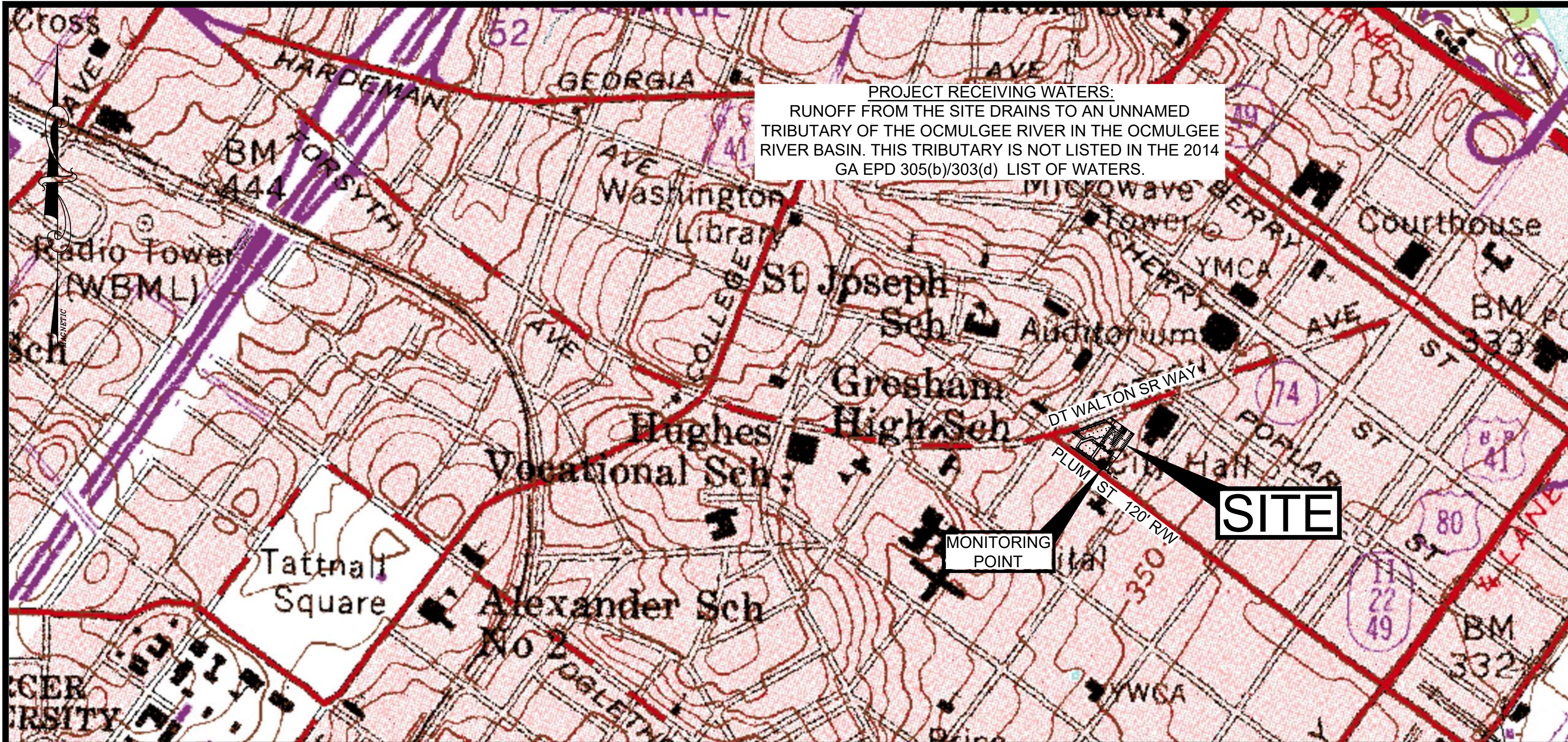
6310 Peake Road, Suite 200
Macon, GA 31210
478-219-2600



LEVEL II CERTIFIED
DESIGN PROFESSIONAL # 2001
ISSUED: 11/27/17 EXPIRES: 11/27/20



Know what's below.
Call before you dig.



PROJECT LOCATION MAP

SCALE: 1"=500'

PROJECT NARRATIVE

THIS PROJECT INCLUDES THE DEVELOPMENT OF A 1.163 ACRE SITE BOUNDED BY D.T. WALTON SR. WAY, PLUM STREET, POPLAR STREET LANE AS WELL AS DEVELOPED COMMERCIAL PARCELS. DEMOLITION AND REMOVAL OF EXISTING BUILDINGS, SLABS, AND PAVING IS INCLUDED, AS WELL AS REMOVAL OF TWO WATER SERVICES. THE PROPOSED DEVELOPMENT CONSISTS OF TWO BUILDINGS WHICH CONTAIN RETAIL SPACES IN THE GROUND FLOOR AND LOFT APARTMENTS IN THE UPPER FLOORS. A PARKING DECK IS ALSO INCLUDED.

THE ENTIRE DEVELOPMENT (BUILDINGS AND PARKING DECK) WILL BE SERVED BY (2) 4" DOMESTIC WATER MAINS AND (1) 8" FIRE PROTECTION MAIN. THESE MAINS WILL BE EXTENDED TO A SINGLE RISER ROOM FROM A NEW MAIN TO BE INSTALLED ALONG PLUM STREET. THE RISER ROOM SHALL BE LOCATED ON THE NORTHWEST CORNER OF THE PORTION OF THE BUILDING WHICH FACES PLUM STREET. DUE TO A LACK OF SUITABLE SPACE IN THE EXISTING SIDEWALK AREA, ALL BACKFLOW PREVENTERS WILL BE LOCATED INSIDE THE RISER ROOM. A FIRE HYDRANT IS BEING ADDED ALONG THE PLUM STREET FRONTAGE AS WELL.

THE PROPOSED BUILDING WILL CONTAIN 103 TOILETS, 102 BATHTUB/SOWER COMBINATIONS, 107 BATHROOM SINKS, 88 KITCHEN SINKS, 87 DISHWASHERS, 88 REFRIGERATORS, 87 WASHING MACHINES, AND 1 JANITOR SINK. THREE PROPOSED RETAIL UNITS WILL EACH HAVE A 6-INCH GREASE LINE. ONE WILL DRAIN INTO A 750-GALLON GREASE TRAP, ONE WILL DRAIN INTO A 1,250-GALLON GREASE TRAP, AND ONE WILL DRAIN INTO A 1,500-GALLON GREASE TRAP. GREASE FROM THREE PROPOSED RETAIL UNITS DISCHARGE VIA A 6-INCH GREASE LINE INTO A 1000 GALLON GREASE TRAP. THE 130,928 SQUARE FOOT PARKING DECK HAS NO PLUMBING FIXTURES.

TWO SEWER SERVICES WILL BE EXTENDED TO THE SOUTH SIDE OF THE BUILDING FROM AN 8-INCH MAIN IN PLUM STREET. FOUR SEWER SERVICES WILL BE EXTENDED TO THE WEST SIDE OF THE BUILDING FROM DT WALTON SENIOR WAY. THREE OF THE FOUR SEWER SERVICES TYING INTO THE 8-INCH MAIN IN DT WALTON SENIOR WAY WILL BE SERVING AS GREASE TRAP DISCHARGE LINES AS WELL. SIX 6-INCH SEWERS AND THREE GREASE TRAPS WILL BE INSTALLED FOR THE ENTIRE DEVELOPMENT.

FOOD SERVICE IS PROPOSED AS PART OF THIS PROJECT THROUGH THE RETAIL UNITS. HOWEVER, TENANTS AND DETAILS FOR THESE POSSIBLE FOOD SERVICE SPACES IS UNKNOWN AT THIS TIME.

NOTIFICATION CONTACTS:

RETAIL/LOFTS/DEVELOPER CONTACT

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ATTN: MR. MILLER L. HEATH, III
543 SECOND STREET, SUITE 103
MACON, GEORGIA 31201
PHONE: 478-743-1050 x 1115
DIRECT: 478-787-4772
FAX: 478-314-0749

PARKING DECK OWNER/DEVELOPER CONTACT

MACON-BIBB COUNTY URBAN DEVELOPMENT AUTHORITY
ATTN: MR. ALEX MORRISON, EXECUTIVE DIRECTOR
200 CHERRY STREET, SUITE 300
MACON, GEORGIA 31201
PHONE: 478-803-2402
EMAIL: amorrison@maconbibb.us

INDEX TO DRAWINGS

Table with columns SHEET NO. and TITLE. Lists drawing sheets from C0.0 to C7.5 including COVER SHEET, OVERALL SITE PLAN, SITE DEMOLITION PLAN, SITE LAYOUT AND PAVING PLAN, SITE GRADING AND DRAINAGE PLAN, SITE WATER AND SANITARY SEWER PLAN, and INITIAL STORMWATER POLLUTION PREVENTION PLAN.

PROJECT INFORMATION

Table with columns PROPERTY ACREAGE, DISTURBED AREA, PROPERTY INFORMATION, BUILDING USE, BUILDING AREAS, NUMBER OF PLUMBING FIXTURES, TOILETS, BATHUBS/SHOWERS, BATHROOM SINKS, KITCHEN SINKS, JANITOR'S SINK, DISHWASHERS, REFRIGERATORS, WASHING MACHINES, NEW WATER/SERVICES/WATER SERVICE QUANTITIES, and NEW SANITARY SEWER.

DT WALTON MIXED USE
DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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Print Record

28 MAY 2019 CD ISSUE FOR BID

Revisions

Date Job No.

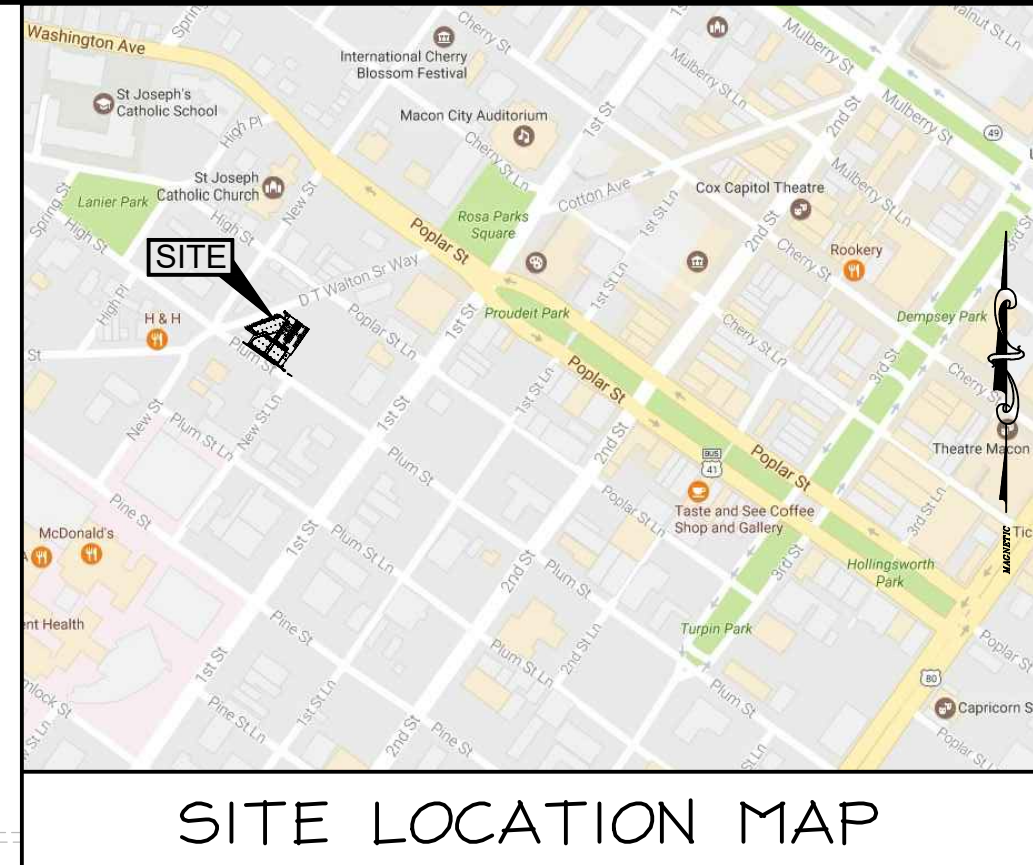
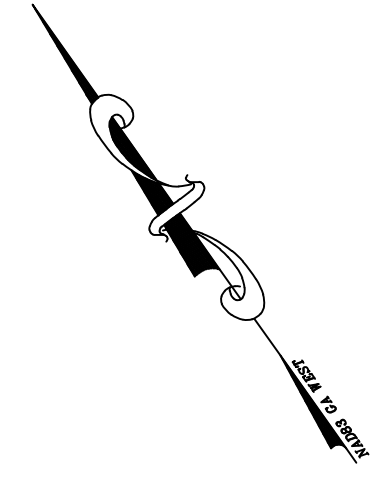
28 May 2019 M6400.001

Sheet Title

COVER SHEET

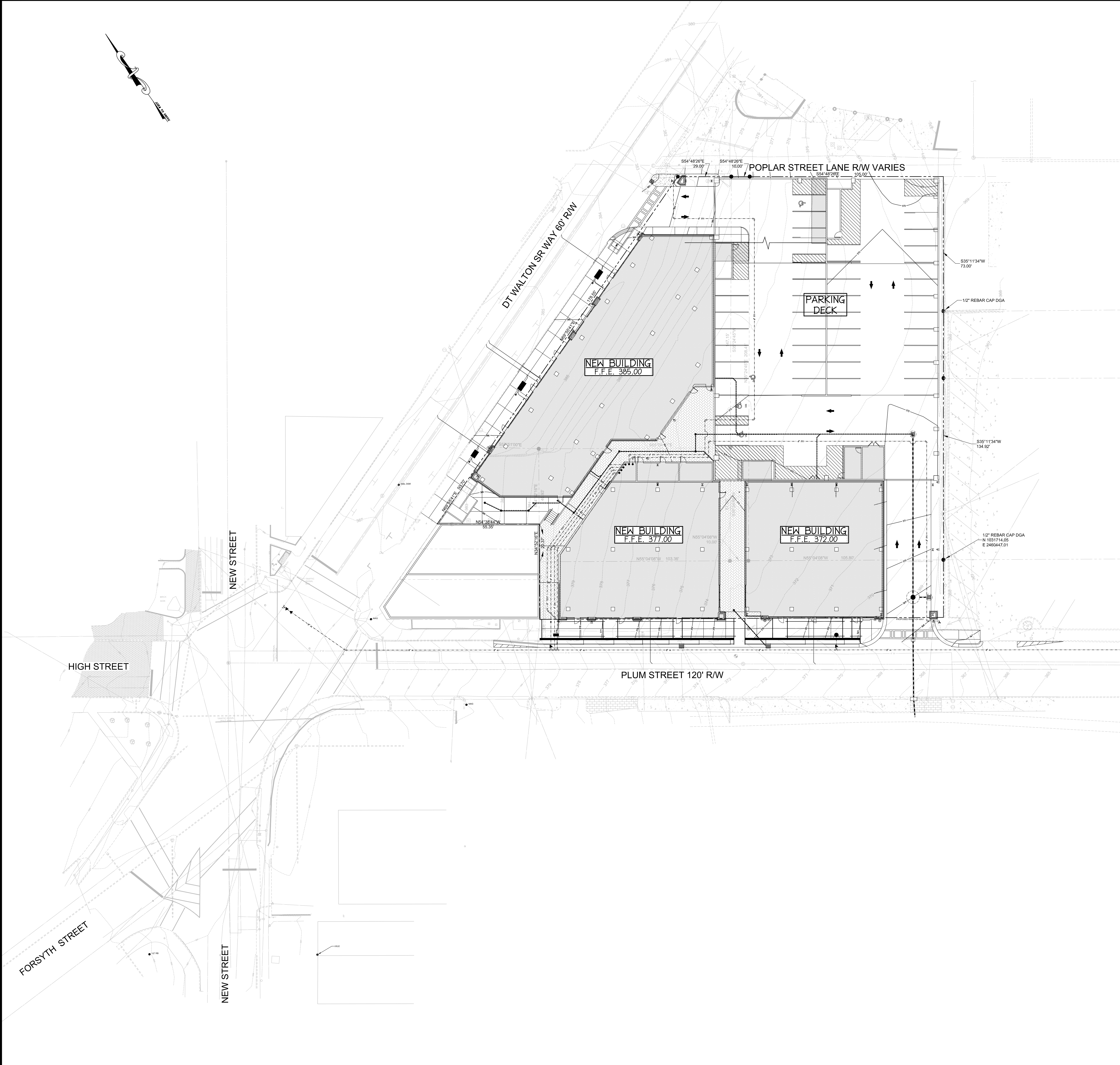
Sheet No.

C0.0



CARTER
Engineering
Group

6310 Peake Road, Suite 200
Macon, GA 31210
478-219-2600



DT WALTON MIXED USE
DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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Date 28 May 2019 Job No. M6400.001

Sheet Title
**OVERALL
SITE PLAN**

Sheet No.
C1.0



SITE INFORMATION

PROPERTY LOCATION: PART OF LOT 2 4 3, OLD CITY SQUARE 62
MACON-BIBB COUNTY, GEORGIA

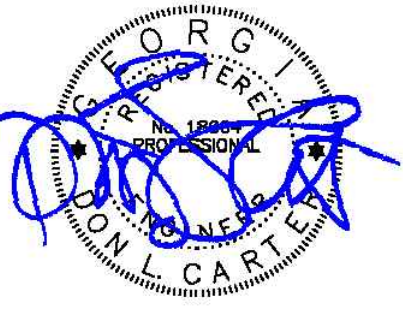
**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:** MPH-THORNTON, LLC
543 SECOND STREET, SUITE 103
MACON, GEORGIA 31201
MR. MILLER L. HEATH, III
PHONE: 478-740-1950 x 115
DIRECT: 478-787-4772
FAX: 478-344-0748
Email: mlheath3@mpm-captial.com

ENGINEER PREPARING PLANS: CARTER ENGINEERING GROUP, LLC
CONTACT: DON CARTER
Email: dcarter@carterengr.com
6310 PEAKE ROAD, SUITE 200
MACON, GEORGIA 31210
TEL: 478-219-2600

**BOUNDARY AND TOPOGRAPHIC INFORMATION
PREPARED BY:** WELLSVILLE ASSOCIATES LAND SURVEYORS, LLC
506 OSIGAN BOULEVARD, SUITE 2
WARNER ROBINS, GEORGIA 31088
TEL: 478-971-3352
FAX: 478-971-1400

LEGEND (applies to all plan sheets)

DESCRIPTION	EXISTING	NEW
PROPERTY LINE	- - - - -	- - - - -
CONTOUR LINE	-450-	-450-
POWDER POLE	○	○
LIGHT POLE	◇	◇
OVERHEAD POWER	—OHP—	—OHP—
HIGH VOLTAGE LINE	—HV/L—	—HV/L—
UNDERGROUND ELECTRICAL	—E—	—E—
UNDERGROUND TELEPHONE	—T—	—T—
UNDERGROUND FIBER OPTIC	—FOC—	—FOC—
GAS LINE	—G—	—G—
WATER LINE	—W—	—W—
FIRE PROTECTION MAIN	—FP—	—FP—
DOMESTIC WATER	—DW—	—DW—
IRRIGATION MAIN	—IRR—	—IRR—
FIRE HYDRANT	○	○
WATER VALVE	○	○
WATER METER	○	○
SEWER MANHOLE	—SM—	—SM—
CLEANOUT	○	○
DRAIN INLET	□	□
CATCH BASIN D.O.T. STD. 1033D	□	□
STORM DRAIN	—SD—	—SD—
SILT FENCE & TYPE	—SIF—	—SIF—
SPOT ELEVATION	+	+
CONCRETE PAVING	▨	▨
CONCRETE SIDEWALKS	▩	▩
PVC IRRIGATION SLEEVE	—PVC—	—PVC—
SOIL BOUNDARY LINE	—SBL—	—SBL—
SOIL TYPE	—HTB—	—HTB—
FENCE	—F—	—F—
FENCE w/ 3 STRANDS OF BARBED WIRE	—FWB—	—FWB—
NOT IN CONTRACT	---	---
TREES TO BE REMOVED	○	○



LEVEL 1 CERTIFIED
DESIGN PROFESSIONAL 2001
ISSUED 11/2017 EXPIRES 11/2020
GEORGIA811
Utilities Protection Center, Inc.
Know what's below.
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**DT WALTON MIXED USE
DEVELOPMENT**

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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Print Record
28 MAY 2019 CD ISSUE FOR BID

Revisions

Date: 28 May 2019
Job No.: M6400.001
Sheet Title: SITE SURVEY

Sheet No. **C1.1**

TITLE LEGAL DESCRIPTIONS

743 PLUM STREET:
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF MACON, BIBB COUNTY, GEORGIA, BEING LOT WITH IMPROVEMENTS THEREON NO. 719 PLUM STREET, WITH A FRONTAGE OF FIFTY EIGHT (58) FEET ON SAID PLUM STREET, RUNNING BACK ONE HUNDRED FORTY (140) FEET AND SIXTY (60) FEET WIDE IN THE REAR, AND THE LOT AND IMPROVEMENTS AT 721 PLUM STREET, WITH A FRONTAGE OF FORTY EIGHT (48) FEET RUNNING BACK NINETY FIVE (95) FEET TO A TEN FOOT ALLEY; ALSO THE LOT AND IMPROVEMENTS IN THE REAR OF 719 AND 721 PLUM STREET, FRONTING FIFTY (50) FEET ON COTTON AVENUE ALLEY, ONE HUNDRED SIX (106) FEET ON CITY HALL ALLEY, AND SEVENTY EIGHT (78) FEET NEXT TO DAMOUR PROPERTY.
THE ABOVE DESCRIBED PROPERTY IS MORE PARTICULARLY DESCRIBED AS BEING A PART OF THE PROPERTY DESCRIBED IN THE PLAT OF THE CITY OF MACON, OLD CITY, BLOCK 62, AND MORE PARTICULARLY DESCRIBED AS BEING LOTS A, B, C, AND D IN BLOCK 2 OF BLOCK 62 OF SAID OLD CITY SURVEY, SAID PLAT SHOWING SAID PROPERTY TO HAVE A FRONTAGE OF ONE HUNDRED FIVE (105) FEET ON PLUM STREET, AND EXTENDING BACK WITH EVEN WIDTH A DISTANCE OF TWO HUNDRED FORTY FOUR (244) FEET TO AN ALLEY.
THE ABOVE DESCRIBED PROPERTY IS THE SAME AS THAT DESCRIBED IN THAT DEED FROM MRS. CLAUDE B. ANDERSON TO THE CITY OF MACON, DATED OCTOBER 13, 1947 AND RECORDED OCTOBER 13, 1947 IN DEED BOOK 963, PAGE 490, CLERK'S OFFICE, BIBB SUPERIOR COURT.
753 PLUM STREET:
ALL THAT TRACT OR PARCEL OF LAND IN SQUARE 62 OF THE CITY OF MACON, BIBB COUNTY, GEORGIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT WHERE THE NORTHEAST LINE OF PLUM STREET IS INTERSECTED BY THE NORTHWEST LINE OF THE 10-FOOT PUBLIC ALLEY WHICH RUNS THROUGH SAID SQUARE AND RUNNING THENCE NORTHWEST ALONG THE LINE OF PLUM STREET 103.3 FEET TO THE SET IN GROUND ARE 12" REBAR WITH CAPS, 4" AND RUNNING THENCE IN A NORTHEASTLY DIRECTION ALONG THE WALL OF SAID BUILDING AND ALONG A PROJECTION OF THE LINE OF SAID WALL 41.3 FEET TO THE WALL OF A BRICK BUILDING, THENCE S 54° 32' E ALONG THE WALL OF SAID BUILDING AND ALONG A PROJECTION OF THE LINE OF SAID WALL 104.7 FEET MORE OR LESS TO SAID 10-FOOT ALLEY; AND THENCE SOUTHWESTERLY ALONG SAID ALLEY 61.3 FEET TO THE POINT OF BEGINNING. THIS IS PART OF THE SAME PROPERTY DESCRIBED IN A CERTAIN DEED DATED SEPTEMBER 30, 1986 AND RECORDED SEPTEMBER 30, 1986 IN DEED BOOK 968, PAGE 233, CLERK'S OFFICE, BIBB SUPERIOR COURT.
586 DT WALTON SR. WAY:
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF MACON, BIBB COUNTY, GEORGIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT WHERE THE NORTHEAST LINE OF PLUM STREET IS INTERSECTED BY THE NORTHWEST LINE OF THE 10-FOOT PUBLIC ALLEY WHICH RUNS THROUGH SAID SQUARE AND RUNNING THENCE NORTHWEST ALONG THE LINE OF PLUM STREET 103.3 FEET TO THE SET IN GROUND ARE 12" REBAR WITH CAPS, 4" AND RUNNING THENCE IN A NORTHEASTLY DIRECTION ALONG THE WALL OF SAID BUILDING AND ALONG A PROJECTION OF THE LINE OF SAID WALL 41.3 FEET TO THE WALL OF A BRICK BUILDING, THENCE S 54° 32' E ALONG THE WALL OF SAID BUILDING AND ALONG A PROJECTION OF THE LINE OF SAID WALL 104.7 FEET MORE OR LESS TO SAID 10-FOOT ALLEY; AND THENCE SOUTHWESTERLY ALONG SAID ALLEY 61.3 FEET TO THE POINT OF BEGINNING. THIS IS PART OF THE SAME PROPERTY DESCRIBED IN A CERTAIN DEED DATED SEPTEMBER 30, 1986 AND RECORDED SEPTEMBER 30, 1986 IN DEED BOOK 968, PAGE 233, CLERK'S OFFICE, BIBB SUPERIOR COURT.
552 DT WALTON SR. WAY:
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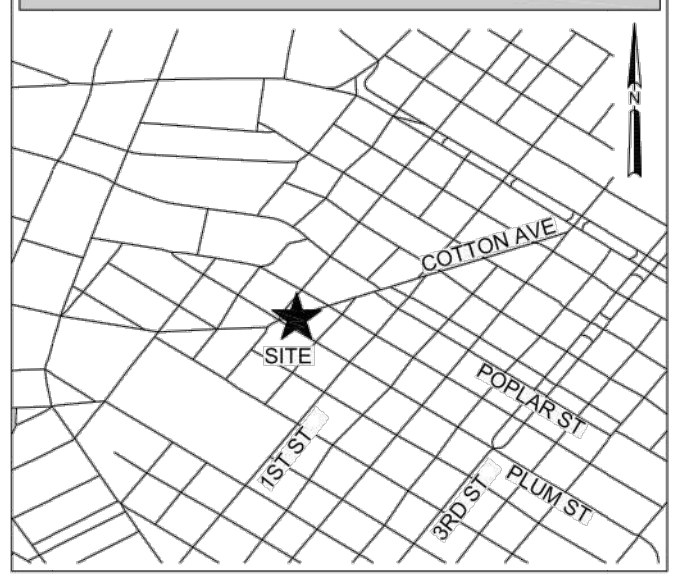
MISCELLANEOUS NOTES

1. THIS PLAT WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 55-6-97.
2. THIS DOCUMENT WAS CREATED ELECTRONICALLY. THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT HAS BEEN PROPERLY SEALED AND ORIGINALLY SIGNED BY A REGISTERED LAND SURVEYOR AT THE OFFICE OF WELLSTON ASSOCIATES LAND SURVEYORS, LLC AUTHORITY O.C.G.A. 43-15-2.
3. THE UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM FIELD OBSERVATIONS, UTILITY COMPANY RECORDS AND THE UNDERGROUND UTILITIES MARKED BY OTHERS WITHOUT BENEFIT OF EXCAVATION. WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN. VERIFICATION OF UTILITIES SHOULD BE MADE BY THE INDIVIDUAL UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
4. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS AN AVERAGE RELATIVE ACCURACY OF 0.03 FEET AT THE 95% CONFIDENCE LEVEL. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 20,539 FEET. THE LINEAR AND ANGULAR MEASUREMENTS SHOWN ON THIS PLAT WERE OBTAINED BY UTILIZING A SOKKIA GPS RTK DUAL FREQUENCY RECEIVER. FIELD WORK COMPLETED ON 11/14/16.
5. WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THE SUBJECT TRACT ARE SHOWN.
6. BY GRAPHICAL PLOTTING ONLY, THE SUBJECT AREA LIES WITHIN ZONE "X" OF THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP NO. 13021C0134F, DATED 04/02/2007.
7. ONE FOOT CONTOUR INTERVAL SHOWN. ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 DATUM.
8. PROPERTY CORNERS SET IN ASPHALT ARE PK NAILS. PROPERTY CORNERS SET IN GROUND ARE 12" REBAR WITH CAPS.
9. DIMENSIONS SHOWN TO CURB ARE FROM FACE OF GRANITE CURB TO PROPERTY LINE.
10. REFERENCE PLAT: PLAT TITLED "PLAT OF PART OF BL. 62, O.C. CITY OF MACON, GA," DATED MARCH 22, 1946 & LOCATED IN THE CITY ENGINEERS OFFICE OF MACON.

ENCROACHMENTS

1. UTILITIES ACROSS PROPERTY LINE ADJACENT TO 757 PLUM STREET
2. BUILDING APPURTENANCES CROSSING PROPERTY LINE ADJACENT TO 590 DT WALTON SR WAY.
3. UTILITIES ACROSS PROPERTY LINES ADJACENT TO PLUM STREET LANE.
4. STORM MANHOLE ENCROACHES PROPERTY LINE ADJACENT TO 10' ALLEY.
5. UTILITIES ACROSS PROPERTY LINE ADJACENT TO 665 FIRST STREET.

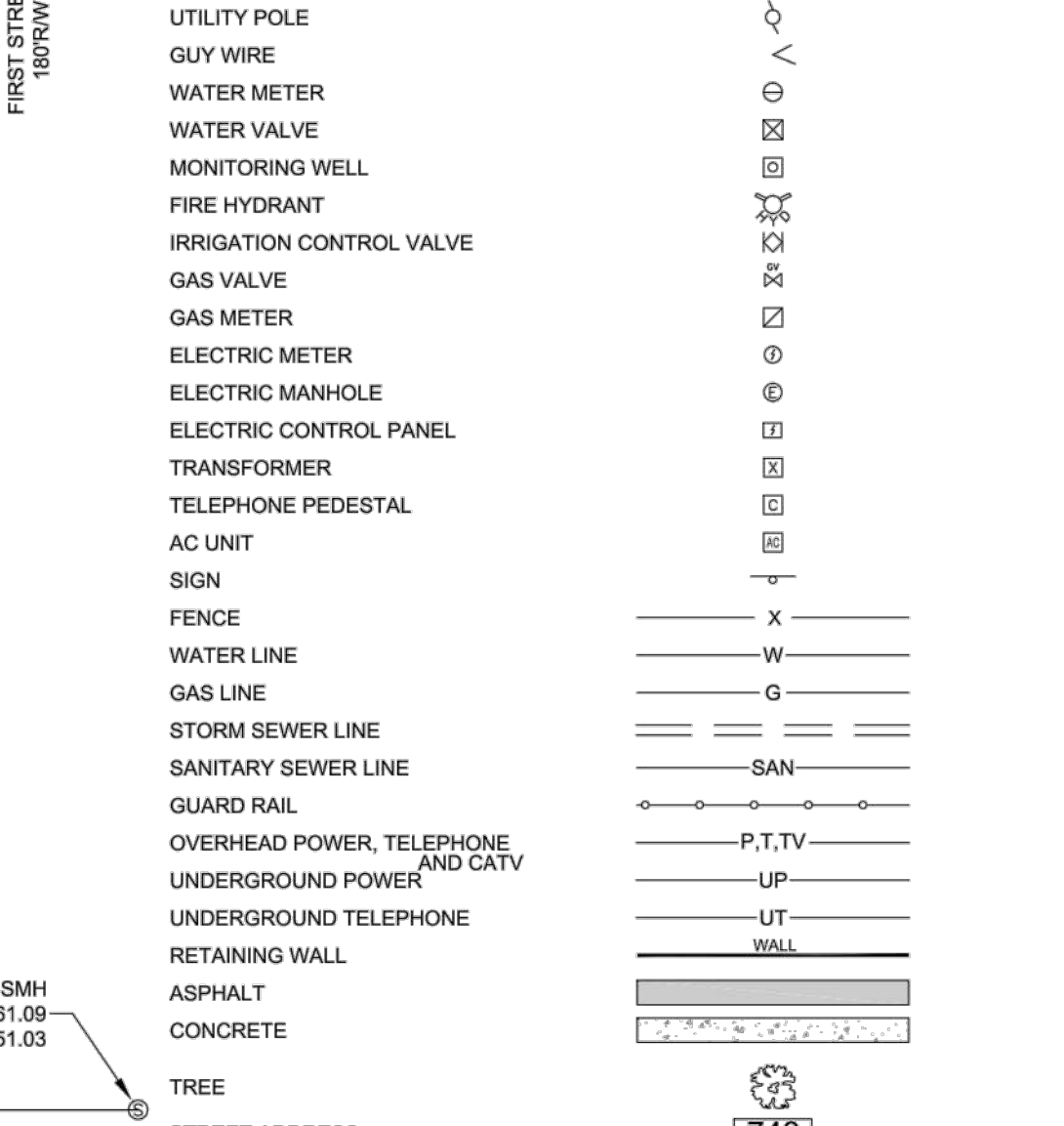
VICINITY MAP



ENCROACHMENTS

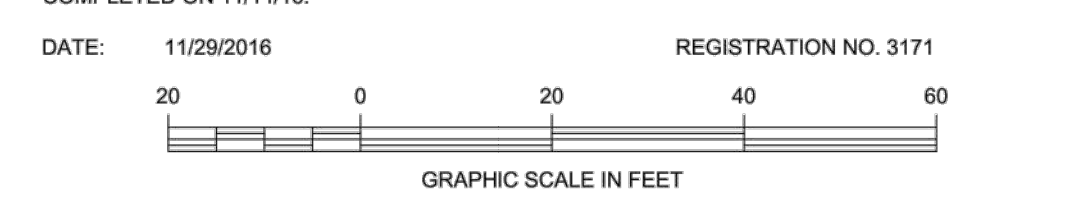
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4. STORM MANHOLE ENCROACHES PROPERTY LINE ADJACENT TO 10' ALLEY.
5. UTILITIES ACROSS PROPERTY LINE ADJACENT TO 665 FIRST STREET.

LEGEND OF SYMBOLS



CERTIFICATION

TO CHICAGO TITLE INSURANCE COMPANY; MMI CAPITAL, LLC, A GEORGIA LIMITED LIABILITY COMPANY; MACON-BIBB COUNTY, GEORGIA (aka CITY OF MACON, GEORGIA).
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/SUBSIDIARY LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ASRS AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11 AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 11/14/16.
DATE: 11/29/2016 REGISTRATION NO. 3171

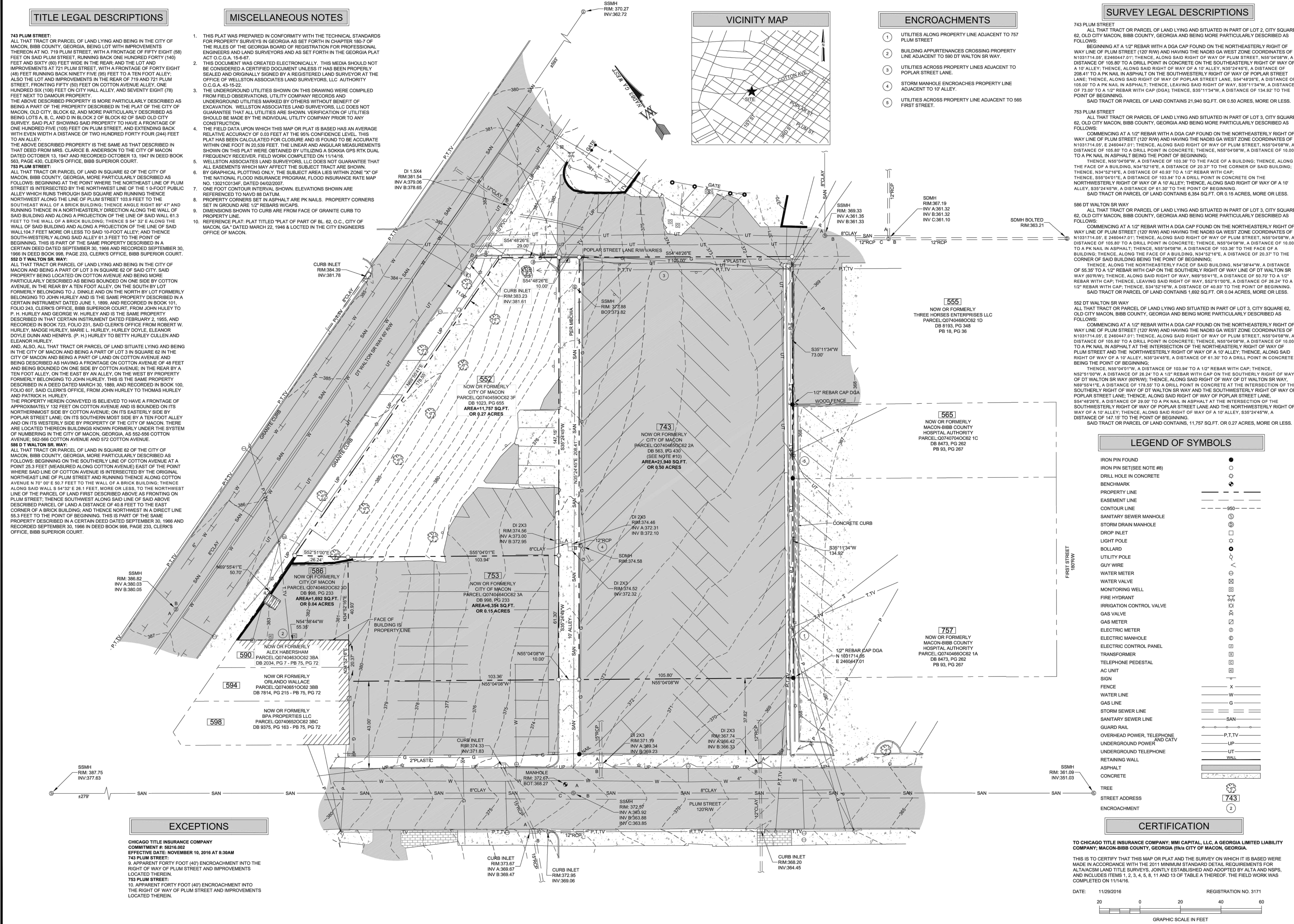


EXCEPTIONS

9. APPARENT FORTY FOOT (40') ENCROACHMENT INTO THE RIGHT OF WAY OF PLUM STREET AND IMPROVEMENTS LOCATED THEREIN.
10. APPARENT FORTY FOOT (40') ENCROACHMENT INTO THE RIGHT OF WAY OF PLUM STREET AND IMPROVEMENTS LOCATED THEREIN.

EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT #: 58216.002
EFFECTIVE DATE: NOVEMBER 10, 2016 AT 03:00M
743 PLUM STREET:
9. APPARENT FORTY FOOT (40') ENCROACHMENT INTO THE RIGHT OF WAY OF PLUM STREET AND IMPROVEMENTS LOCATED THEREIN.
753 PLUM STREET:
10. APPARENT FORTY FOOT (40') ENCROACHMENT INTO THE RIGHT OF WAY OF PLUM STREET AND IMPROVEMENTS LOCATED THEREIN.

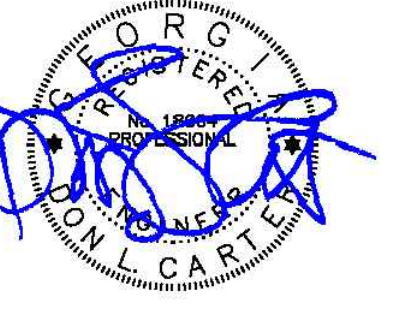


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LEVEL II CERTIFIED
DESIGN PROFESSIONAL # 2061
ISSUED: 11/29/17 EXPIRES: 11/29/20



Know what's below
Call before you dig.

CERTIFICATION STATEMENT:
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
 DON L. CARTER, CERTIFIED LEVEL II PLAN DESIGNER #000000 2061
GRANITE CURBING
ALL GRANITE CURBING OR COBBLE REMOVED FROM CITY RIGHT-OF-WAY SHALL BE TURNED OVER TO MACON-BIBB COUNTY PUBLIC WORKS DEPARTMENT. STACK ALL GRANITE CURB FOR PICKUP. PUBLIC WORKS: 478-751-9124
NOTE: CONTRACTOR SHALL RETAIN A SUFFICIENT AMOUNT OF GRANITE CURB TO REPLACE SECTIONS REMOVED ALONG D.T. WALTON FOR UTILITY CONNECTIONS.
NOTE: ALL INITIAL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO OR CONCURRENT WITH DEMOLITION.
NOTES REGARDING REMOVAL OF EXISTING WATER & SEWER SERVICE:
1. EXISTING PRIVATE SANITARY SERVICES SHALL BE LOCATED, CUT AND CAPPED AS SPECIFIED BY THE ON-SITE MWA INSPECTOR. AN MWA INSPECTOR MUST WITNESS THE SERVICE BEING CAPPED.
2. TWO (2) WATER SERVICES ARE REQUIRED TO BE REMOVED BACK TO THE MAIN BEFORE DEMOLITION.
3. NOTIFY MWA INSPECTOR TO INSPECT ALL SERVICE REMOVALS AND TERMINATION. MWA INSPECTION 478-464-5639
4. A DEMO PERMIT FROM MWA IS REQUIRED. CONTACT MWA CUSTOMER SERVICE AT 478-464-5620 FOR MACON WATER AUTHORITY'S DEMO PERMIT PERTAINING TO EXISTING BUILDINGS TO BE REMOVED.
DEMOLITION NOTES:
1. CONFIRM LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
2. ALL PAVED SURFACES, CURBS, CONCRETE BLOCKS, BUILDING SLABS AND BRICKS SHALL BE CRUSHED TO MEET GABC NEEDS ON-SITE OR REMOVED FROM THE SITE. PROVIDE PRICING FOR BOTH METHODS. CRUSHED ITEMS MAY BE PLACED ON-SITE WITH OWNER'S CONSENT. THESE MATERIALS SHALL BE USED AS A COMPONENT OF BACKFILL, FILL AND/OR BASE COURSE IN CONSTRUCTION OPERATIONS FOR NEW FACILITY. ALL ITEMS MUST BE CRUSHED TO A PARTICLE SIZE WHICH MEETS THE GRADATION REQUIREMENTS FOR GROUP II AGGREGATES AS DEFINED BY GDOT SPECIFICATION SECTION 815.
ALL OTHER MATERIALS NOTED TO BE DEMOLISHED/REMOVED SHALL BE DISCARDED OFFSITE IN A LEGAL AND LAWFUL MANNER.
3. TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE (INCLUDING ROOT SYSTEM) DURING CONSTRUCTION.
4. NOT ALL LANDSCAPING TREES, SHRUBS, HEDGEROWS OR VEGETATION MAY BE SHOWN. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO ASCERTAIN ALL CLEARING REQUIRED FOR CONSTRUCTION OF PROJECT.
5. ALL CONCRETE PADS, PAVED SURFACES, FOUNDATIONS, AND OTHER DEBRIS AND STRUCTURE REMNANTS WITHIN AREA OF CONSTRUCTION SHALL BE REMOVED ENTIRELY BENEATH STRUCTURAL FOUNDATIONS, IN AREAS THAT MAY INTERFERE WITH THE PLACEMENT OF UNDERGROUND PIPES AND UTILITIES AND WHERE SUB-SURFACE COMPACTION REQUIREMENTS CANNOT BE MET.
6. ELECTRICAL LINES SHALL BE REMOVED AND TRANSFORMERS TURNED OVER TO UTILITY PROVIDER. REMOVAL AND RELOCATION SHALL BE COORDINATED WITH UTILITY PROVIDER.
7. CABLE AND PHONE LINE REMOVAL AND RELOCATION SHALL BE COORDINATED WITH UTILITY PROVIDER.
8. EXISTING OPERATIONAL UTILITY METERS, VALVES, BOXES, POLES, ETC. TO REMAIN, OR TO BE RELOCATED, SHALL BE COORDINATED WITH UTILITY PROVIDER.
9. STORM DRAIN STRUCTURES AND ALL OTHER UTILITIES NOT TO BE DISCONNECTED SHALL REMAIN OPERATIONAL AND IN SERVICE DURING COURSE OF DEMOLITION AND EARTHWORK OPERATIONS.
10. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF UTILITIES IN ADDITION TO THOSE SHOWN ARE ENCOUNTERED.
11. SANITARY SEWER LATERAL AND WATER SERVICE REMOVAL SHALL BE COORDINATED WITH MWA INSPECTION DEPARTMENT 478-464-5639. MWA INSPECTOR SHALL OBSERVE AND APPROVE REMOVAL OF SANITARY LATERALS AND WATER SERVICES. (SEE ADDITIONAL NOTES ON THIS SHEET.)
12. CONTRACTOR SHALL PLACE A BLACK PLASTIC BAG OVER ANY FIRE HYDRANT THAT IS NOT IN SERVICE FOR THE DURATION THAT THE HYDRANT IS NOT IN SERVICE.

PARKING TABULATION
PARKING DECK PARKING: 345 SPACES H/C ACCESSIBLE PARKING 8 SPACES
SITE ACCESSIBILITY NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT HANDICAP PARKING AREAS, ACCESS AISLES, HANDICAP RAMPS, AND ALL SIDEWALKS ARE CONSTRUCTED TO MEET THE DEPARTMENT OF JUSTICE PUBLISHED REVISED REGULATIONS FOR TITLE II AND III OF THE AMERICANS WITH DISABILITIES ACT OF 1990 'ADA' IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010.
2. CONTRACTOR SHALL CHECK ELEVATIONS, LONGITUDINAL SLOPES, AND CROSS-SLOPES OF ALL FORM WORK PRIOR TO PLACING CONCRETE AND/OR ASPHALT FOR CURB AND GUTTERS, HANDICAP RAMPS, AND PARKING AREAS, WALKS, ETC. TO VERIFY HANDICAP ACCESSIBLE ROUTE TO FACILITY WILL BE PROVIDED AND MEET THE FOLLOWING REQUIREMENTS:
A. CROSS-SLOPES OF HANDICAP PARKING AREAS SHALL NOT EXCEED SLOPES OF 1:48.
B. RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED 1:20.
C. CROSS-SLOPES OF SIDEWALKS SHALL NOT EXCEED 1:48.
D. RUNNING SLOPES OF HANDICAP RAMPS SHALL NOT EXCEED 1" IN 12" OR HAVE A VERTICAL HEIGHT GREATER THAN 6 INCHES.
E. HANDICAP RAMPS THAT EXCEED VERTICAL HEIGHT OF GREATER THAN 6" SHALL BE CONSTRUCTED WITH APPROPRIATE HANDRAIL PROVISIONS.
F. HANDICAP RAMP SHALL NOT EXCEED VERTICAL HEIGHT OF MORE THAN 30" IN SINGLE RUN WITH LANDINGS.
SITE LAYOUT NOTES:
1. DIMENSIONS SHOWN ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF SIDEWALK OR EDGE OF PAVEMENT.
2. RADII NOT SHOWN ARE 5'.
3. ANGLES NOT SHOWN ARE 90 DEGREES.
4. LAYOUT AND STAKING INFORMATION IS AVAILABLE TO SUCCESSFUL BIDDER FROM PROJECT ENGINEER ON COMPUTER DISK AUTOCAD 2000 UPON COMPLETION OF A HOLD HARMLESS AGREEMENT.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY BARRICADES AND FENCING AS REQUIRED TO PROVIDE TOTAL SEPARATION BETWEEN THE WORK AREA AND THE AREA TO BE OCCUPIED. THE CONTRACTOR SHALL INSTALL ADDITIONAL BARRICADES AND FENCING IF DEEMED NECESSARY BY THE OWNER FOR PROPER SEPARATION. COORDINATE PLACEMENT AND LOCATION OF SECURITY FENCE WITH OWNER AND ARCHITECT. SECURITY FENCE SHALL BE A 4' HIGH TENZEL FENCE OR EQUAL. ERECT FENCE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF FENCE AS NECESSARY TO ACCOMPLISH DIFFERENT PHASES OF CONSTRUCTION.
6. UNDER NO CONDITION SHALL THE WORK OF THE CONTRACTOR STOP OR DISTURB THE OWNER'S USE OF THE OCCUPIED PORTION OF THE BUILDING OR SITE.
7. THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND ORDERLY AT ALL TIMES.
8. CONTRACTOR SHALL COORDINATE WITH OWNER'S LIGHTING PROVIDER TO PROVIDE ELECTRICAL POWER PRIOR TO INSTALLATION OF PAVING AND SIDEWALKS.
9. PVC IRRIGATION SLEEVES SHALL BE INSTALLED WITH 18" COVER AND SHALL EXTEND 18" BEYOND BACK OF CURB. PVC SLEEVES SHALL BE 4" SDR 35, ASTM D3034. FURNISH AND INSTALL TEMPORARY INDICATOR POST AT EACH END OF CONDUIT. POST SHALL BE 4" DIA. x 24" WOOD.

CONSTRUCTION NOTES:
1. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING EXCAVATION. UTILITY LOCATIONS ARE BASED UPON FIELD OBSERVATIONS AND RECORD DRAWINGS. THESE LOCATIONS ARE APPROXIMATE AND MAY BE INCOMPLETE. THE UTILITIES PROTECTION CENTER MUST BE CONTACTED AT 1-800-282-7411 THREE (3) BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION.
2. ALL PAVING SUBGRADE AREAS SHALL BE COMPACTED IN 6" LAYERS TO 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D1558, CURRENT EDITION. ALL AREAS SHALL BE PROCFOLLOLED WITH A 20-TON DUMP TRUCK. UNDERCUT ALL AREAS THAT PUMP AND REPLACE WITH A SUITABLE MATERIAL COMPACTED AS HEREN SPECIFIED.
3. ALL CONSTRUCTION ON THE SITE SHALL BE IN ACCORDANCE WITH MACON-BIBB COUNTY SPECIFICATIONS AND REQUIREMENTS.
4. MAXIMUM CUT AND FILL SLOPES ARE 3:1.
5. NOTIFY COUNTY INSPECTOR 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
WATER & SANITARY SEWER CONSTRUCTION NOTES:
1. CONTRACTOR SHALL VERIFY LOCATIONS, INVERT ELEVATIONS, AND SIZES OF ALL UTILITY MAINS AND LINES PRIOR TO INSTALLATION OF UTILITY MAINS.
2. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH MACON WATER AUTHORITY STANDARDS LISTED AS FOLLOWS: SANITARY SEWER: DUCTILE IRON PRESSURE CLASS 350 OR PVC ASTM D3034 SDR26 WATER MAINS & SERVICES: 4" AND LARGER: DUCTILE IRON-PRESSURE CLASS 350 OR C900 DR18 PVC 3" AND SMALLER: TYPE 'K' COPPER, SCH. 40 PVC, OR SDR 21 PVC
3. THE CONTRACTOR SHALL NOTIFY THE MACON WATER AUTHORITY INSPECTIONS DEPARTMENT 72 HOURS PRIOR TO BEGINNING CONSTRUCTION - CALL CHIEF INSPECTOR JOEL HERNDON (478) 464-5639.
4. CONTRACTOR SHALL COORDINATE WATER AND SEWER CONNECTIONS WITH PLUMBING DRAWINGS.
5. CONTRACTOR SHALL PLACE BLACK PLASTIC BAGS OVER TOP OF ALL OUT-OF-SERVICE FIRE HYDRANTS UNTIL THE HYDRANTS ARE IN SERVICE.
6. ALL HYDRANTS AND FITTINGS SHALL HAVE THRUST BLOCKS OR APPROVED EQUAL.
7. METALLIC TAPE LOCATOR SHALL BE USED ON ALL SANITARY SEWER LATERALS.
8. CONTRACTOR SHALL FURNISH AND INSTALL SIGNAGE ALONG ROADWAY TO ALERT MOTORISTS OF CONSTRUCTION ACTIVITY. SIGNAGE AND PLACEMENT SHALL MEET MUTCD/GDOT/BIBB COUNTY AND MWA STANDARDS.
9. CONTRACTOR SHALL FURNISH AND INSTALL TAMPER SWITCHES FOR BACKFLOW PREVENTER VALVES AND FOR NEW POST INDICATOR VALVES. FURNISH AND INSTALL A 1" PVC CONDUIT W/ PULLSTRING FROM EACH OF THESE TO FIRE RISER ROOM
10. ALL BACKFLOW PREVENTION DEVICES MUST BE INSTALLED AND TESTED WITHIN SEVEN (7) BUSINESS DAYS AFTER METER ACCOUNTS ARE ESTIMATED.

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Date	Job No.
28 May 2019	M6400.001

Sheet Title

PROJECT NOTES

Sheet No.

C1.2

SITE INFORMATION

PROPERTY LOCATION:
PART OF LOT 2 & 3, OLD CITY SQUARE #2
MACON-BIBB COUNTY, GEORGIA

**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:**
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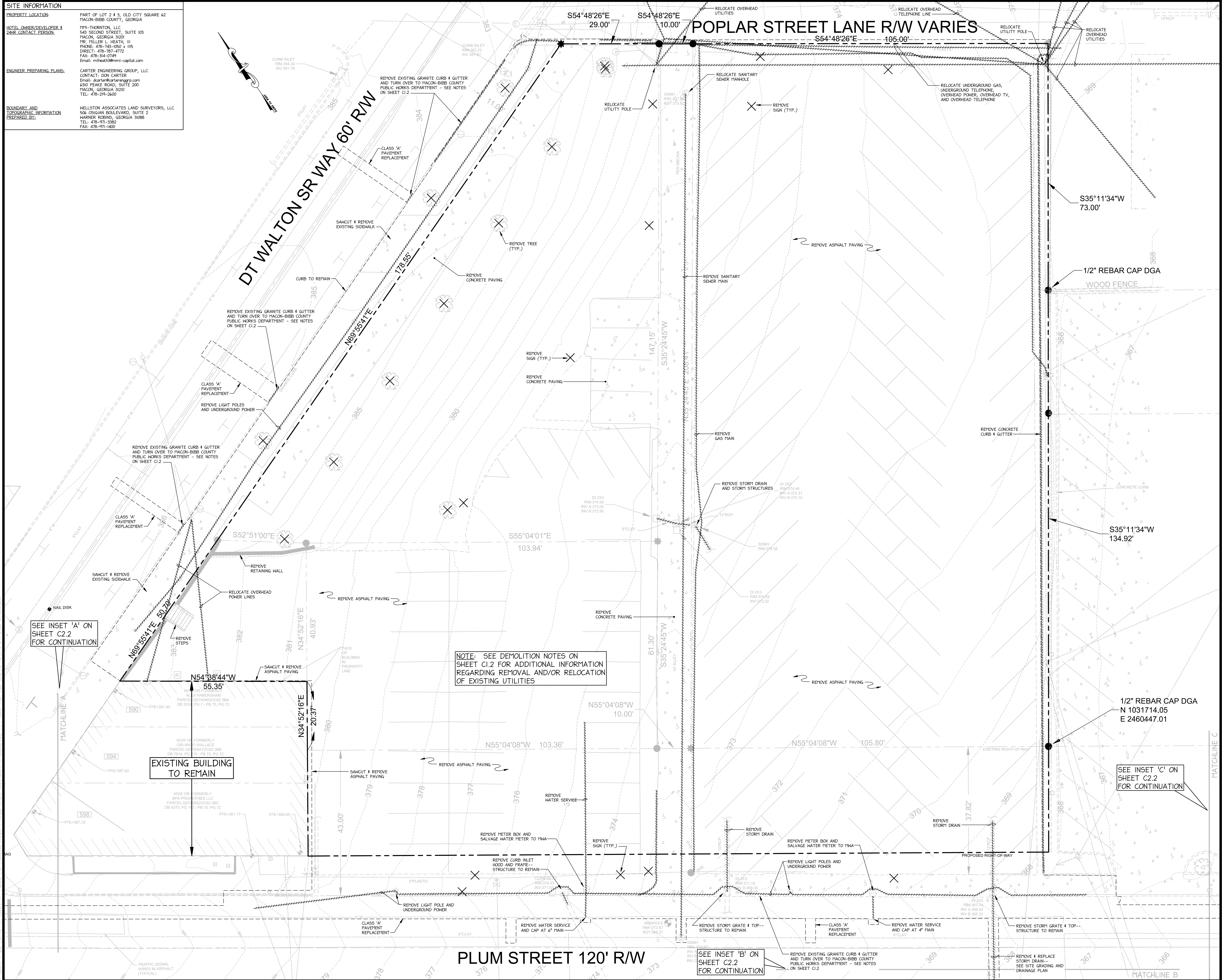
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Date: 28 May 2019 Job No.: M6400.001

Sheet Title: **SITE
DEMOLITION PLAN**

Sheet No.: **C2.1**

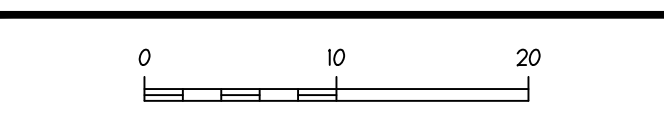


SEE INSET 'A' ON SHEET C2.2 FOR CONTINUATION

NOTE: SEE DEMOLITION NOTES ON SHEET C1.2 FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES

SEE INSET 'C' ON SHEET C2.2 FOR CONTINUATION

SEE INSET 'B' ON SHEET C2.2 FOR CONTINUATION



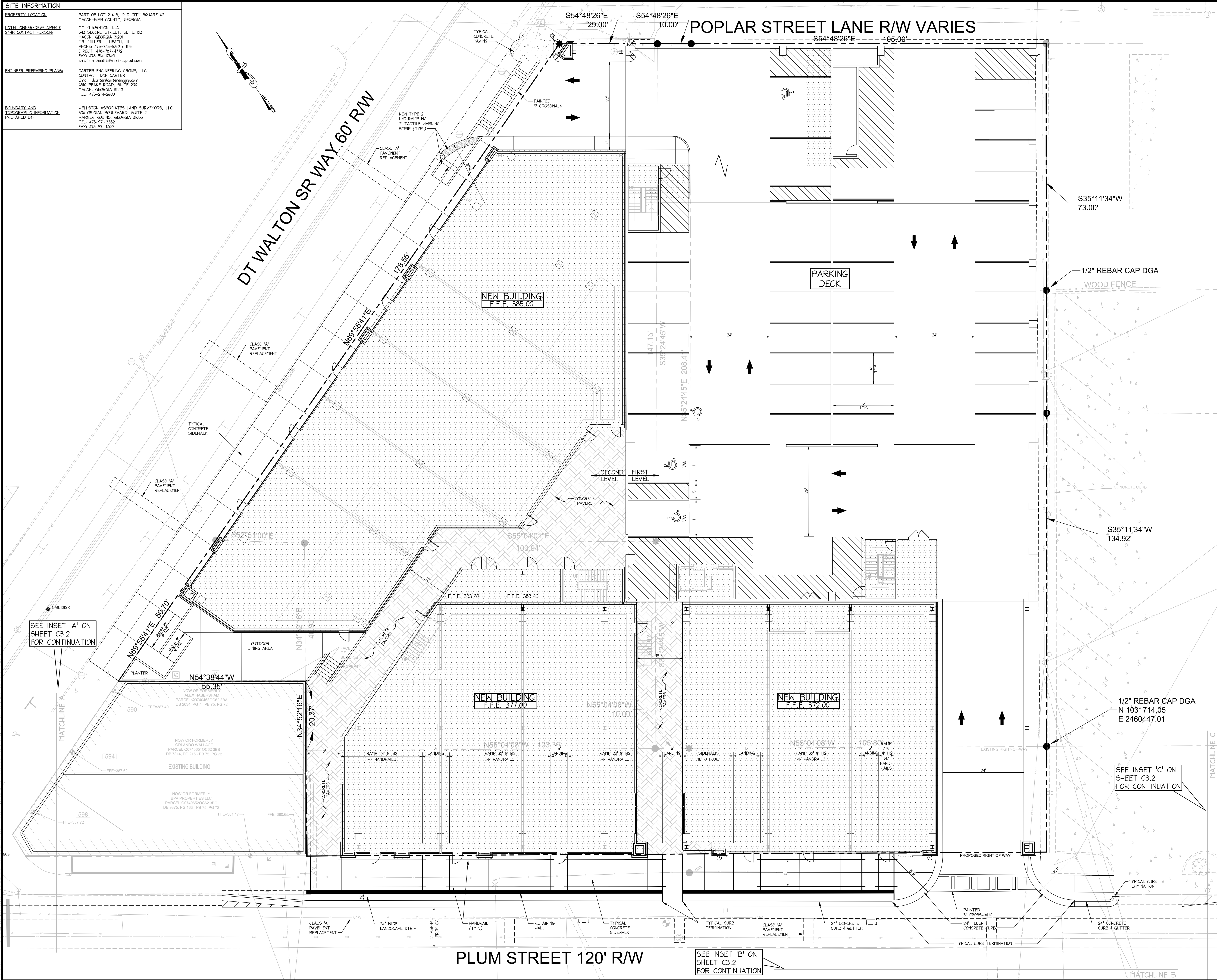
SITE INFORMATION

PROPERTY LOCATION:
PART OF LOT 2 & 3, OLD CITY SQUARE #2
MACON-BIBB COUNTY, GEORGIA

**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:**
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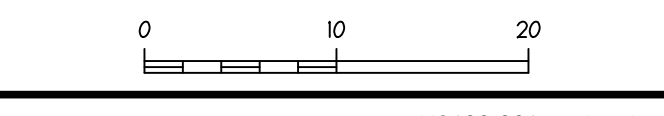
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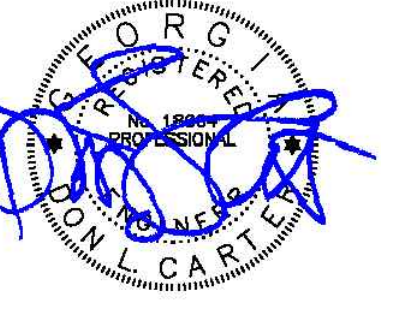
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Date: 28 May 2019 Job No.: M6400.001

Sheet Title:
SITE LAYOUT AND PAVING PLAN

Sheet No.:
C3.1





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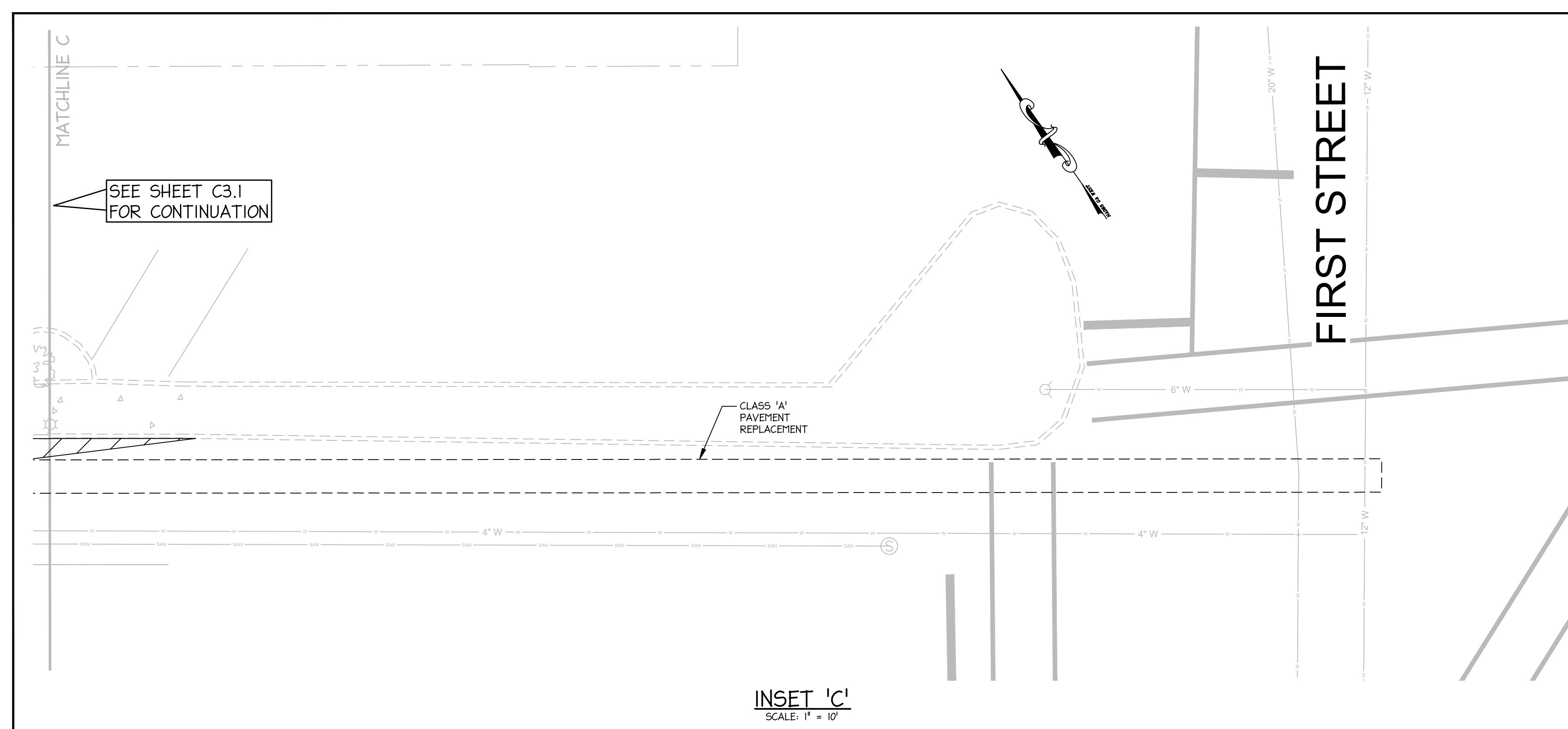
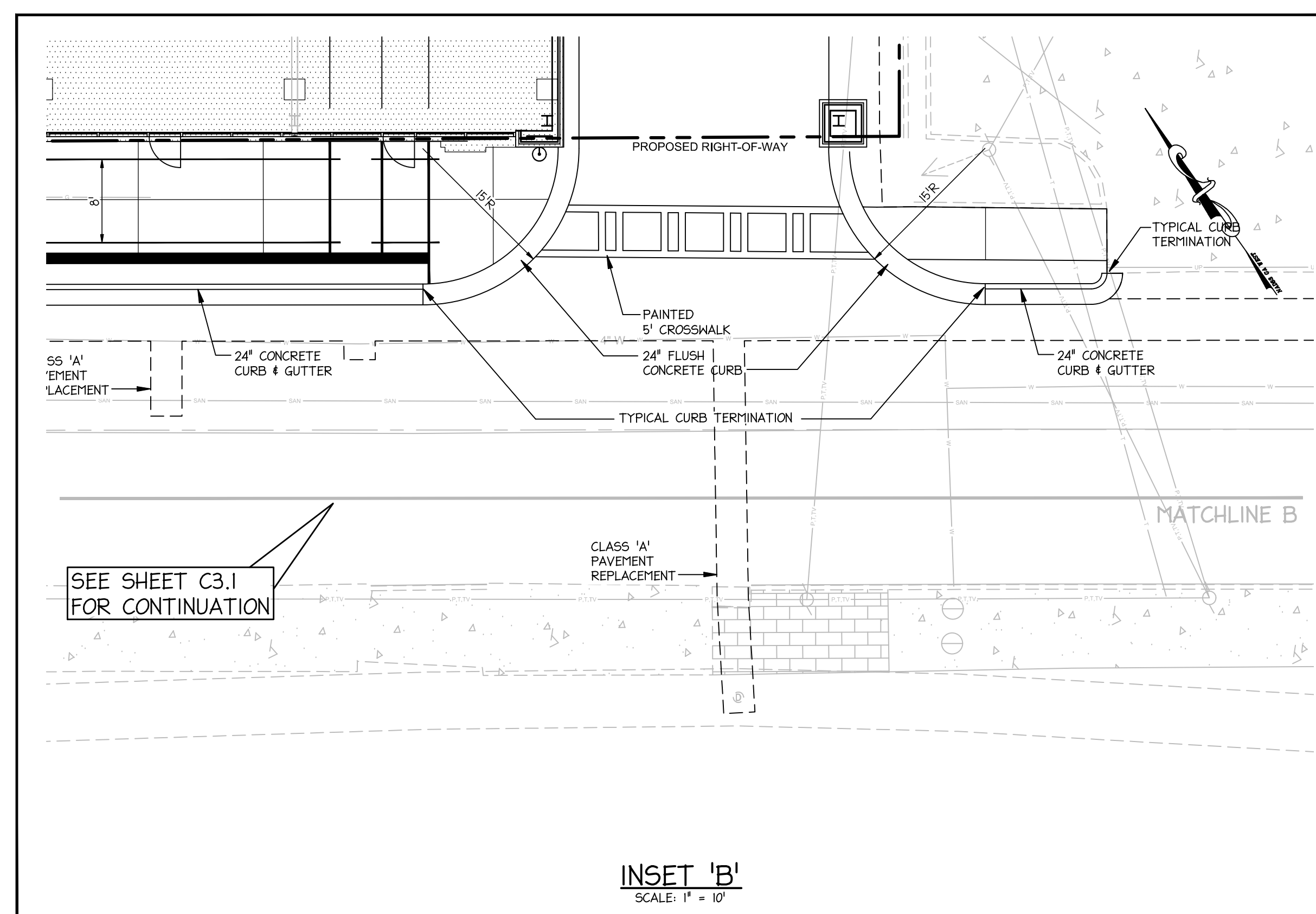
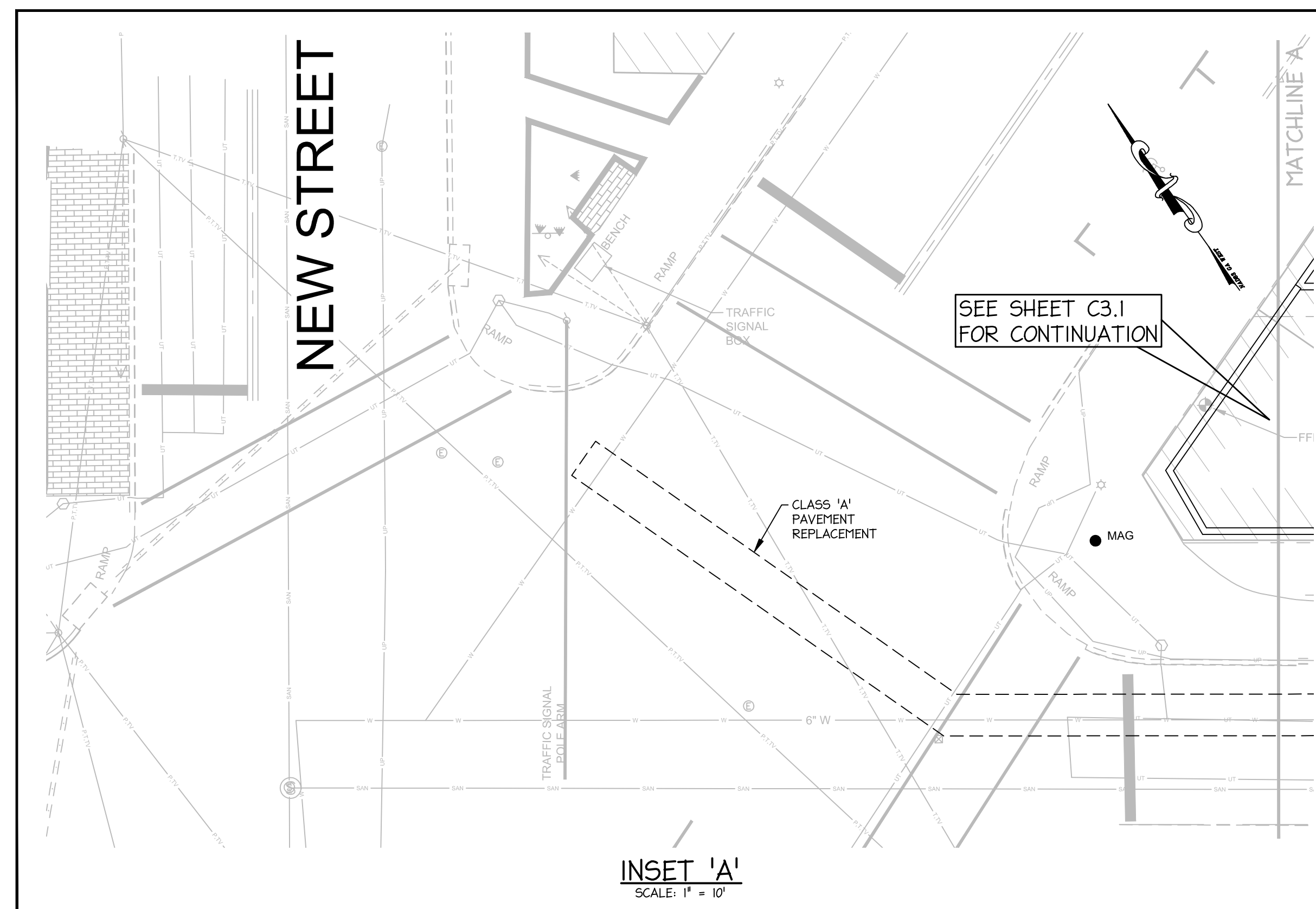
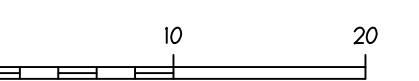
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Date: 28 May 2019
Job No.: M6400.001

Sheet Title:
**SITE LAYOUT
AND PAVING PLAN
INSETS**

Sheet No.:

C3.2



SITE INFORMATION

PROPERTY LOCATION: PART OF LOT 2 & 3, OLD CITY SQUARE #2
MACON-BIBB COUNTY, GEORGIA

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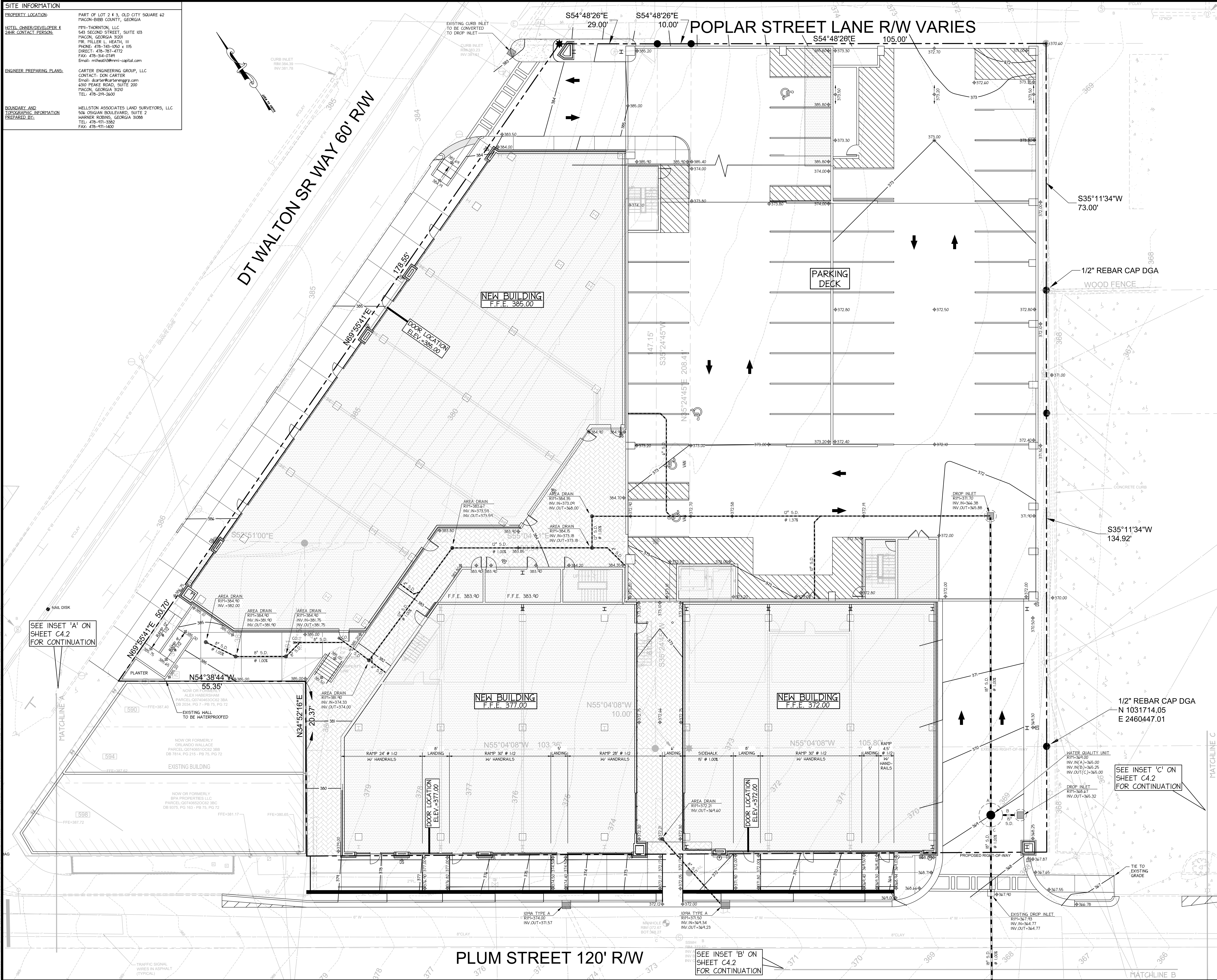
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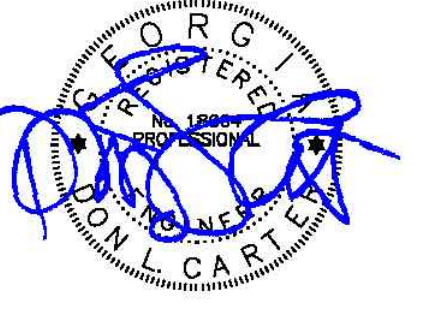
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Sheet Title
SITE GRADING AND
DRAINAGE PLAN

Sheet No.
C4.1





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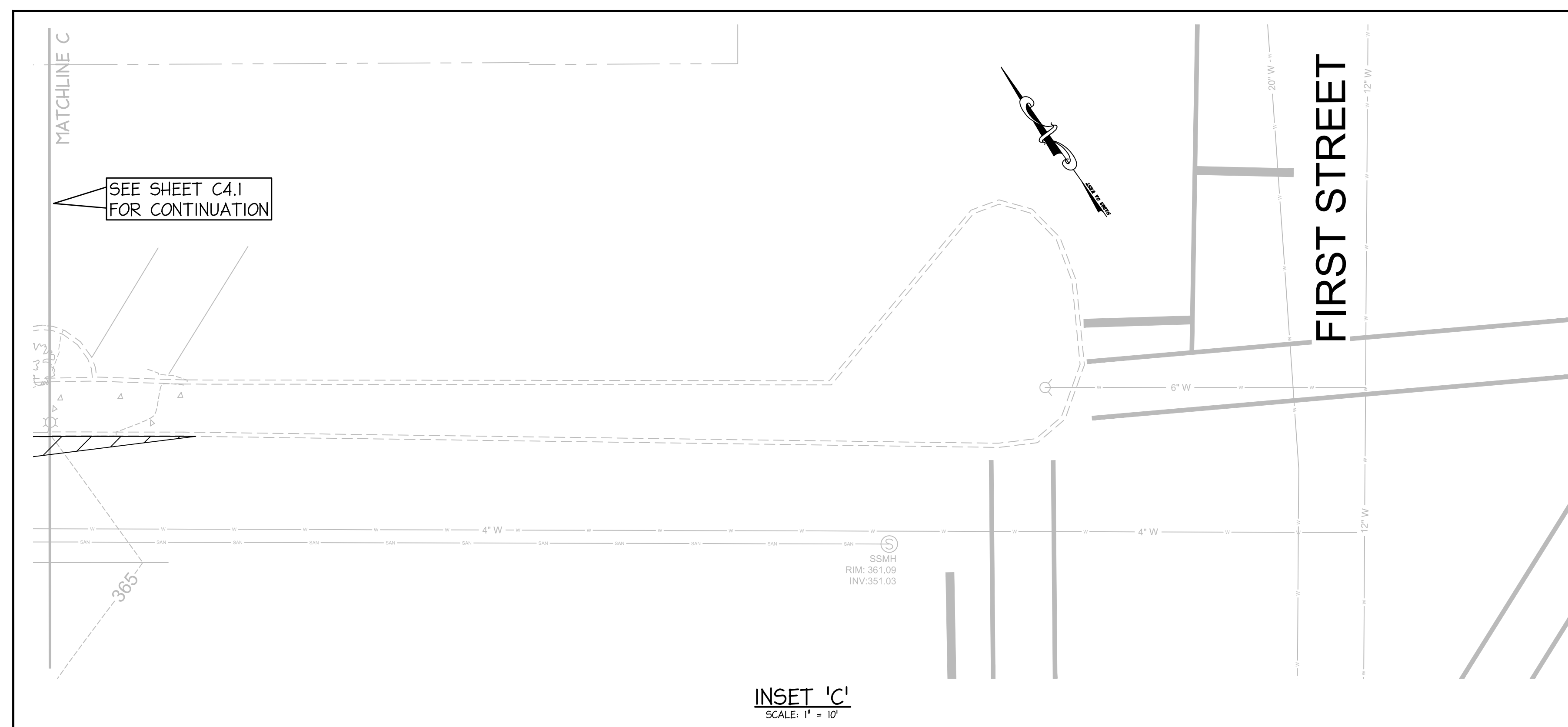
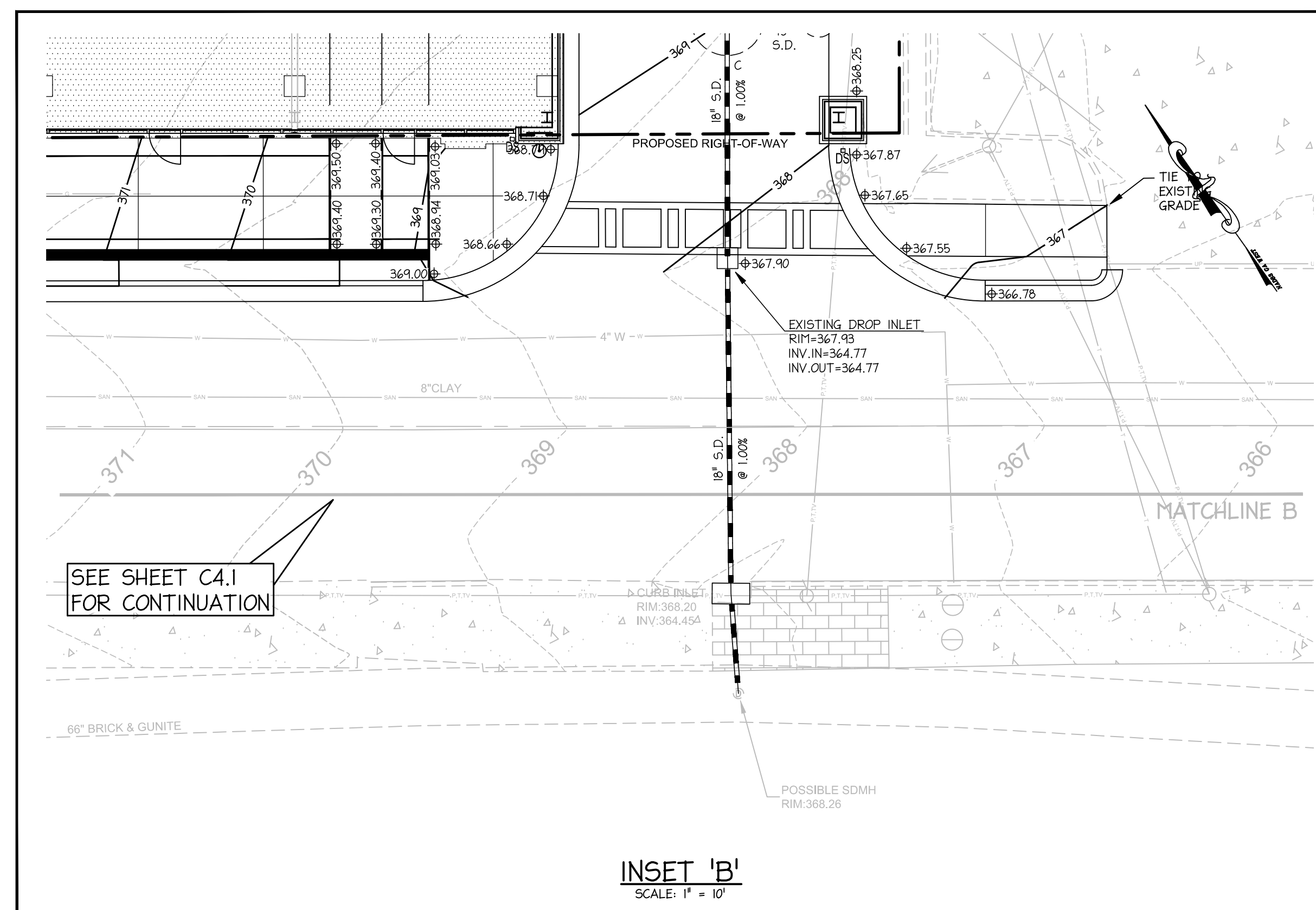
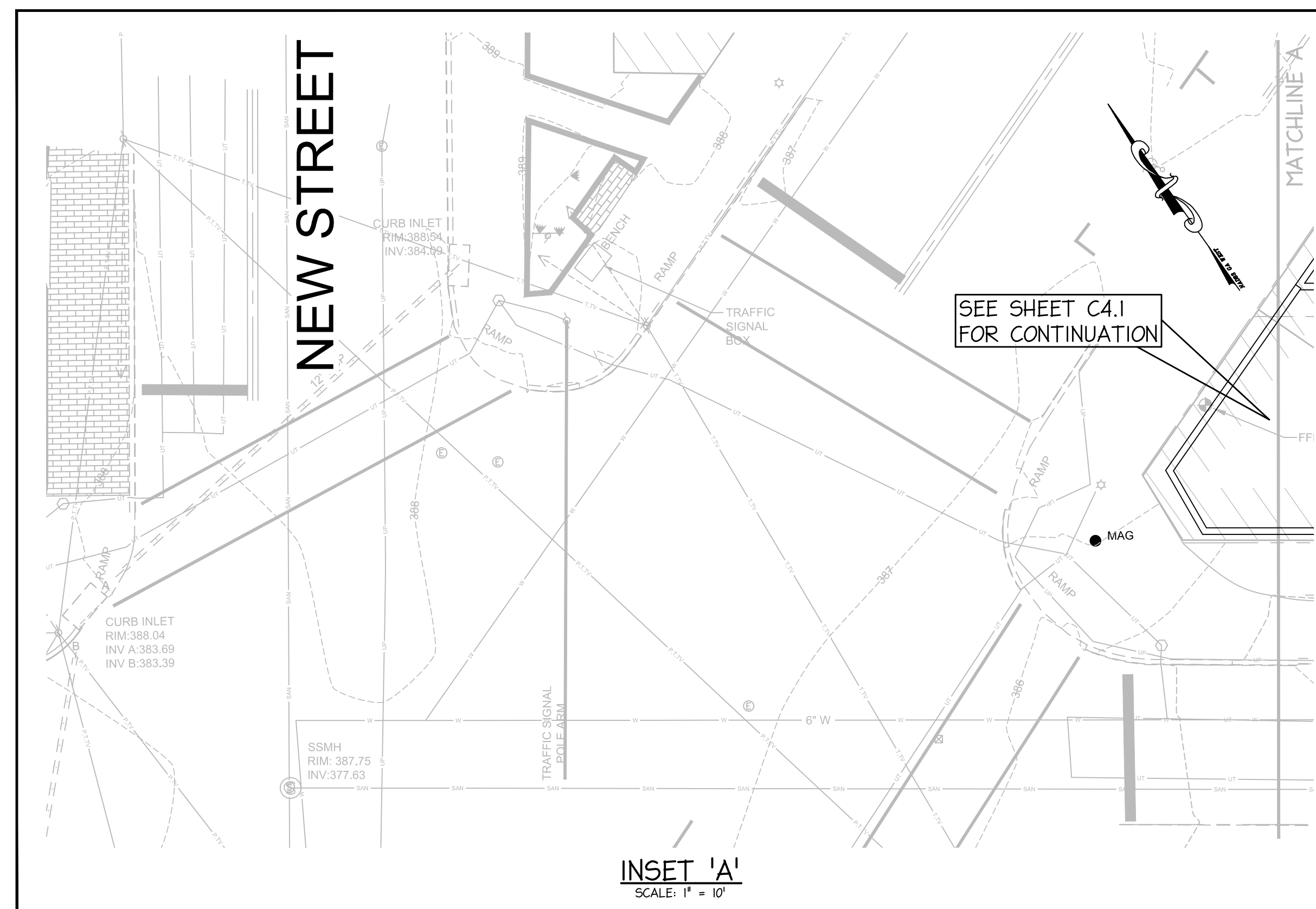
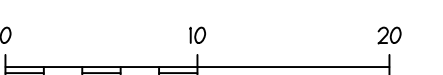
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Date: 28 May 2019
Job No.: M6400.001

Sheet Title
SITE GRADING AND
DRAINAGE PLAN
INSETS

Sheet No.

C4.2



SITE INFORMATION

PROPERTY LOCATION:
PART OF LOT 2 & 3, OLD CITY SQUARE 62
MACON-BIBB COUNTY, GEORGIA

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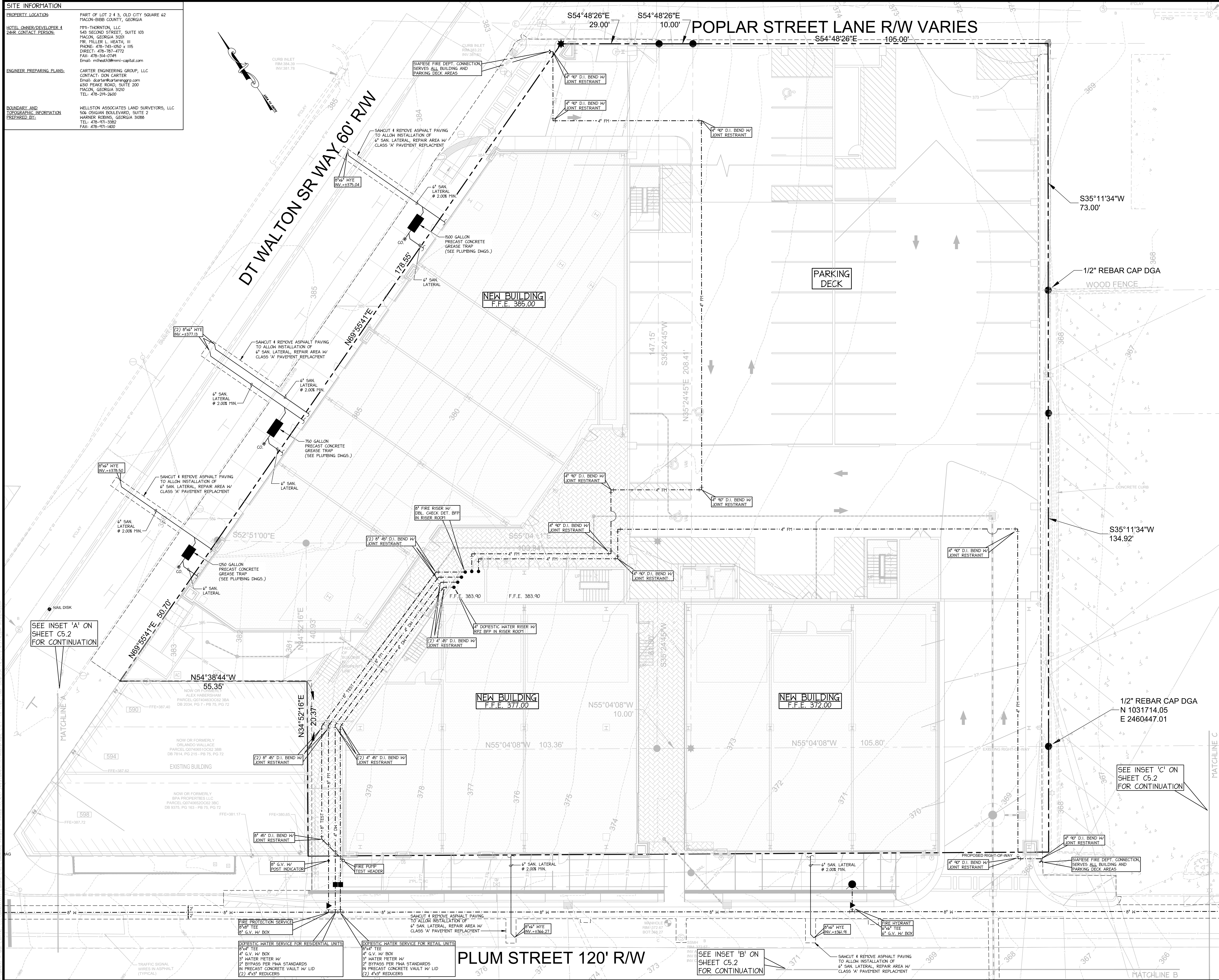
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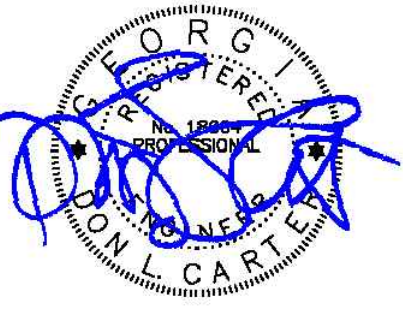
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Sheet Title
**SITE WATER AND
SANITARY SEWER PLAN**

Sheet No.
C5.1





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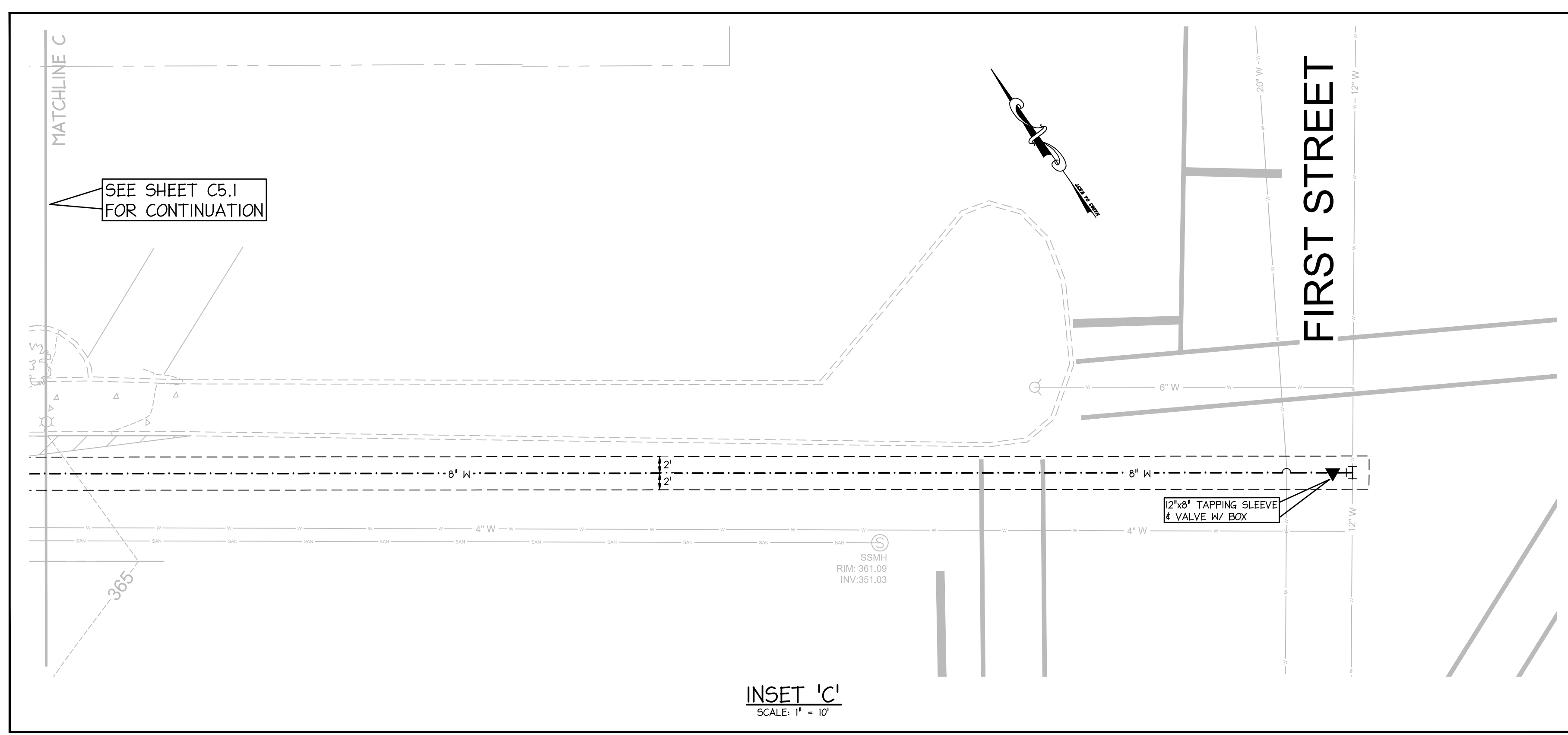
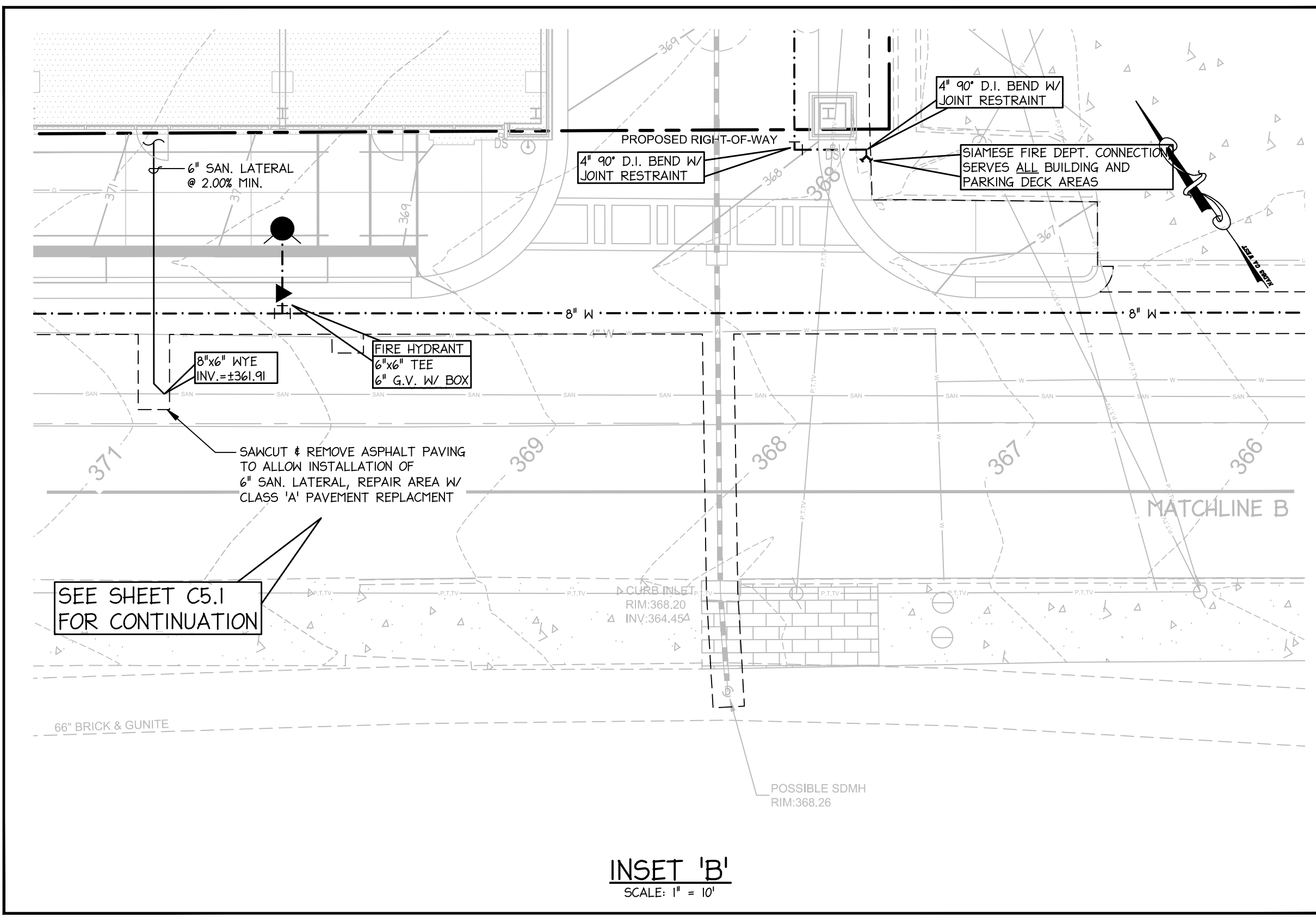
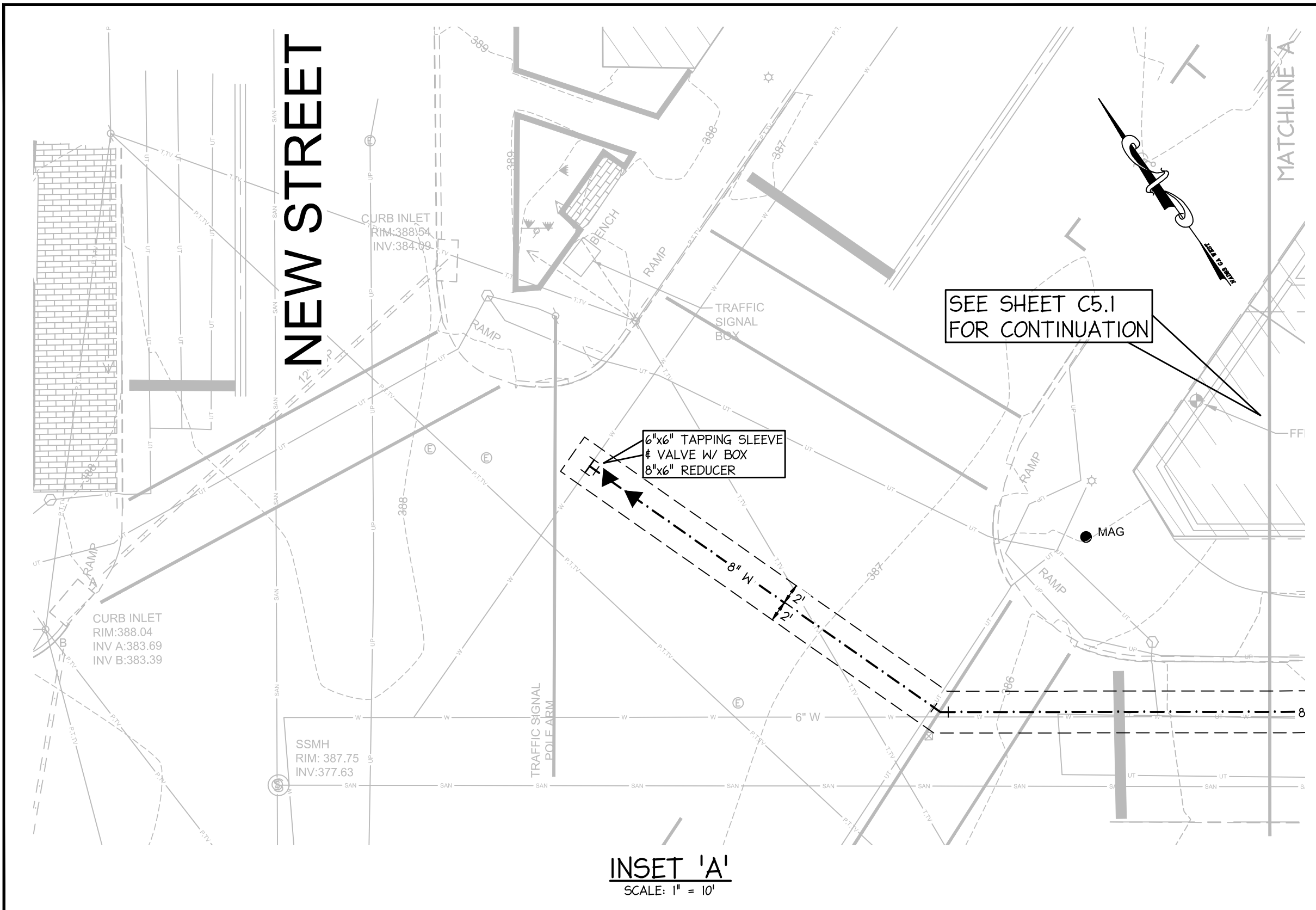
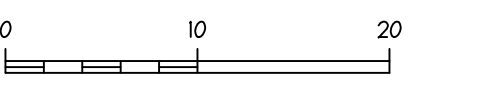
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Sheet Title
**SITE WATER AND
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INSETS**

Sheet No.
C5.2



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CHECKED BY: JEFFREY W. CARROLL
DATE PLOTTED: 05/28/2019 10:44:44 AM
PLOTTER: HP DesignJet 5000 Series
SCALE: AS SHOWN
SHEET: C5.2 OF 10

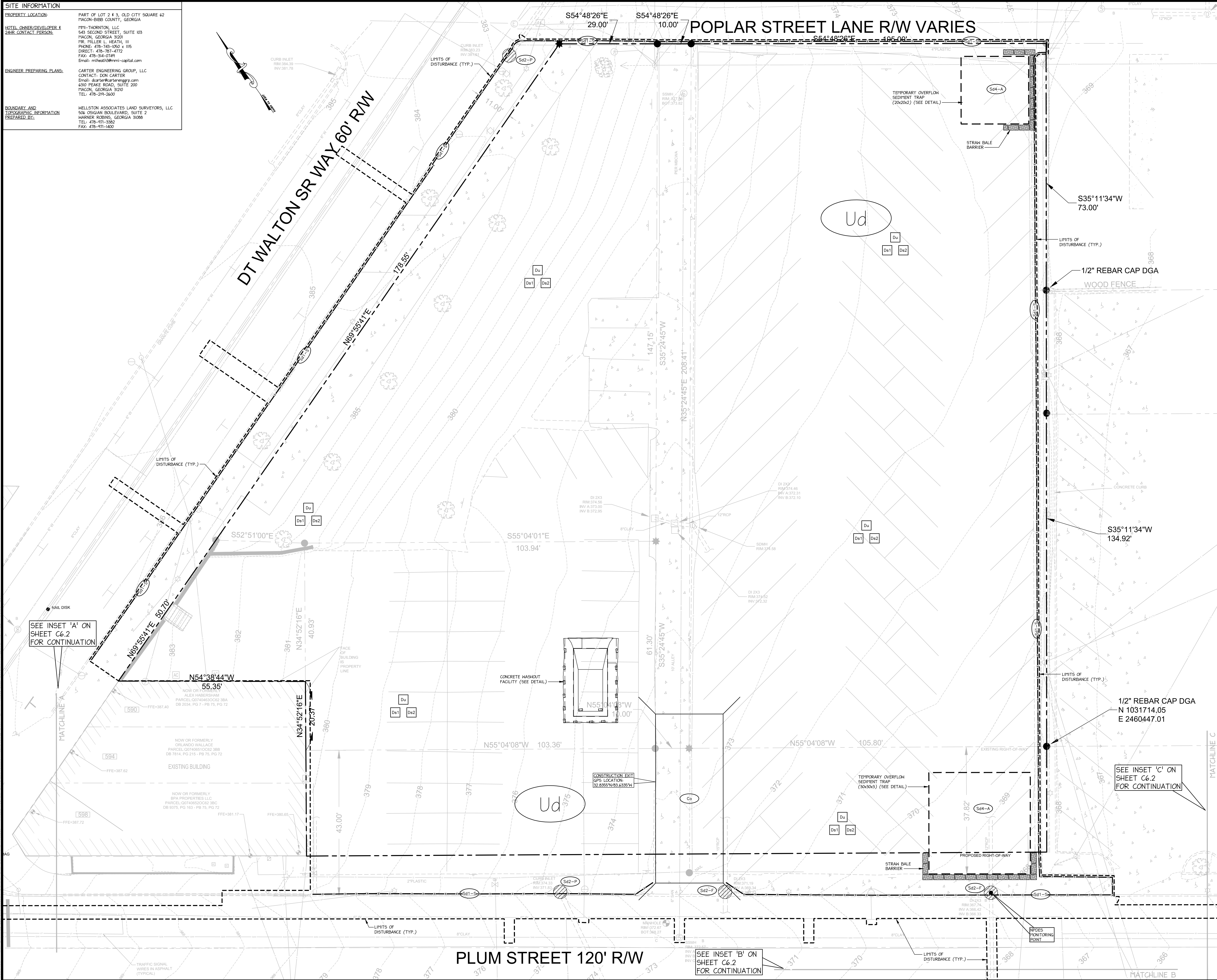
SITE INFORMATION

PROPERTY LOCATION:
PART OF LOT 2 4 3, OLD CITY SQUARE 62
MACON-BIBB COUNTY, GEORGIA

**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:**
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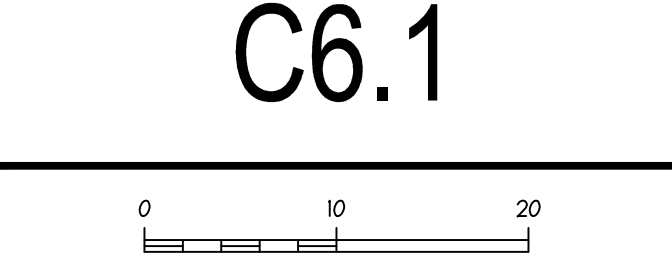
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Date	Job No.
28 May 2019	M6400.001

Sheet Title
INITIAL STORMWATER
POLLUTION PREVENTION
PLAN

Sheet No.
C6.1



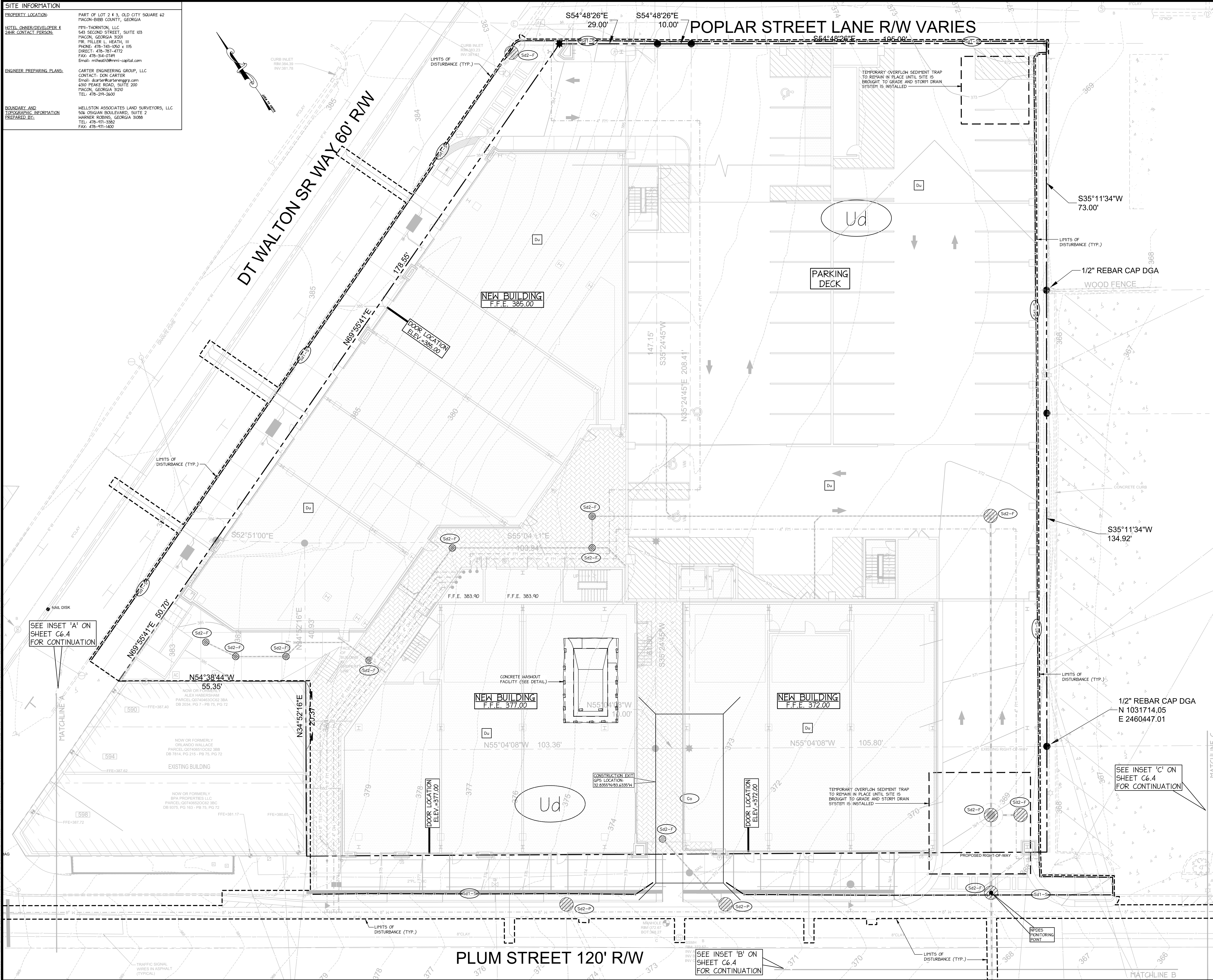
SITE INFORMATION

PROPERTY LOCATION:
PART OF LOT 2 4 3, OLD CITY SQUARE 62
MACON-BIBB COUNTY, GEORGIA

**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:**
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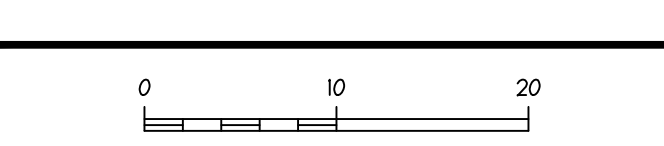
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Sheet Title:
**INTERMEDIATE
STORMWATER POLLUTION
PREVENTION PLAN**

Sheet No.: **C6.3**





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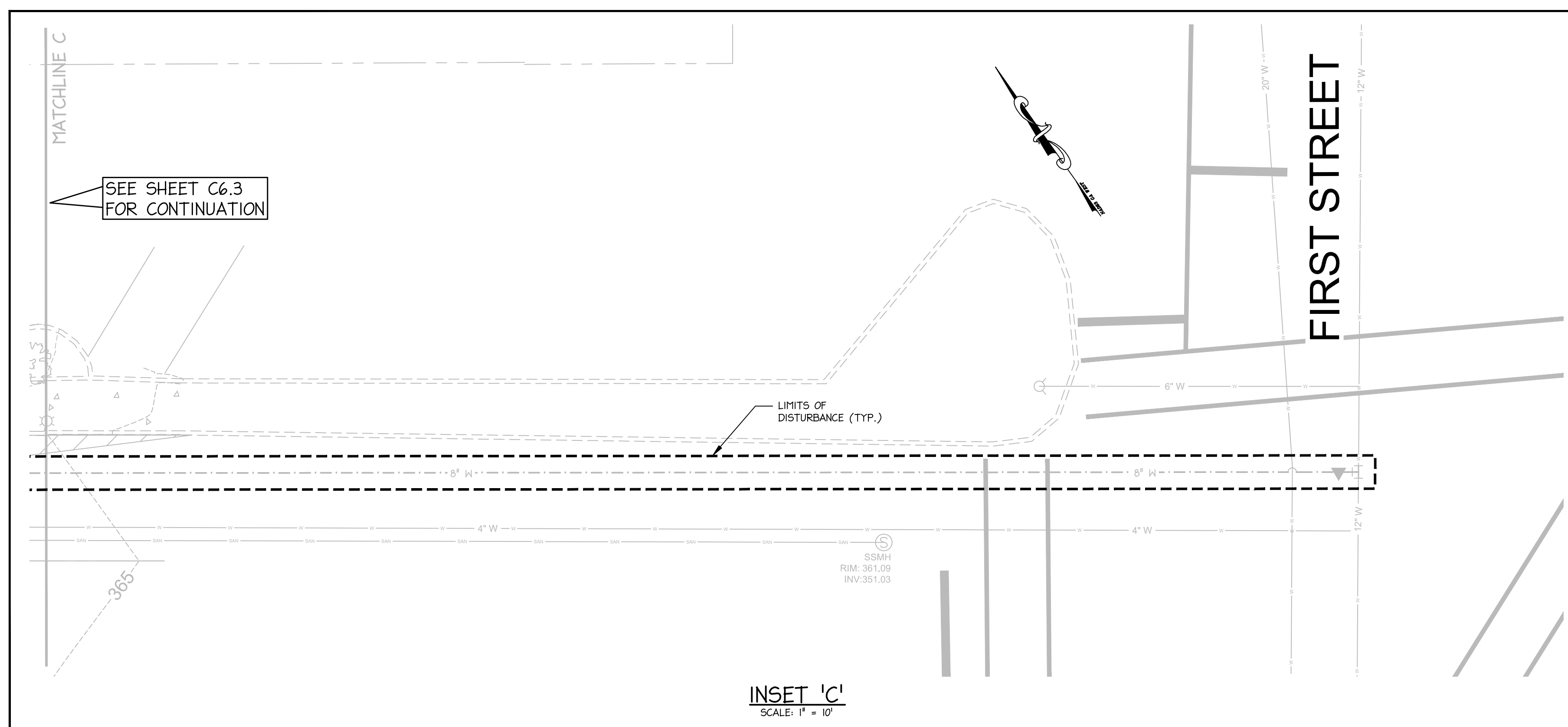
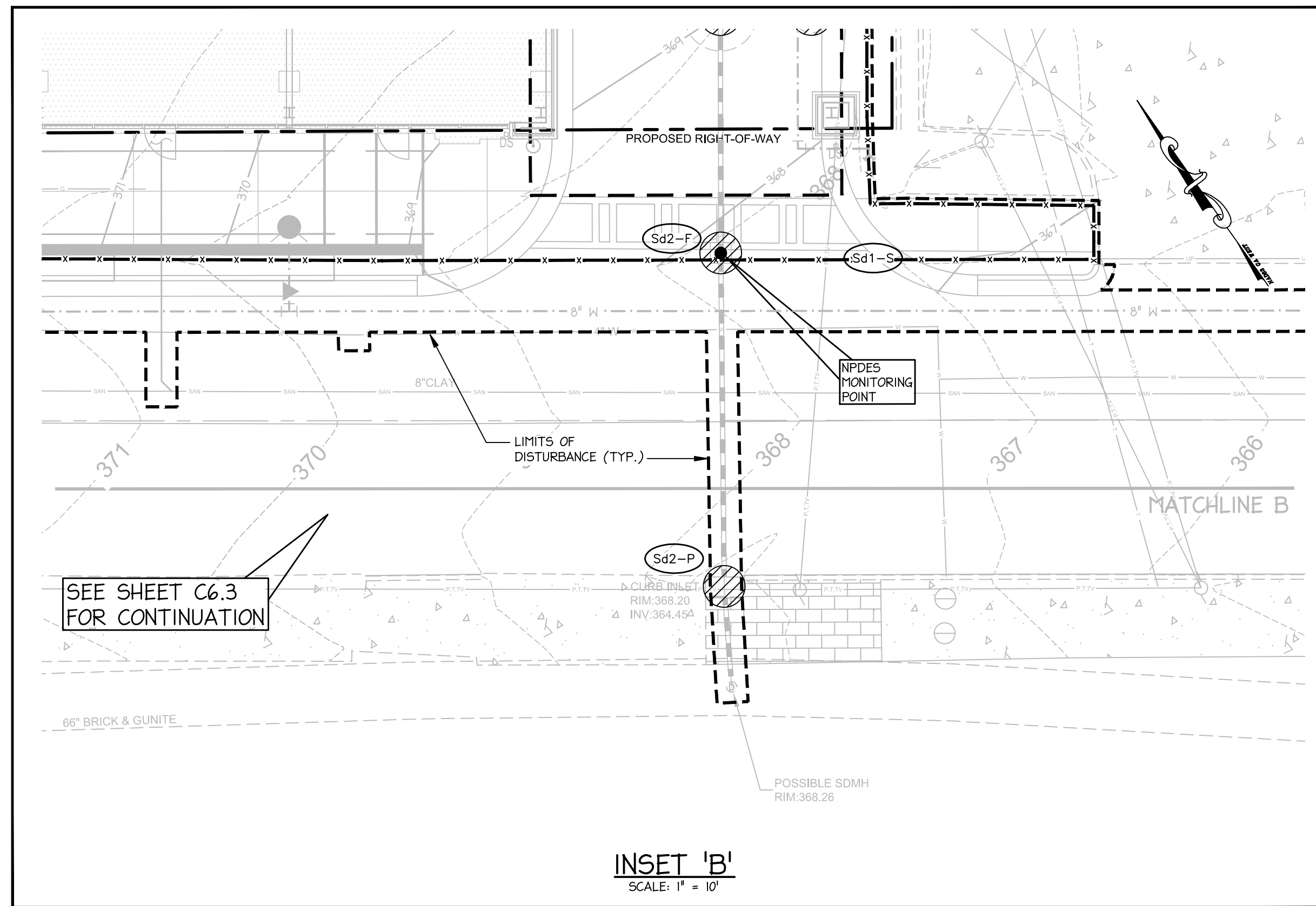
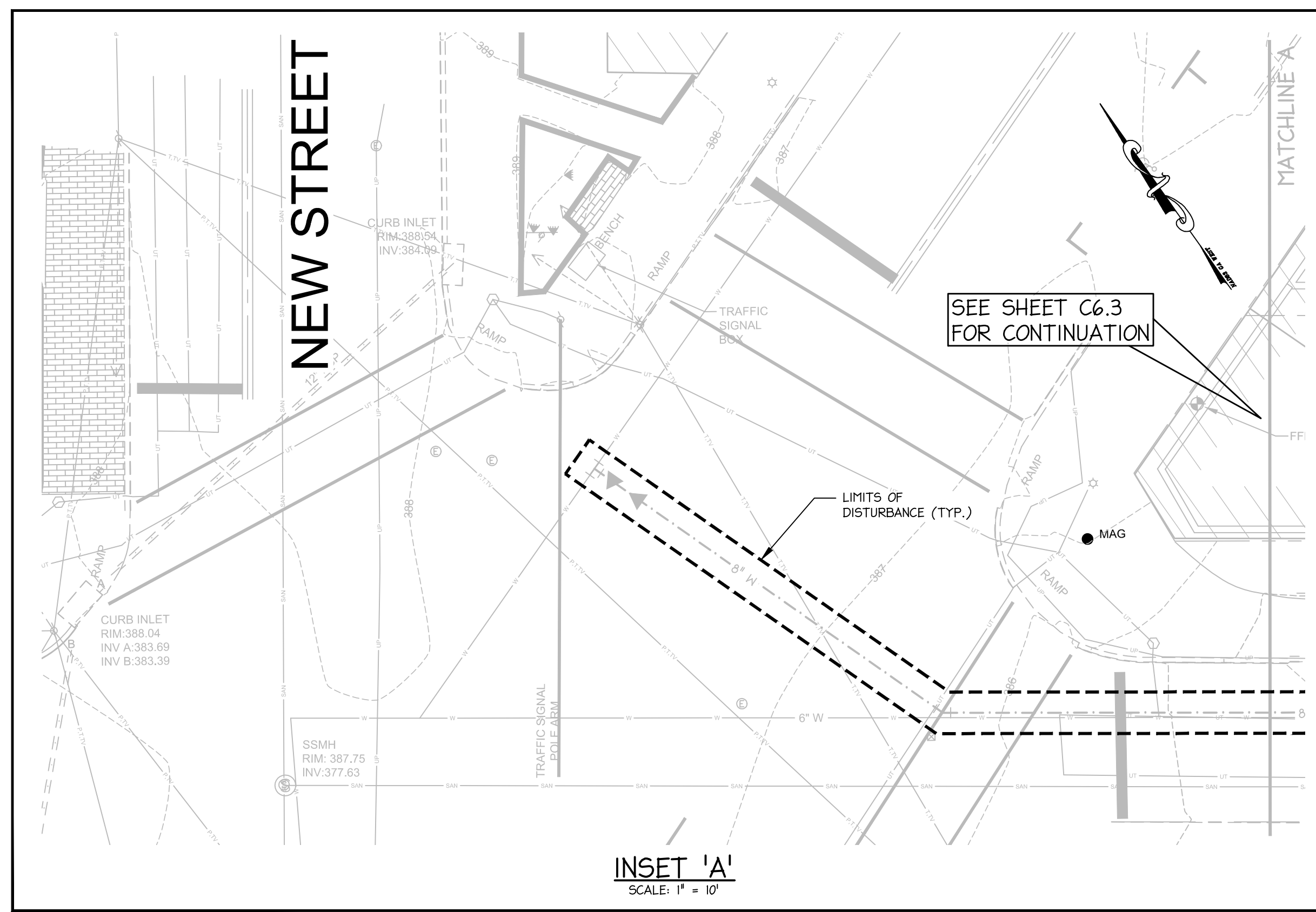
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Date: 28 May 2019 Job No.: M6400.001

Sheet Title: INTERMEDIATE
STORMWATER POLLUTION
PREVENTION PLAN INSETS
Sheet No. C6.4

0 10 20



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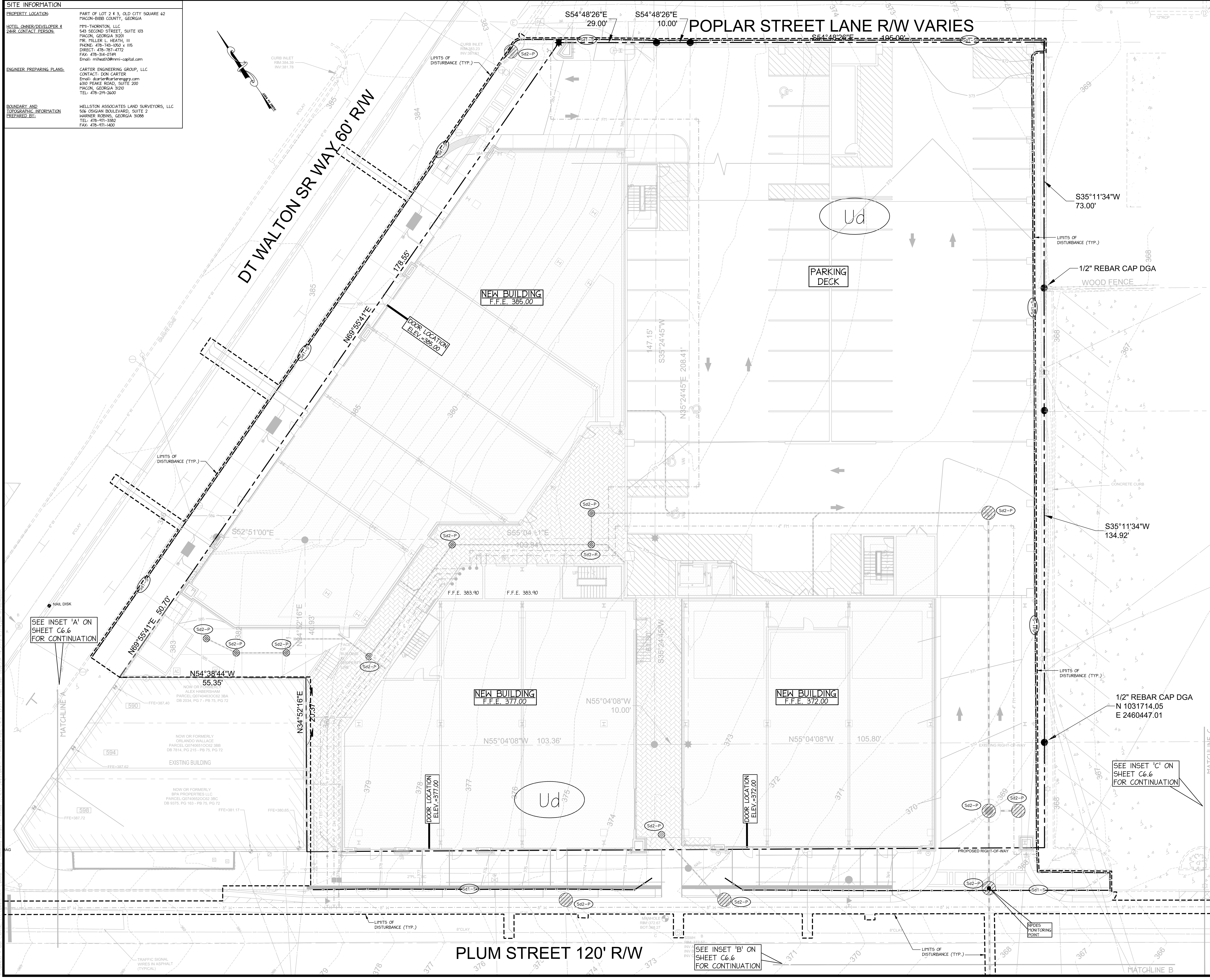
SITE INFORMATION

PROPERTY LOCATION: PART OF LOT 2 & 3, OLD CITY SQUARE 62
MACON-BIBB COUNTY, GEORGIA

**HOTEL OWNER/DEVELOPER &
24HR CONTACT PERSON:** TPI-THORNTON, LLC
548 SECOND STREET, SUITE 103
MACON, GEORGIA 31201
MR. MILLER L. HEATH, III
PHONE: 478-743-0950 x 116
DIRECT: 478-797-4772
FAX: 478-344-0741
Email: m.lheath@tptm-capital.com

ENGINEER PREPARING PLANS: CARTER ENGINEERING GROUP, LLC
CONTACT: DON CARTER
Email: dcarter@carterengr.com
6310 PEAKE ROAD, SUITE 200
MACON, GEORGIA 31210
TEL: 478-219-2400

**BOUNDARY AND
TOPOGRAPHIC INFORMATION
PREPARED BY:** HELLSTON ASSOCIATES LAND SURVEYORS, LLC
506 OSGIAN BOULEVARD, SUITE 2
WARNER ROBINS, GEORGIA 31086
TEL: 478-971-3302
FAX: 478-971-1400



CARTER
Engineering
Group

6310 Peake Road, Suite 200
Macon, GA 31210
478-219-2600

GEORGIA811
Utilities Protection Center, Inc.

DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY
MACON, GA

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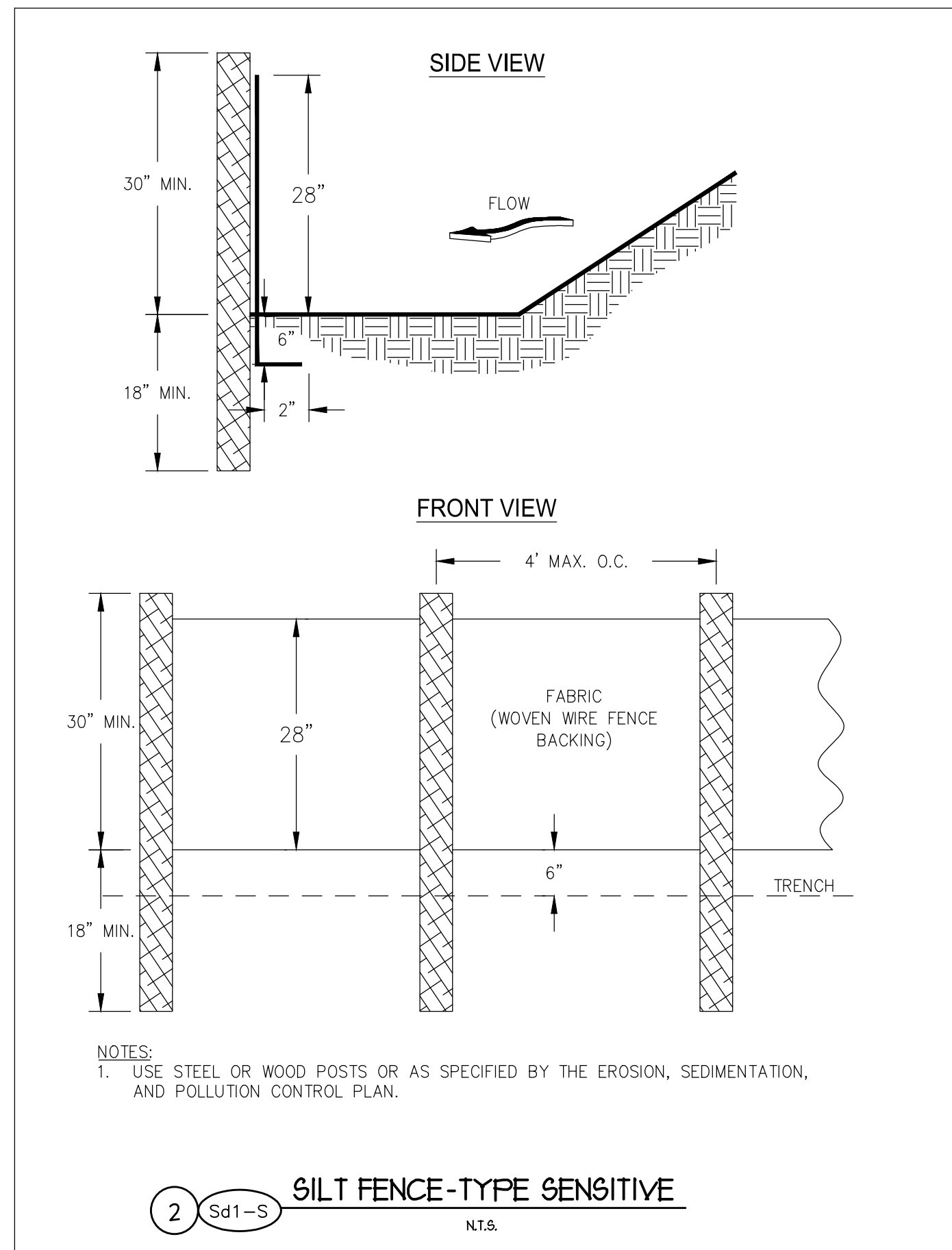
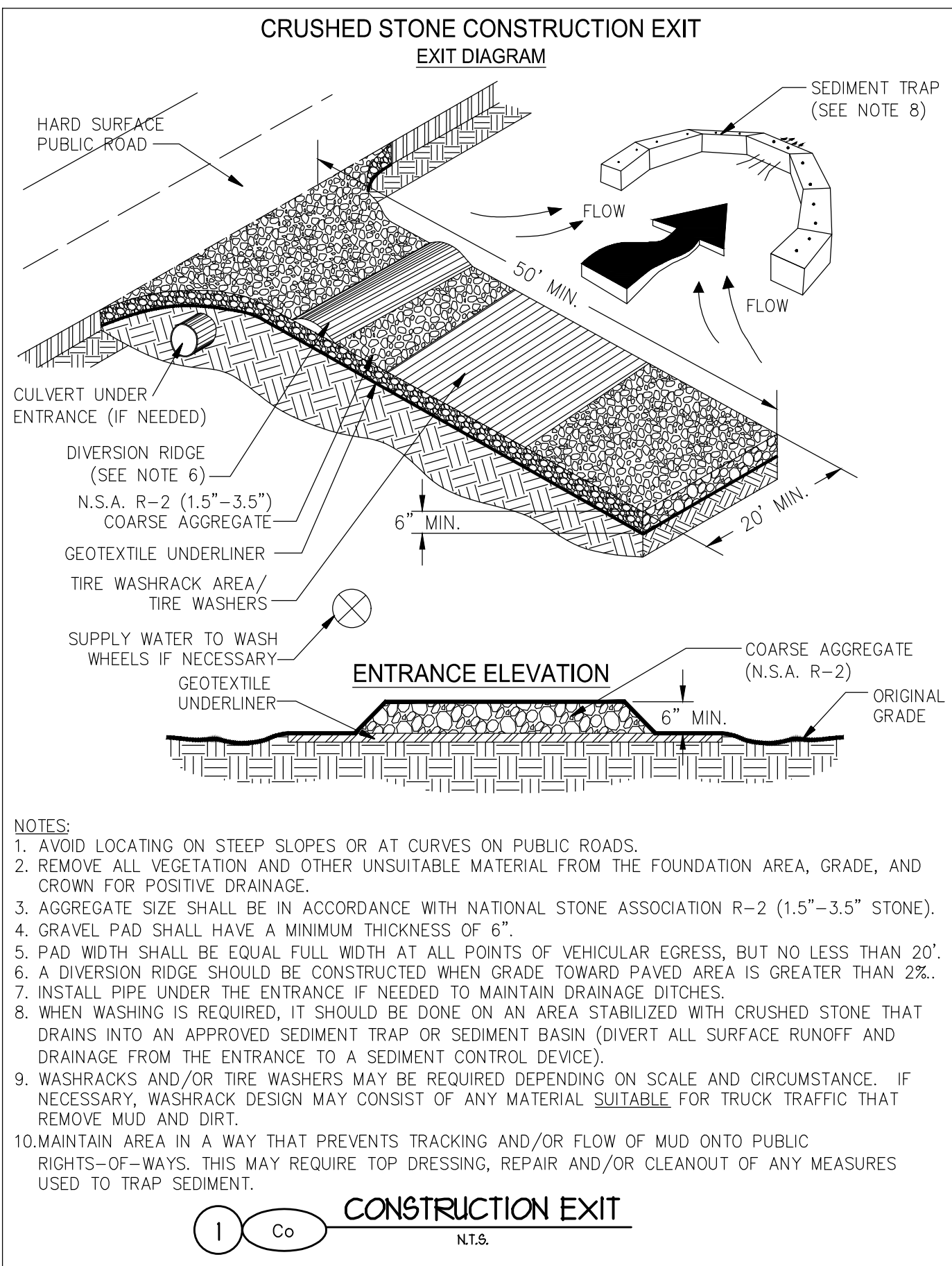
Print Record
28 MAY 2019 CD ISSUE FOR BID

Revisions

Date 28 May 2019 Job No. M6400.001
Sheet Title FINAL STORMWATER POLLUTION PREVENTION PLAN
Sheet No. C6.5

0 10 20

Scale: 1" = 100'



MULCHING MATERIALS:
SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:
1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE.
2. CUTBACK ASPHALT (SLOW CURLING) SHALL BE APPLIED AT 1200 GALLONS PER ACRE

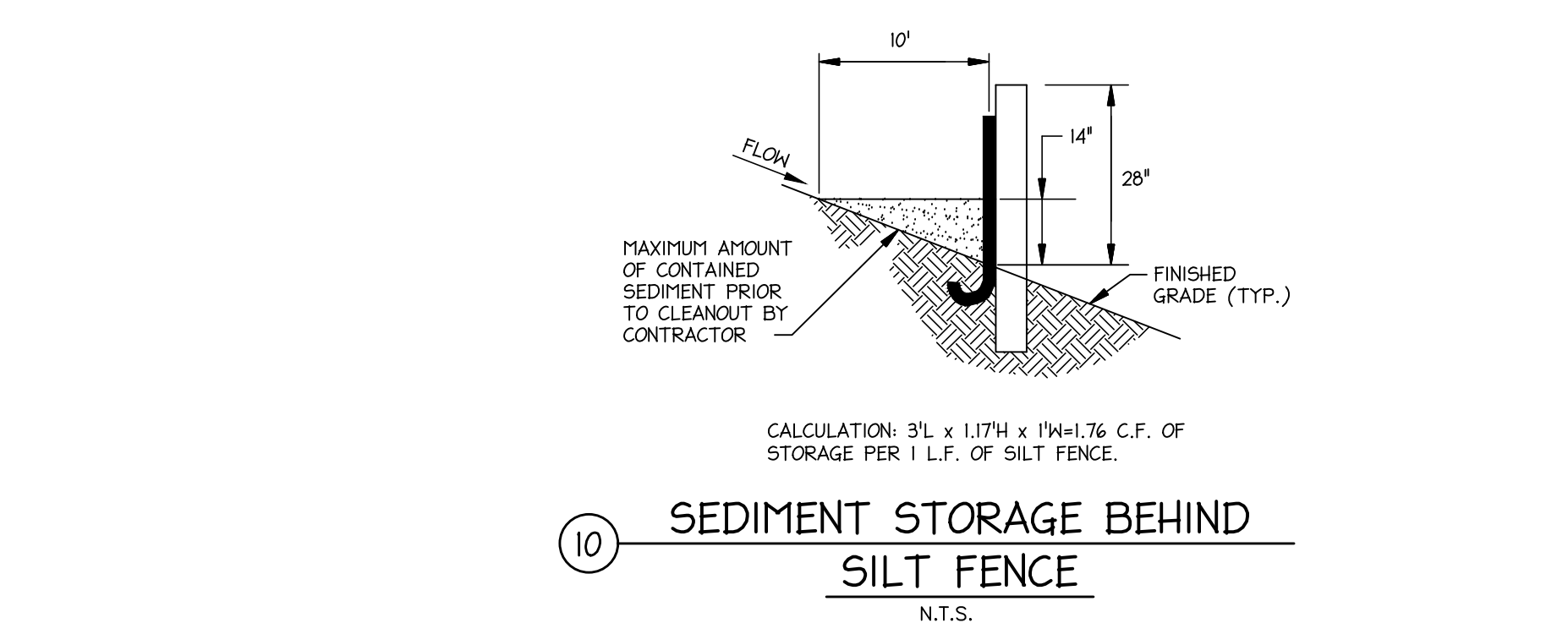
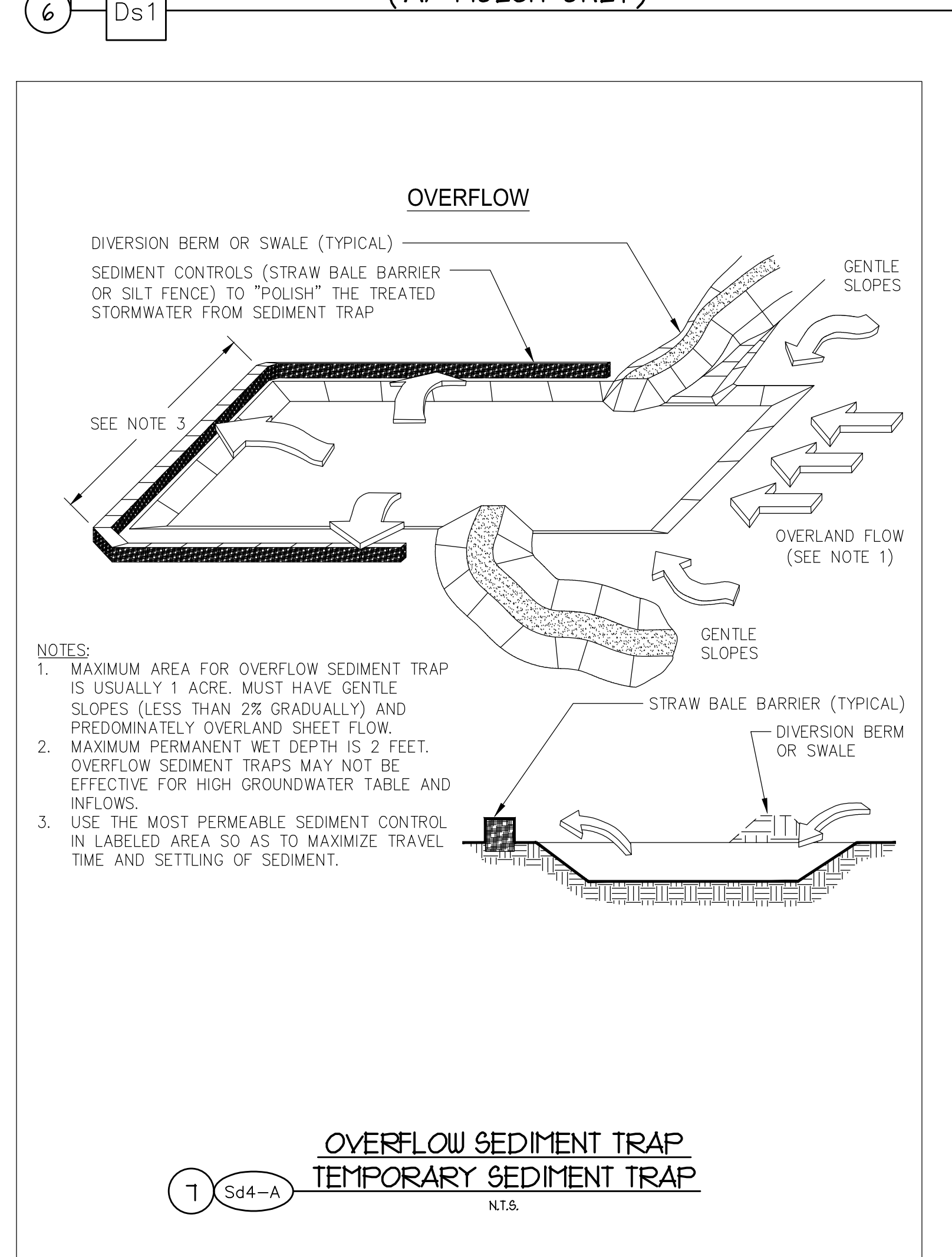
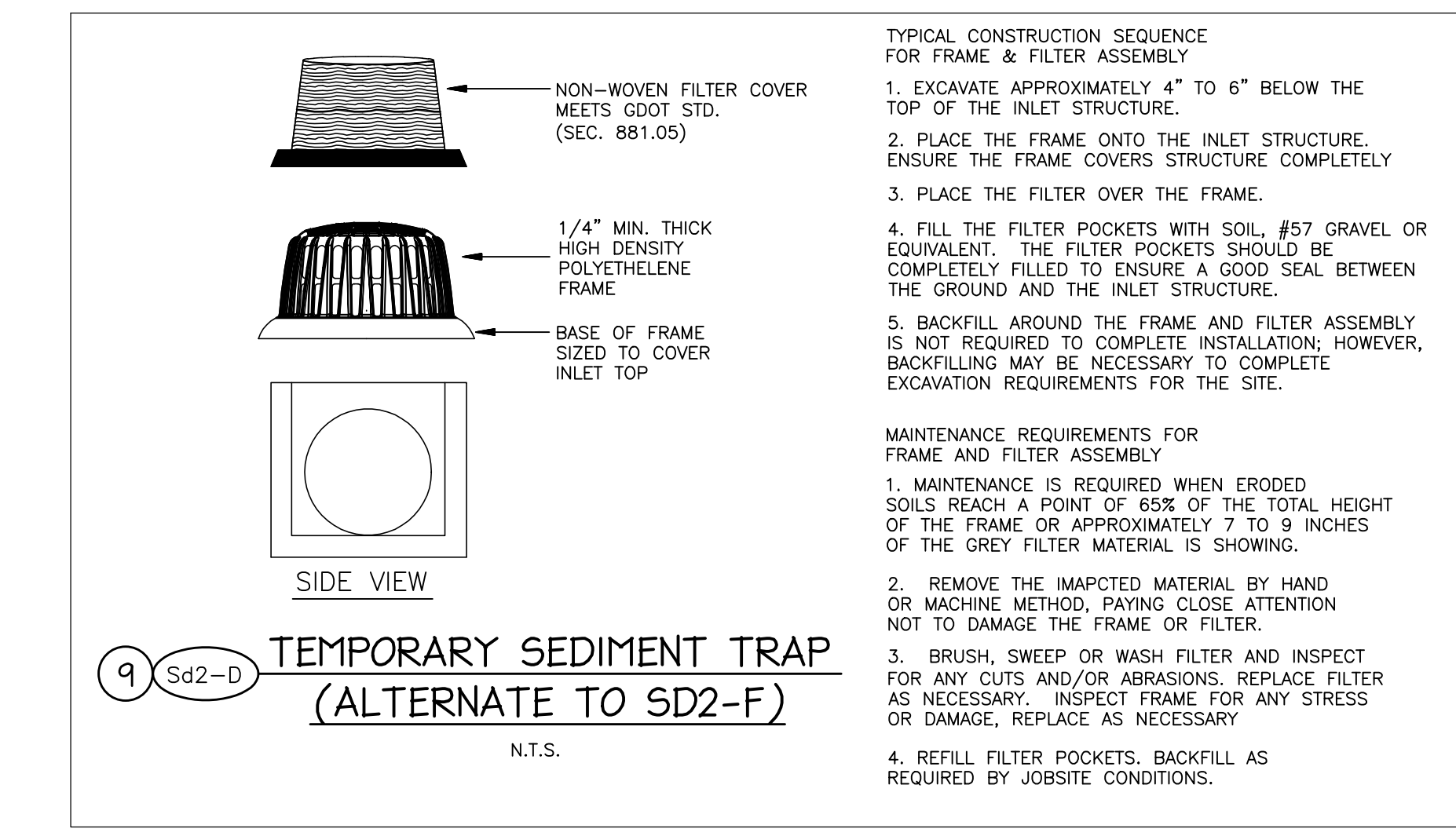
APPLYING MULCH:
WHEN MULCH IS USED WITH OUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA. DRY STRAW OR HAY MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT. LEAVING MULCH IN AN ERCT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
2. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR 55-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS ON BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT.

ANCHORING MULCH:
1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARRON WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL.
2. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED IMMEDIATELY AFTER APPLICATION.

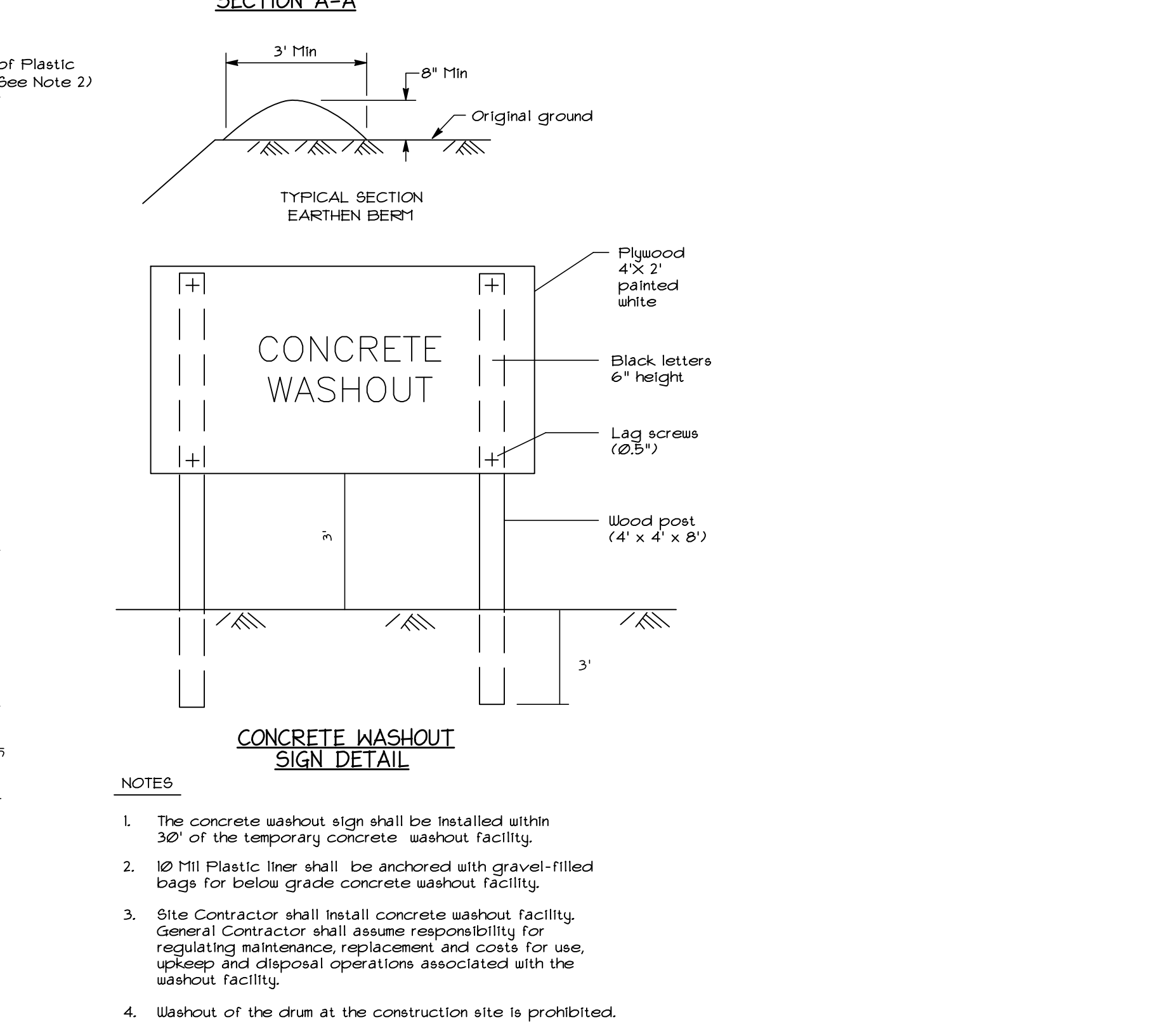
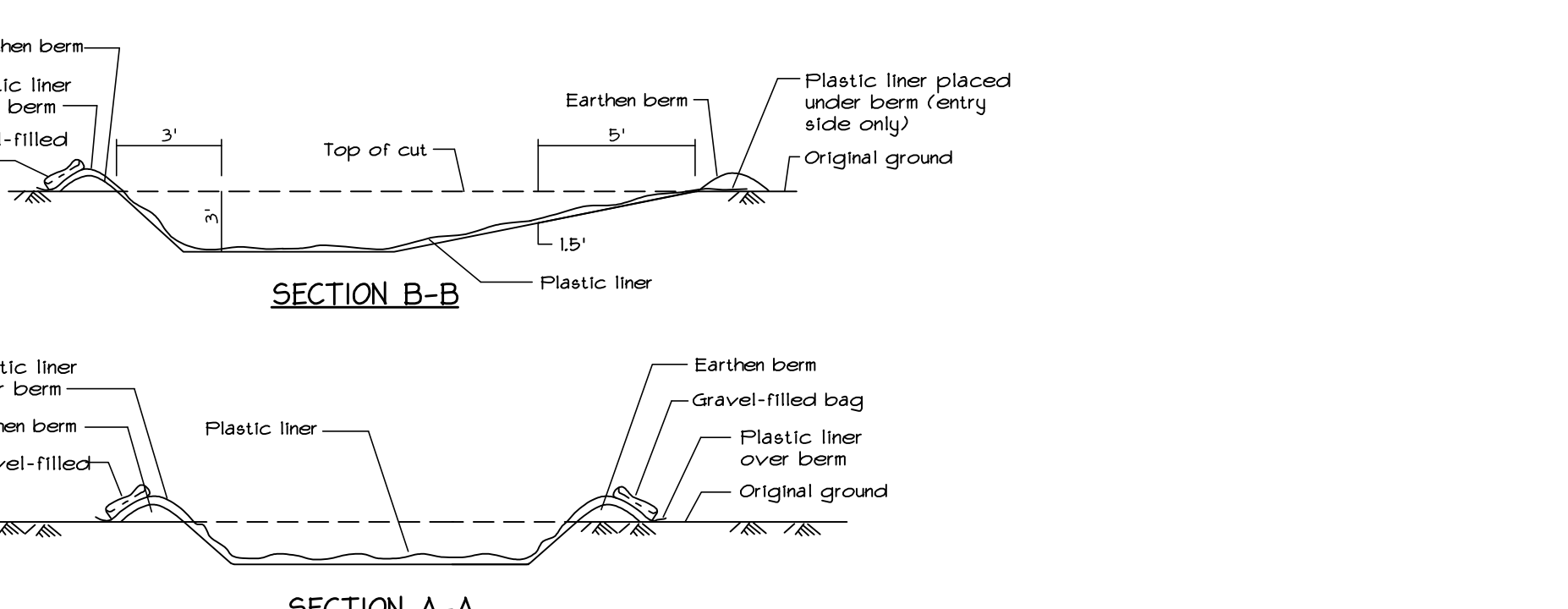
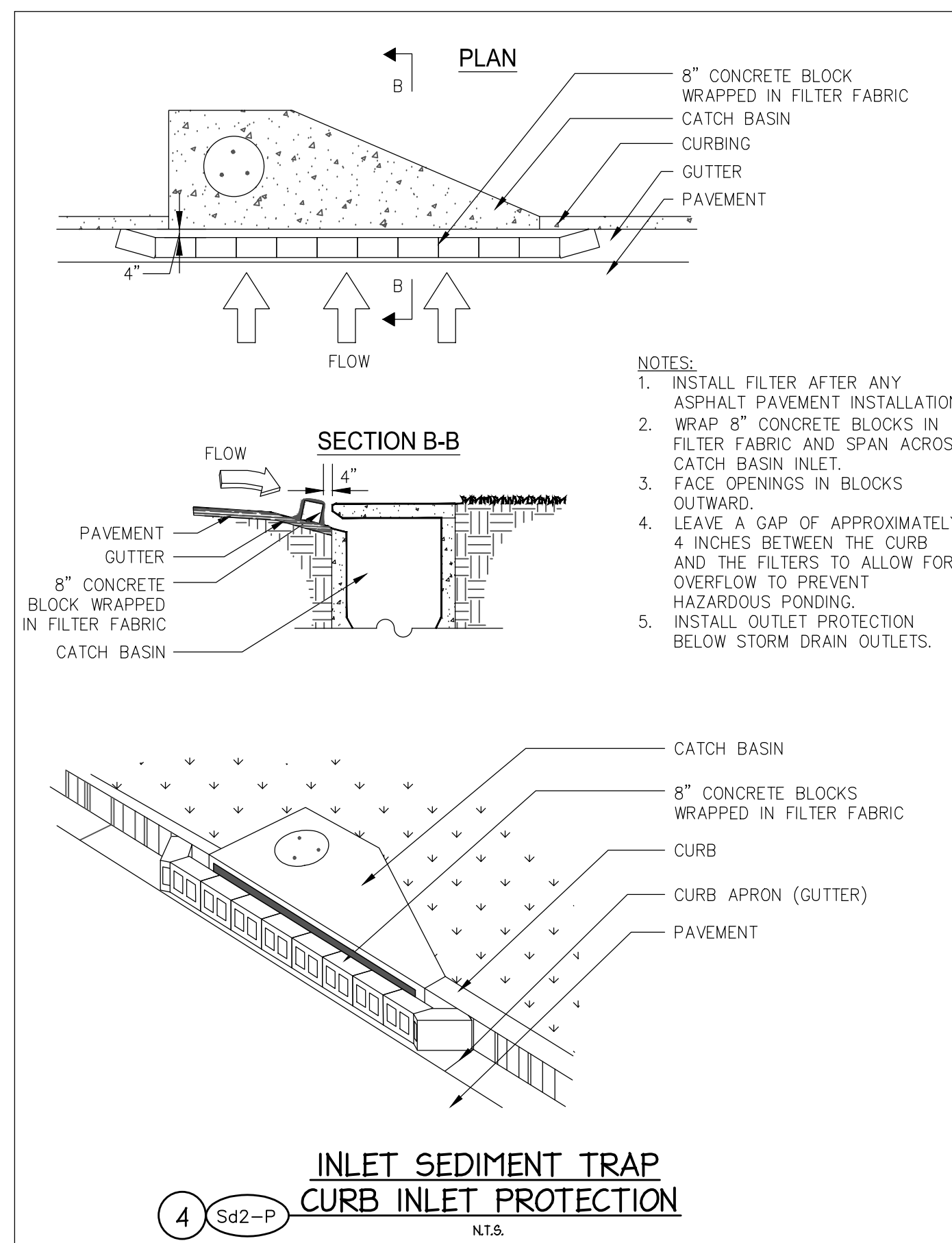
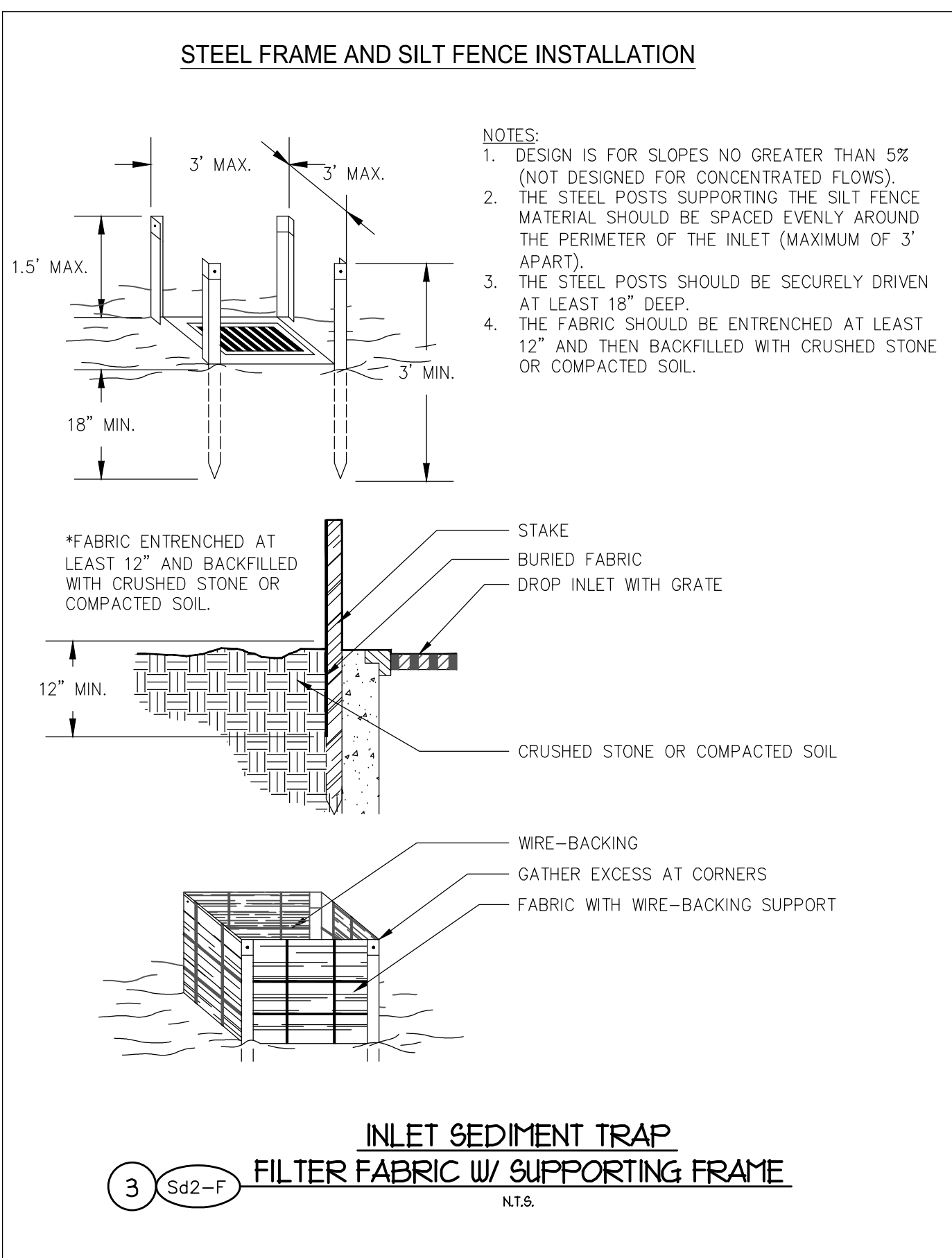
6 Ds1 **DISTURBED AREA STABILIZATION (W/ MULCH ONLY)**

THIS PRACTICE SHALL BE EMPLOYED TO CONTROL SURFACE AND AIR MOVEMENT OF DUST ON SITE. METHOD SHALL INCLUDE SPRAYING OF DISTURBED AREAS WITH WATER ON A PERIODIC BASIS WHEN EXPOSED SOIL BECOMES DRY. CONTRACTOR SHALL MONITOR THESE AREAS AND APPLY DUST CONTROL BEFORE SOIL BECOMES EXCESSIVELY DRY.

8 Du



WRITTEN RATIONALE FOR ABSENCE OF TEMPORARY SEDIMENT BASIN
THIS PROJECT SHALL INCLUDE A TOTAL LAND DISTURBANCE OF 1.4 ACRES, WHERE FEASIBLE, TEMPORARY SEDIMENT STORAGE SHALL BE PROVIDED IN EXCAVATED SEDIMENT TRAPS. SEDIMENT STORAGE FOR AREAS THAT DO NOT FLOW TO AN EXCAVATED INLET AREA SHALL BE PROVIDED BEHIND TYPE 'S' SILT FENCE (SEE DETAILS). BASED ON THE DEVELOPED NATURE OF THIS PROPERTY AND THE SHORT CONSTRUCTION TIME FRAME, A TEMPORARY SEDIMENT BASIN IS NOT FEASIBLE OR NECESSARY.



DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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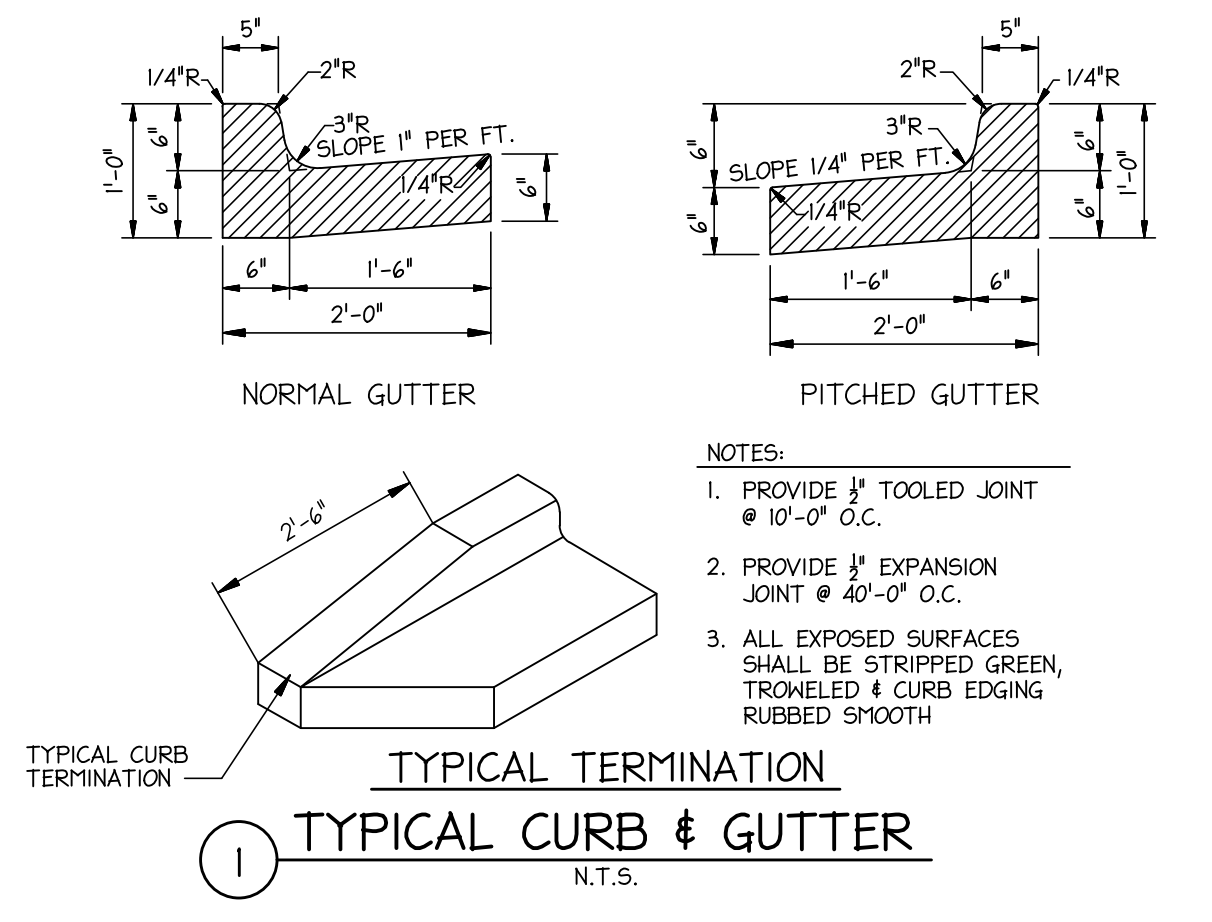
Revisions

Date: 28 May 2019 Job No.: M6400.001

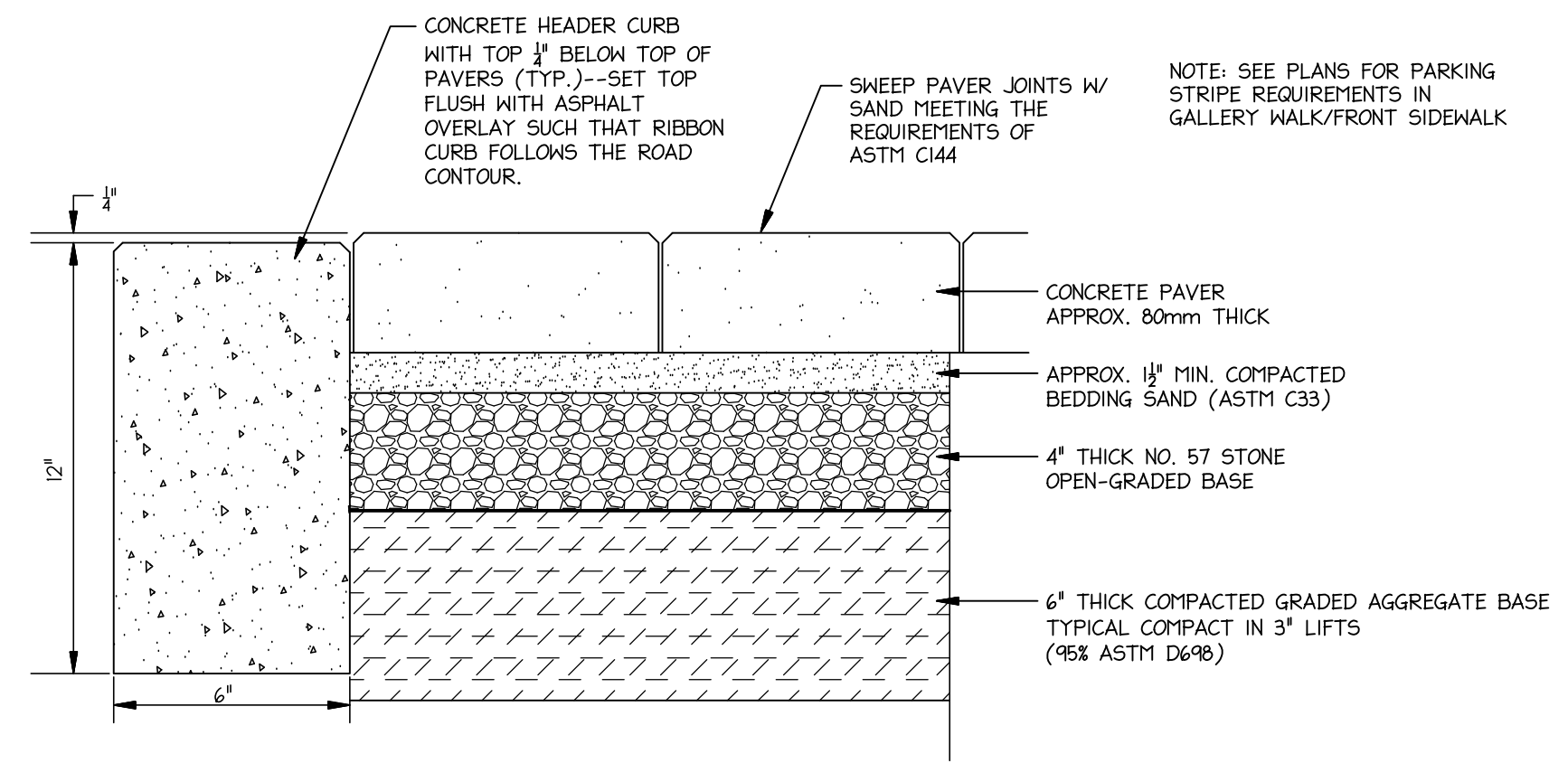
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Sheet No.: **C6.9**

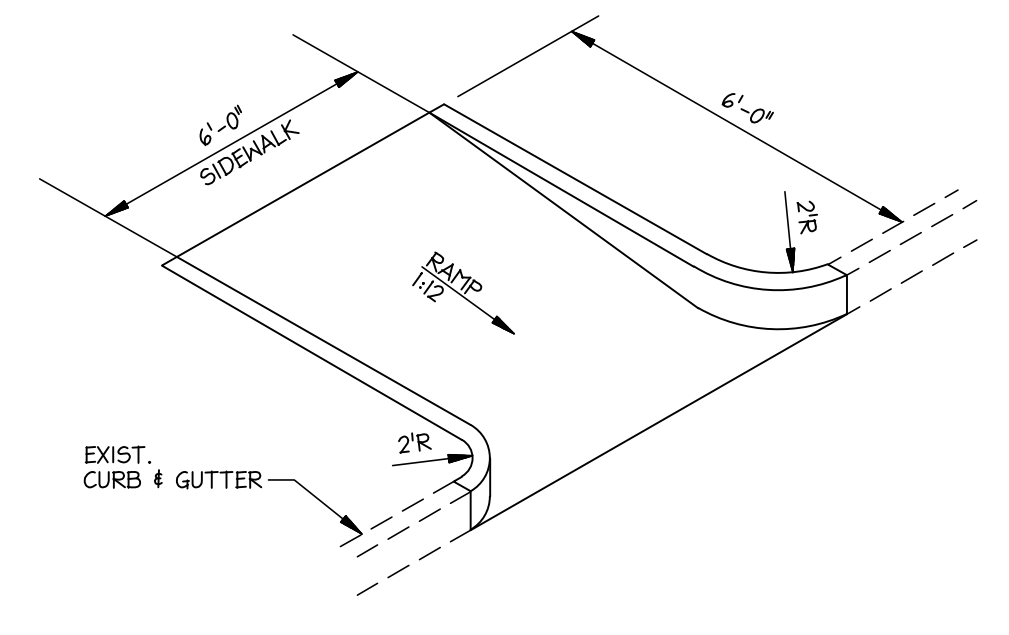
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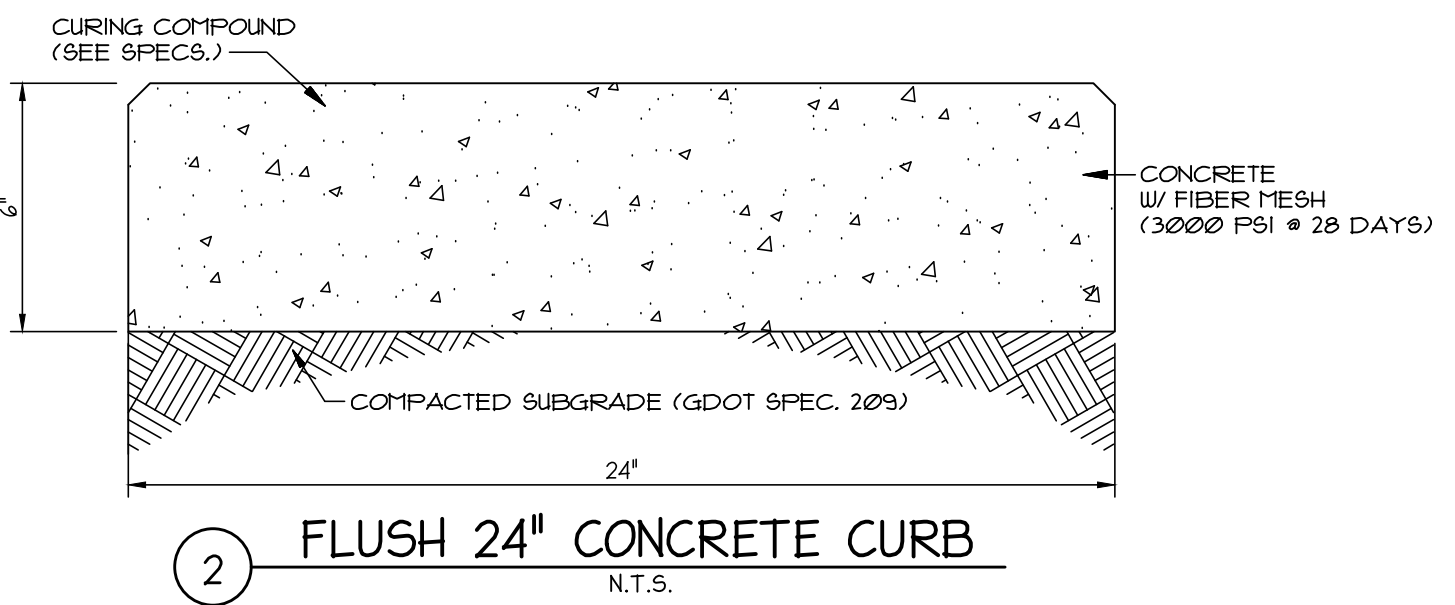
1 TYPICAL CURB & GUTTER
N.T.S.



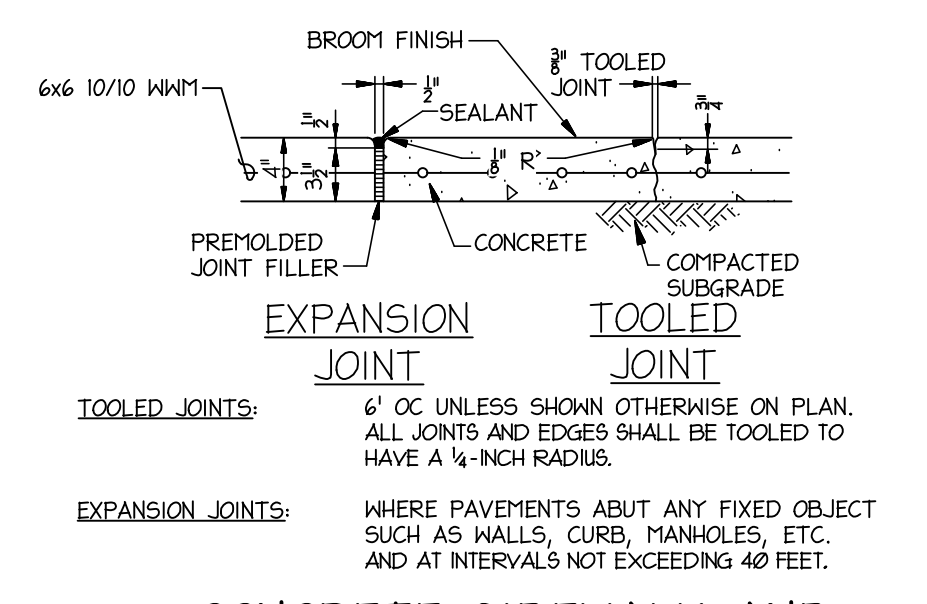
6 TYPICAL CURB & PAVER INSTALLATION
N.T.S.



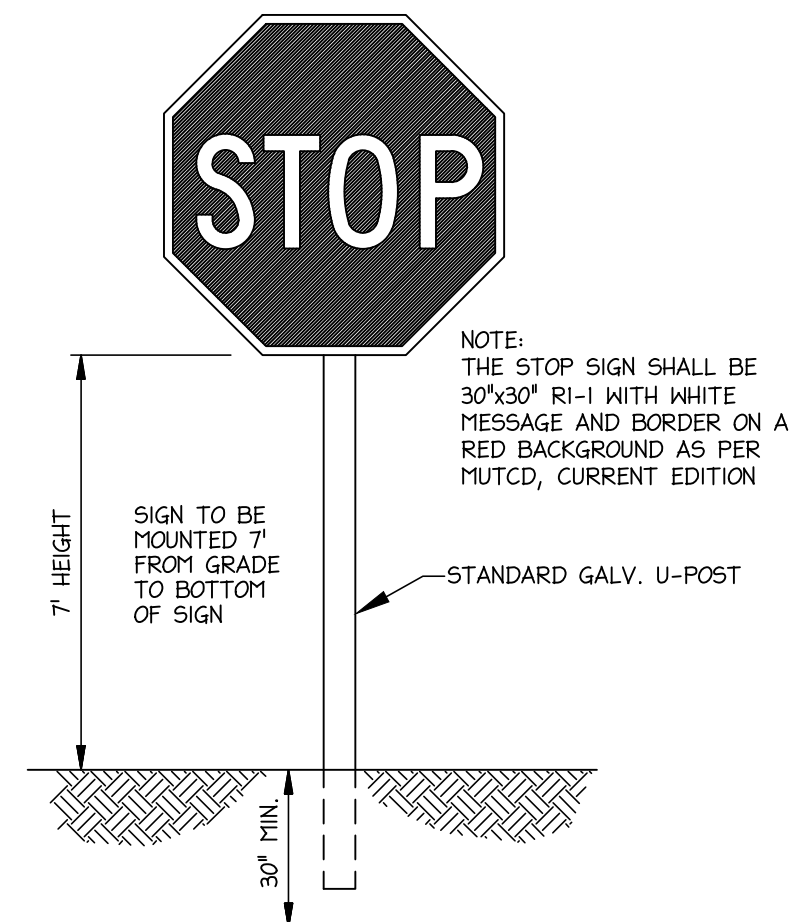
10 TYPE 2 HANDICAP RAMP
N.T.S.



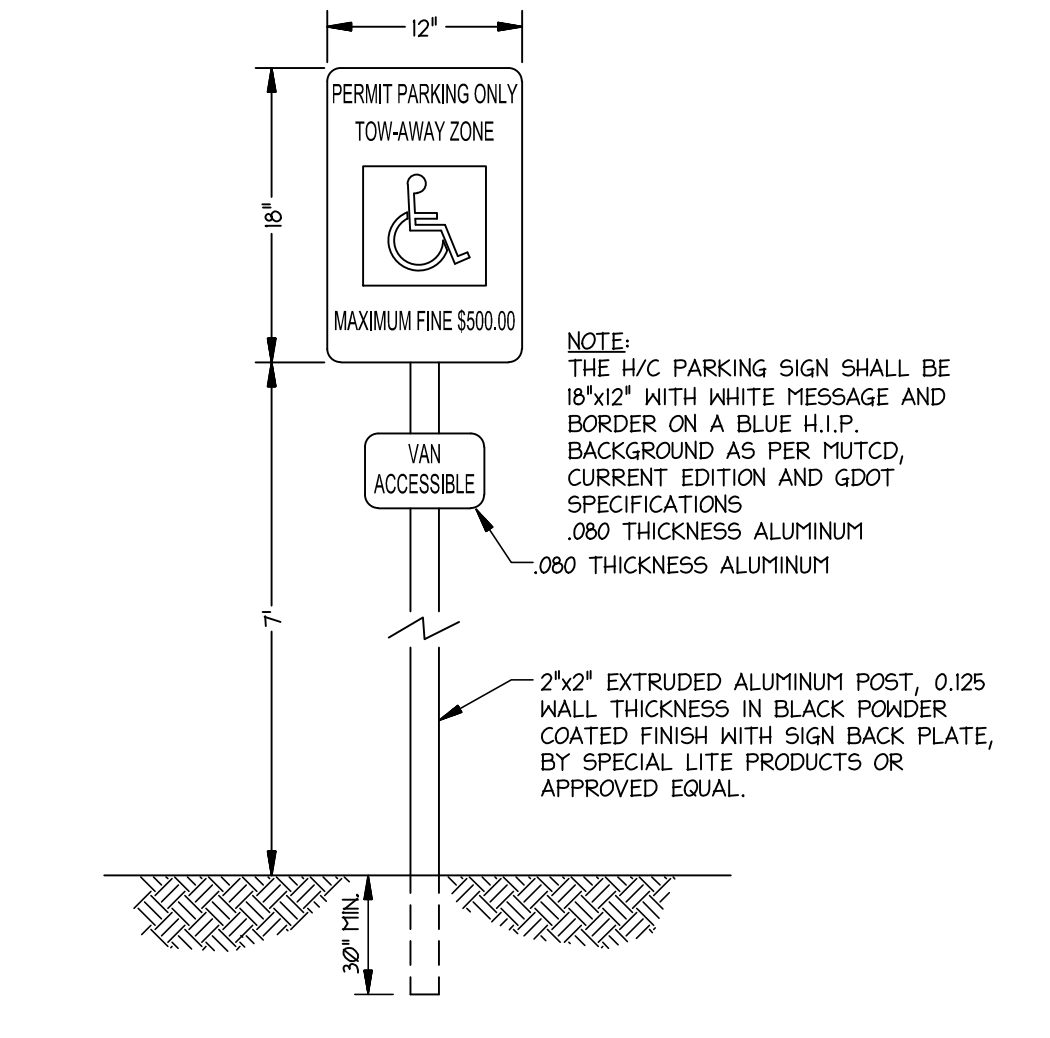
2 FLUSH 24" CONCRETE CURB
N.T.S.



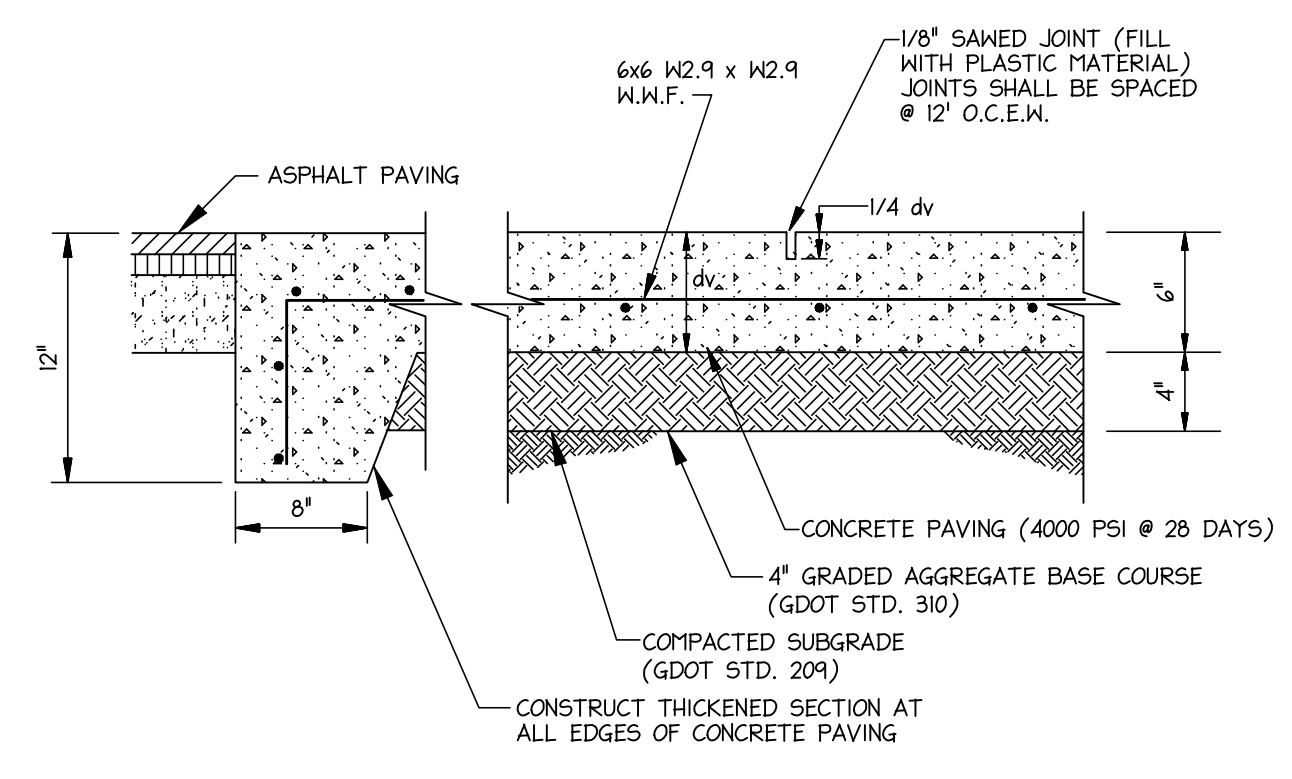
3 CONCRETE SIDEWALK AND SIDEWALK JOINTING
N.T.S.



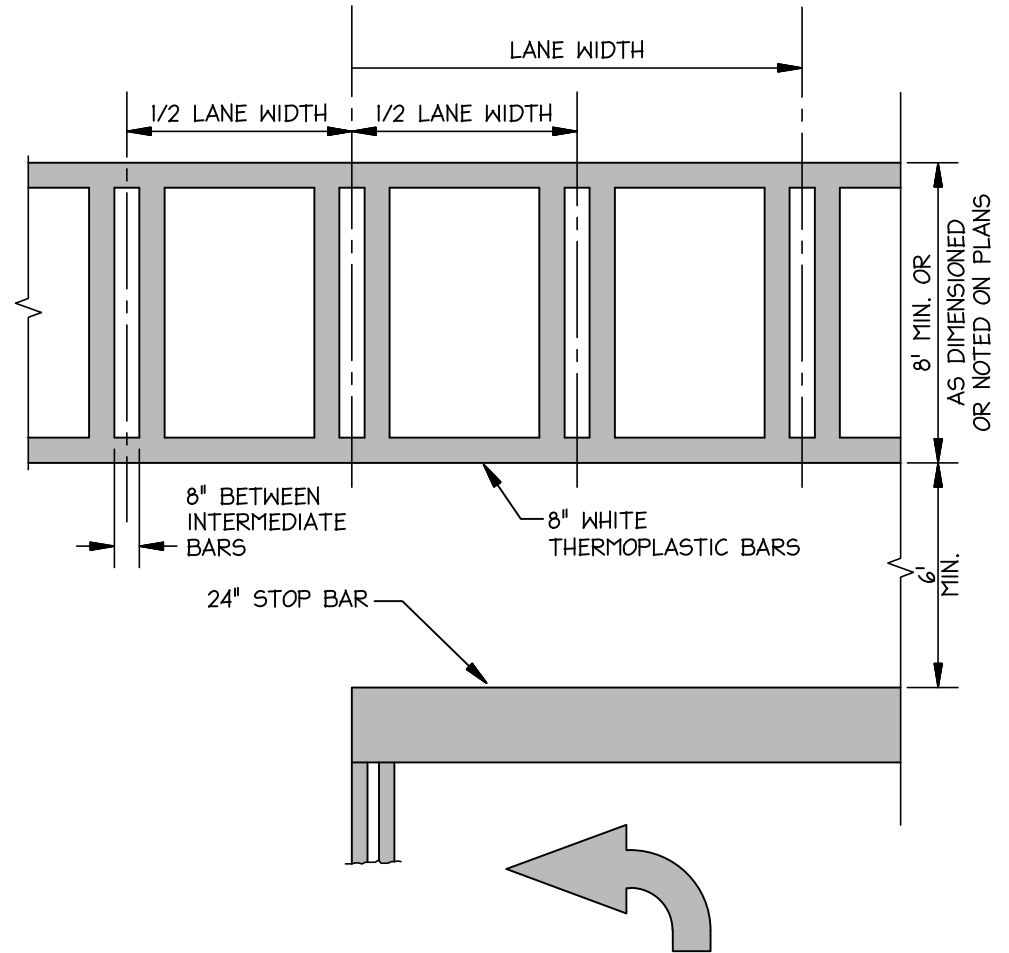
7 STOP SIGN
N.T.S.



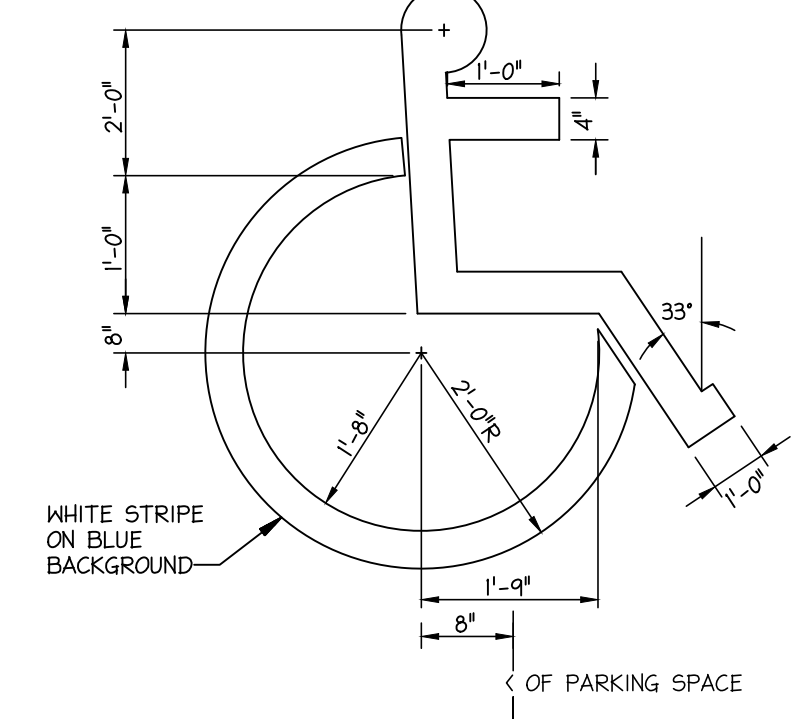
11 HANDICAP PARKING SIGN
N.T.S.



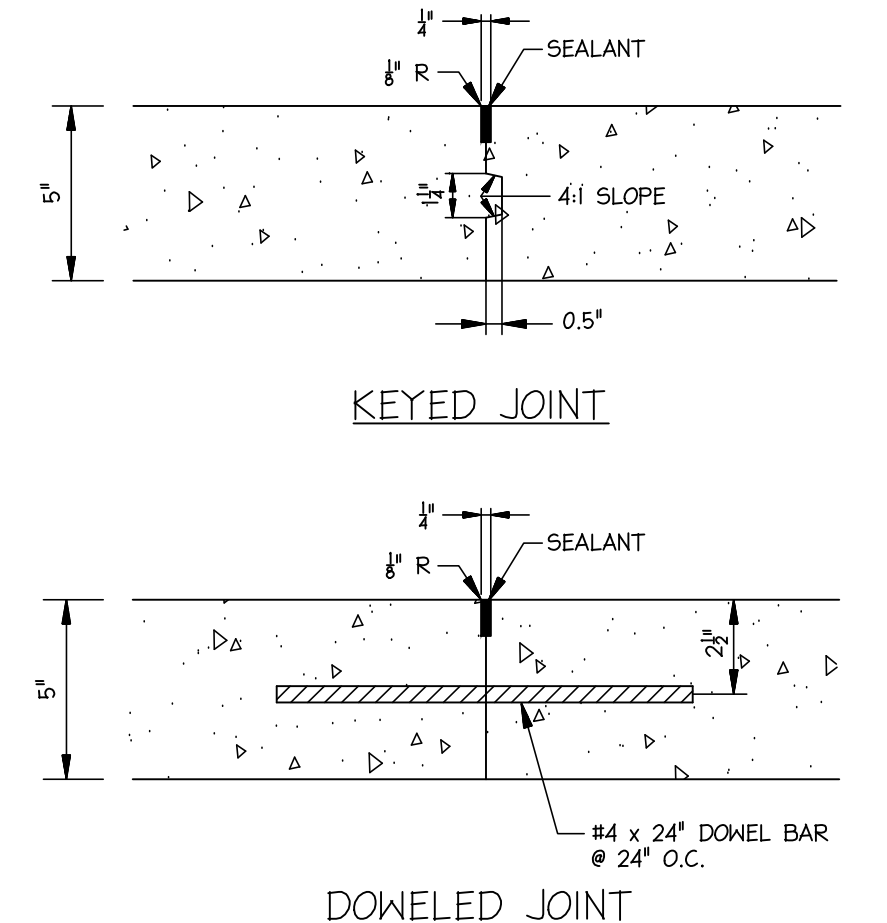
4 TYPICAL CONCRETE PAVING
N.T.S.



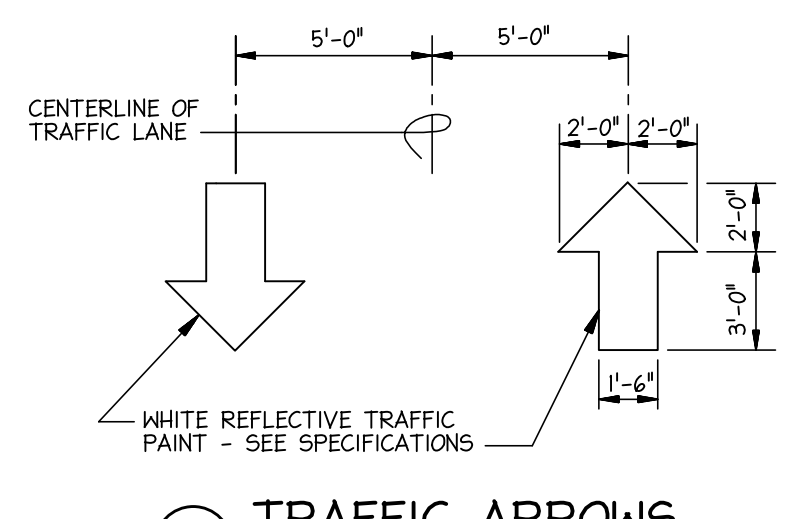
8 CROSSWALK
N.T.S.



12 HANDICAP SYMBOL
N.T.S.



5 CONSTRUCTION JOINT
N.T.S.



9 TRAFFIC ARROWS
N.T.S.

DT WALTON MIXED USE
DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
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Date: 28 May 2019 Job No.: M6400.001

Sheet Title

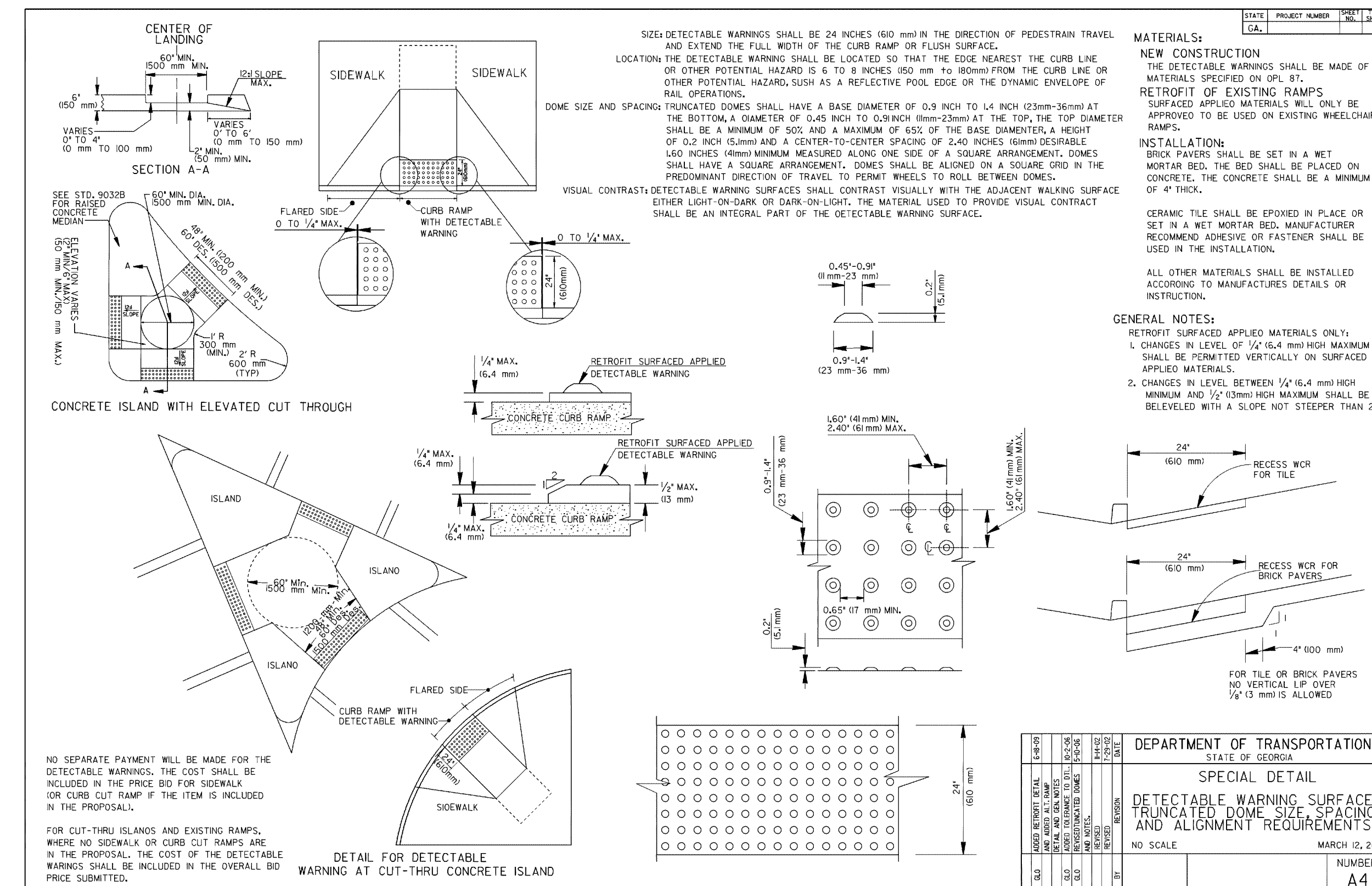
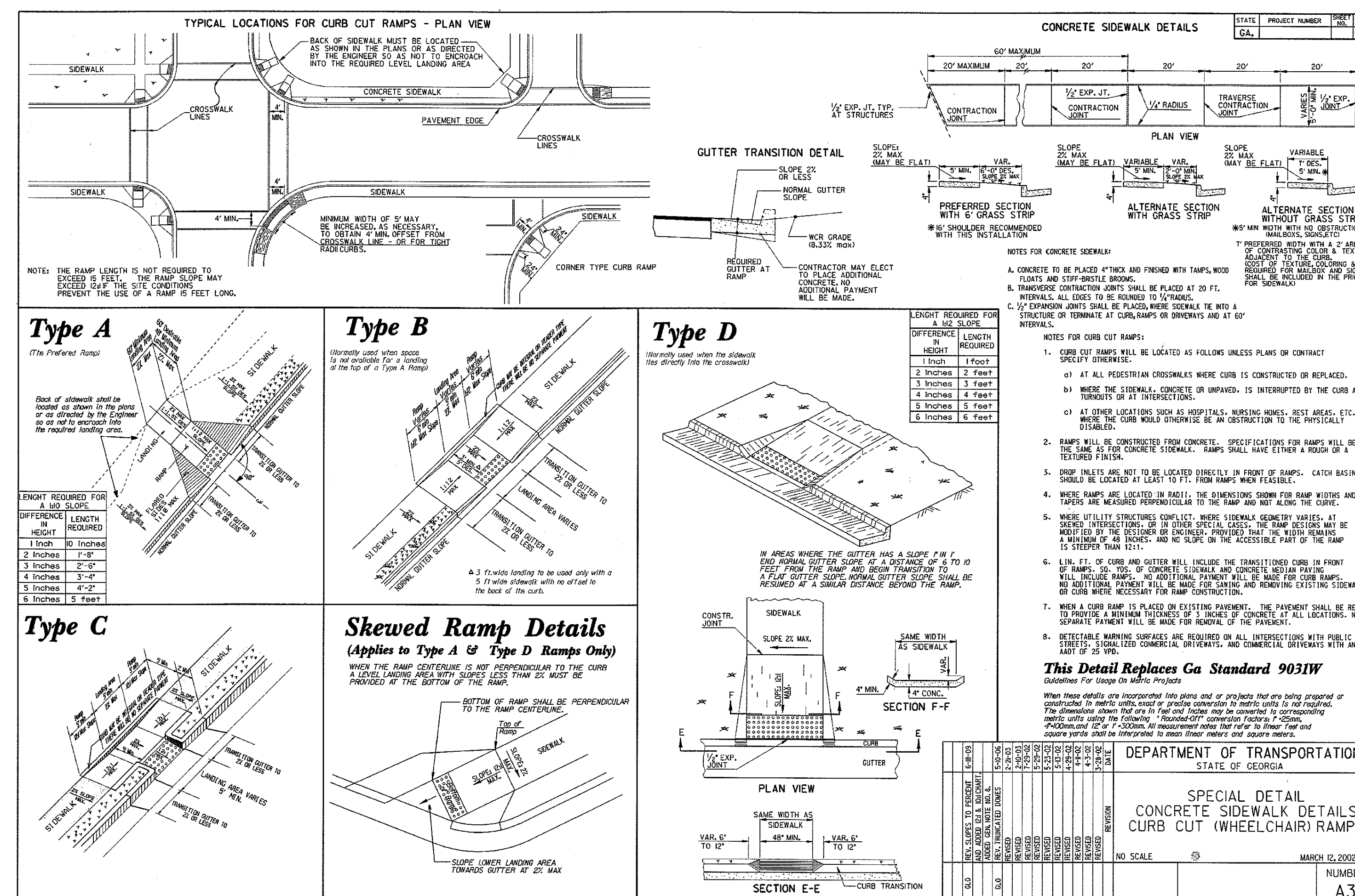
MISCELLANEOUS
SITE DETAILS

Sheet No.

C7.1



LEVEL II CERTIFIED
DESIGN PROFESSIONAL # 2011
ISSUED 11/2/2017 EXPIRES 11/2/2020
GEORGIA811
Utilities Protection Center, Inc.
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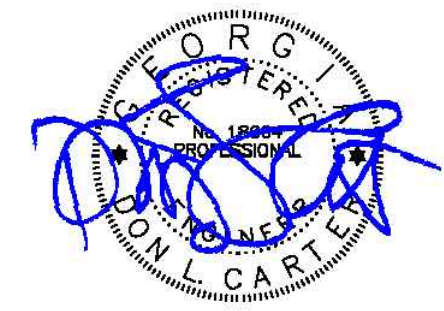
Revisions

Date 28 May 2019 Job No. M6400.001

Sheet Title
MISCELLANEOUS
SITE DETAILS

Sheet No.
C7.2

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LEVEL II CERTIFIED
DESIGN PROFESSIONAL # 2011
ISSUED 11/2/2017 EXPIRES 11/2/2020



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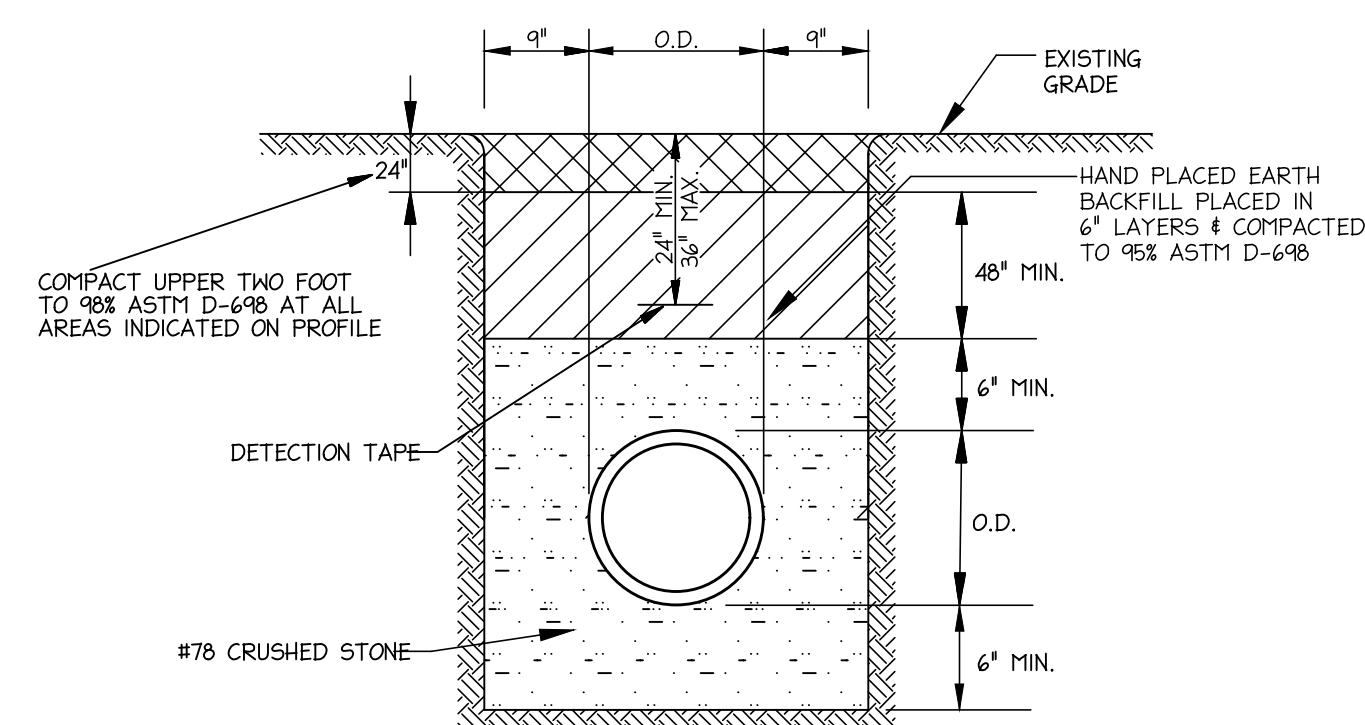
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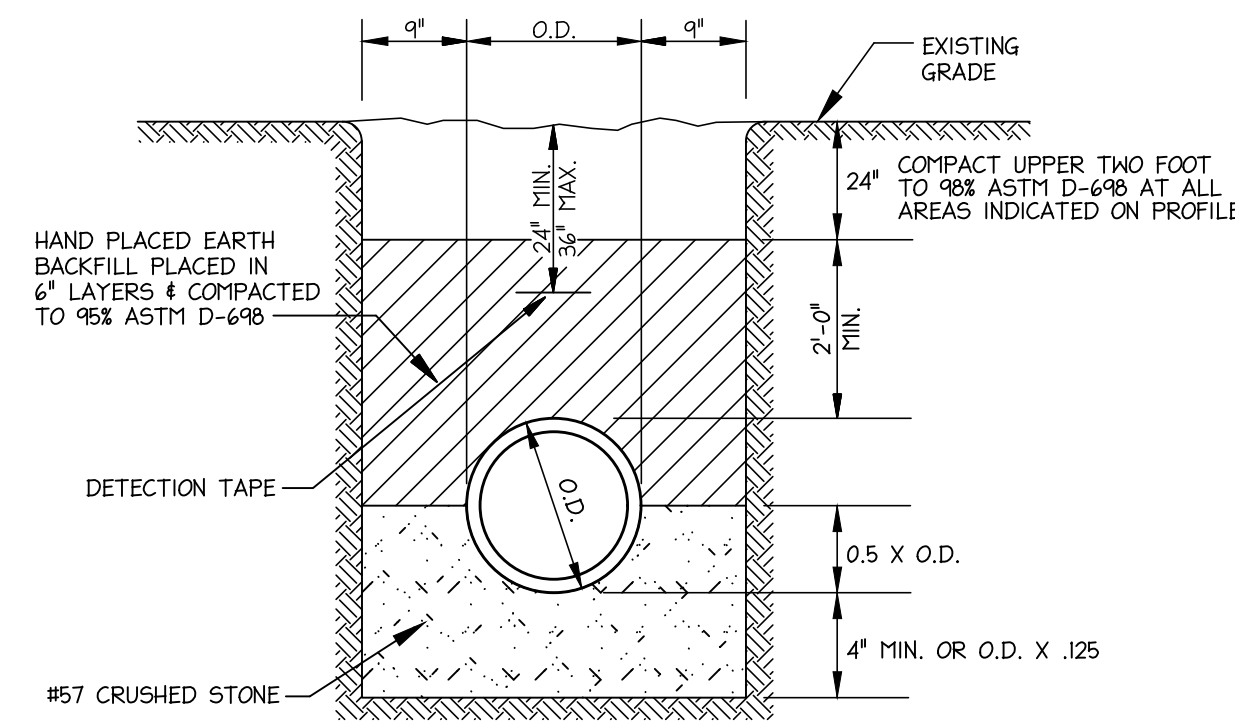
Sheet Title
**SITE
SANITARY SEWER
DETAILS**

Sheet No.
C7.5



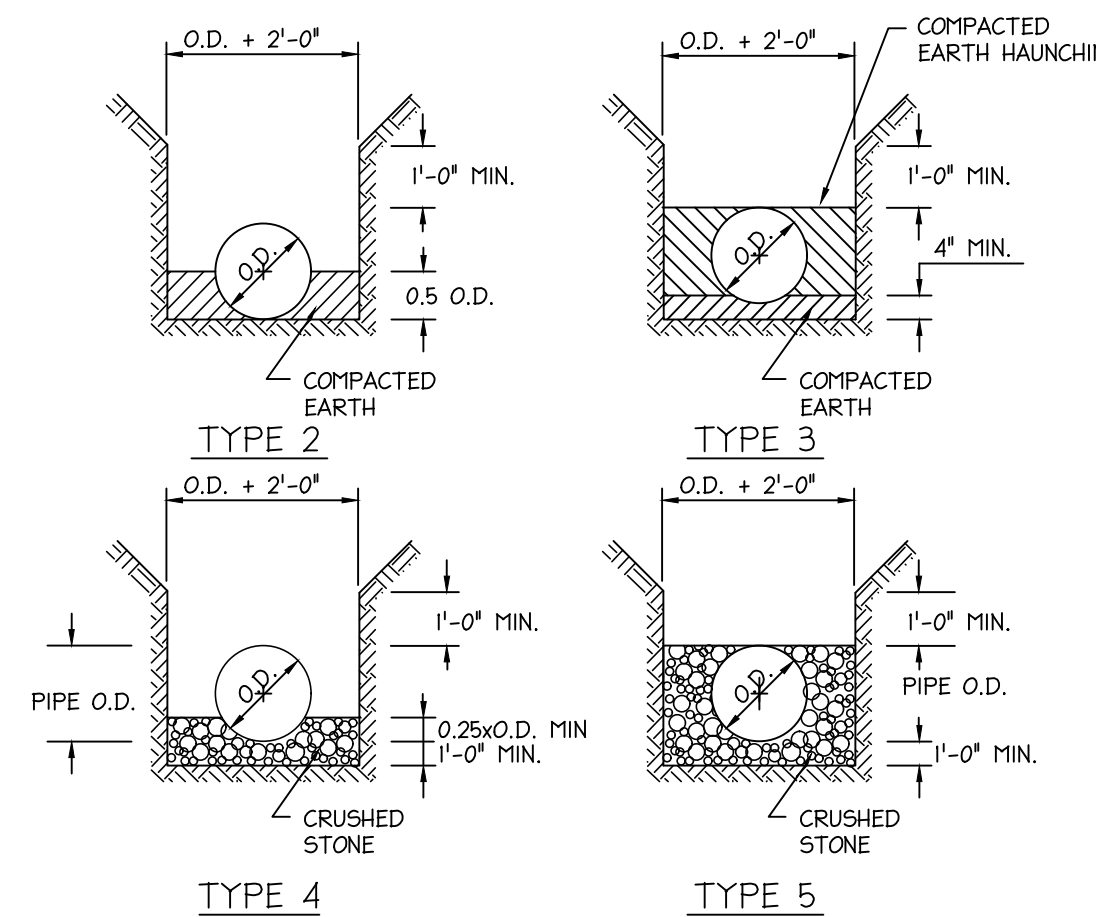
1 **SDR 26 PVC
SANITARY SEWER BEDDING**
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DETAIL AND INSTALLATION TO CONFORM TO
MACON WATER AUTHORITY STANDARDS AND REGULATIONS

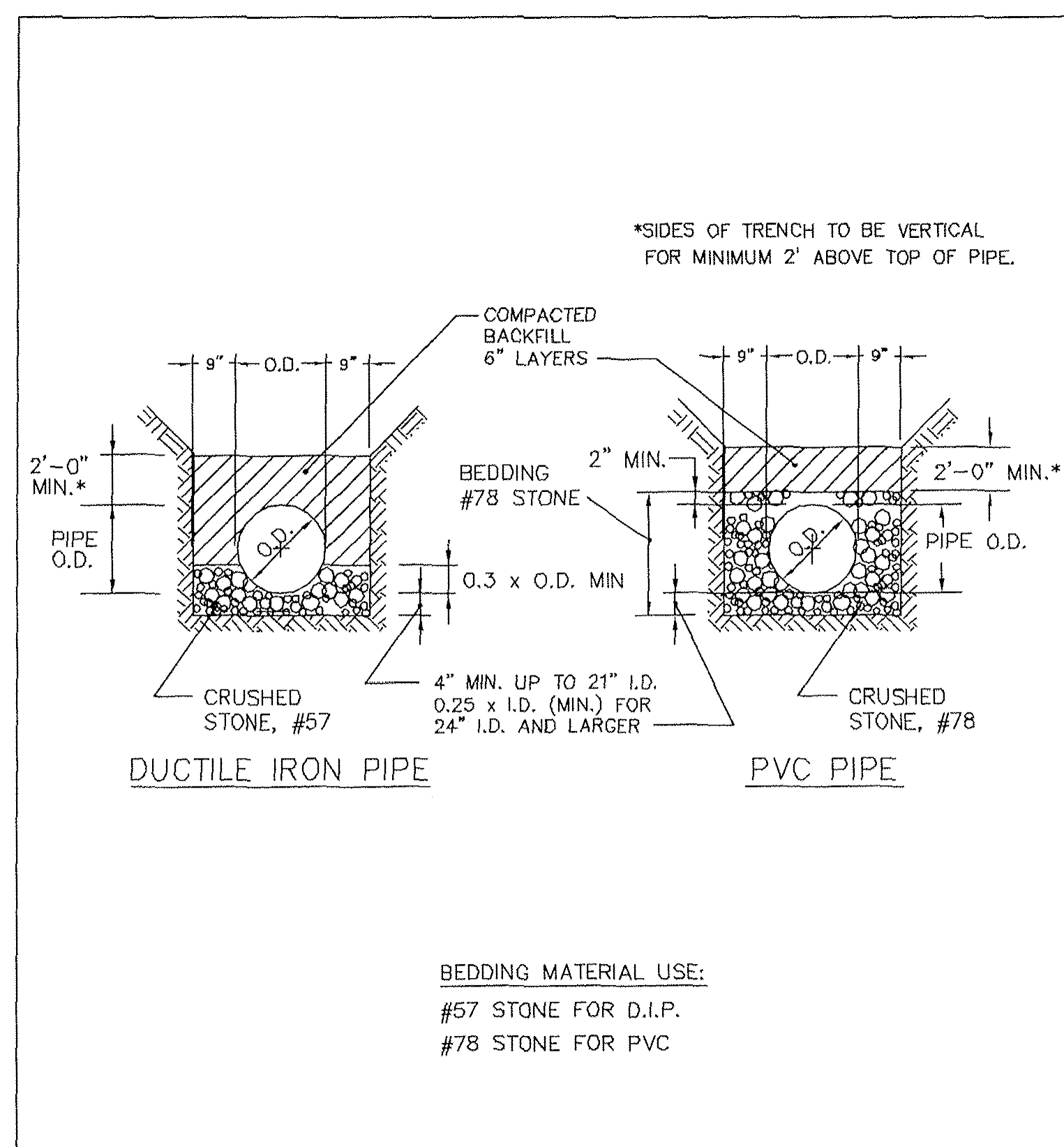


2 **D.I. SANITARY SEWER
BEDDING**
N.T.S.

DETAIL AND INSTALLATION TO CONFORM TO
MACON WATER AUTHORITY STANDARDS AND REGULATIONS

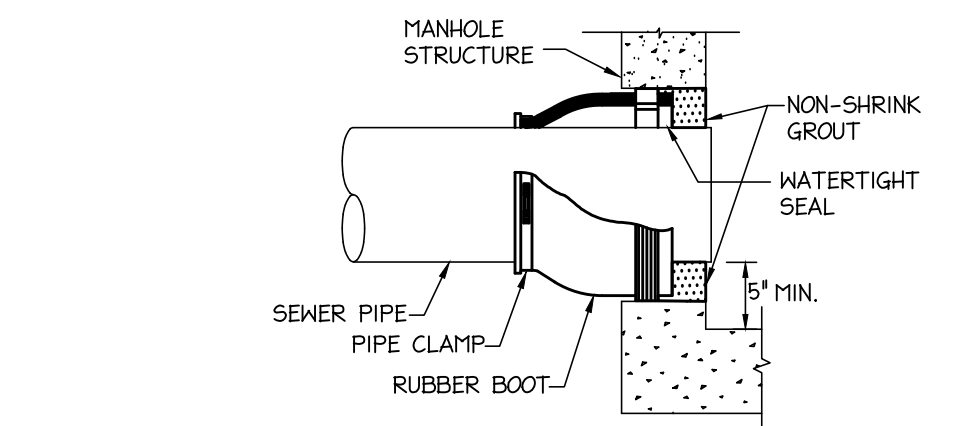


3 **MWA - PIPE BEDDING
AND HAUNCHING**
N.T.S.



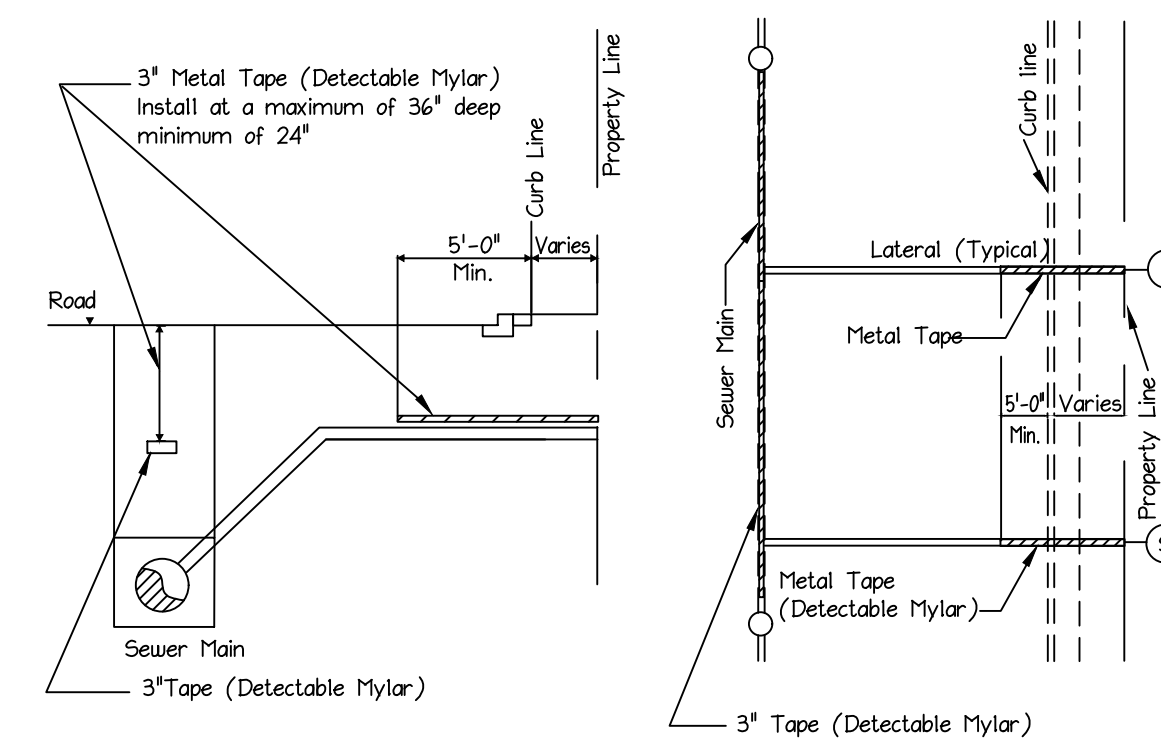
4 **PIPE BEDDING AND HAUNCHING DETAILS**
N.T.S.

BEDDING MATERIAL USE:
#57 STONE FOR D.I.P.
#78 STONE FOR PVC

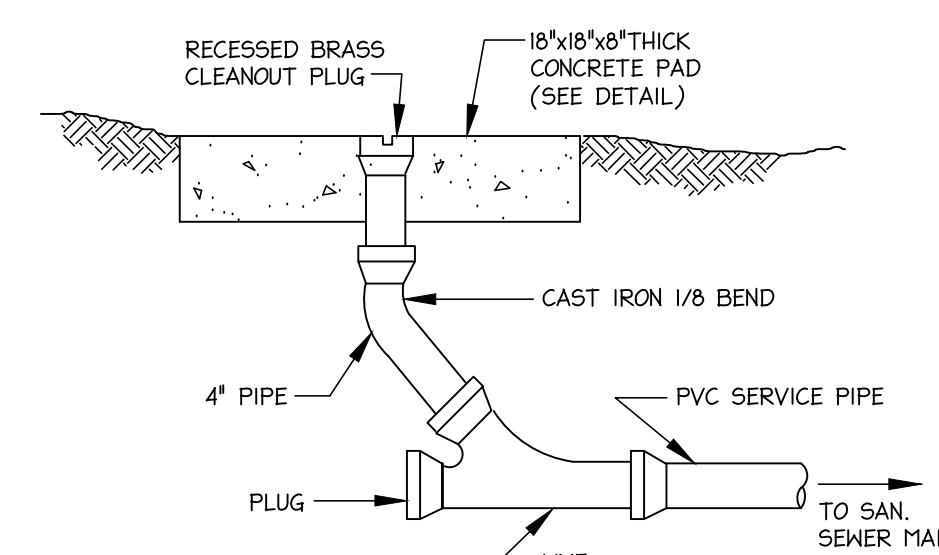


5 **MWA - RUBBER BOOT**
N.T.S.

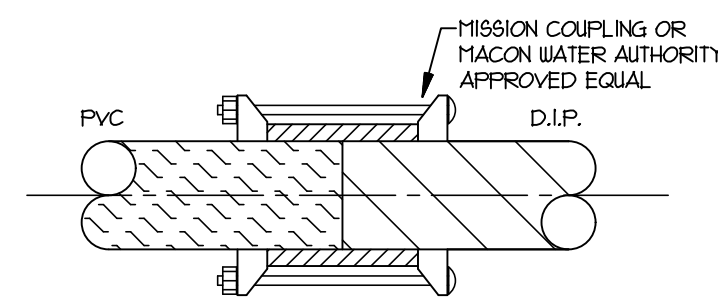
DETAIL AND INSTALLATION TO CONFORM TO
MACON WATER AUTHORITY STANDARDS AND REGULATIONS



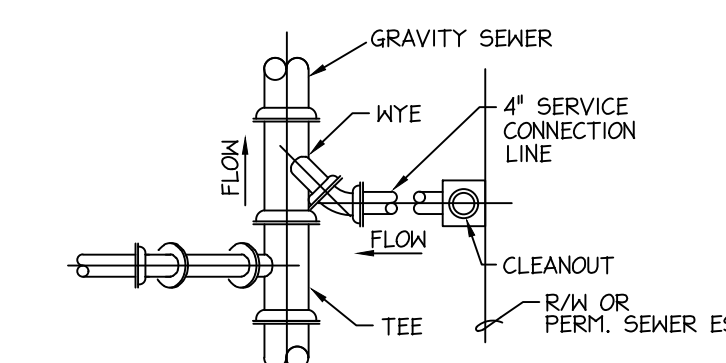
6 **MWA - METALLIC TAPE LOCATOR**
N.T.S.



7 **SANITARY SEWER
CLEANOUT TO GRADE**
N.T.S.

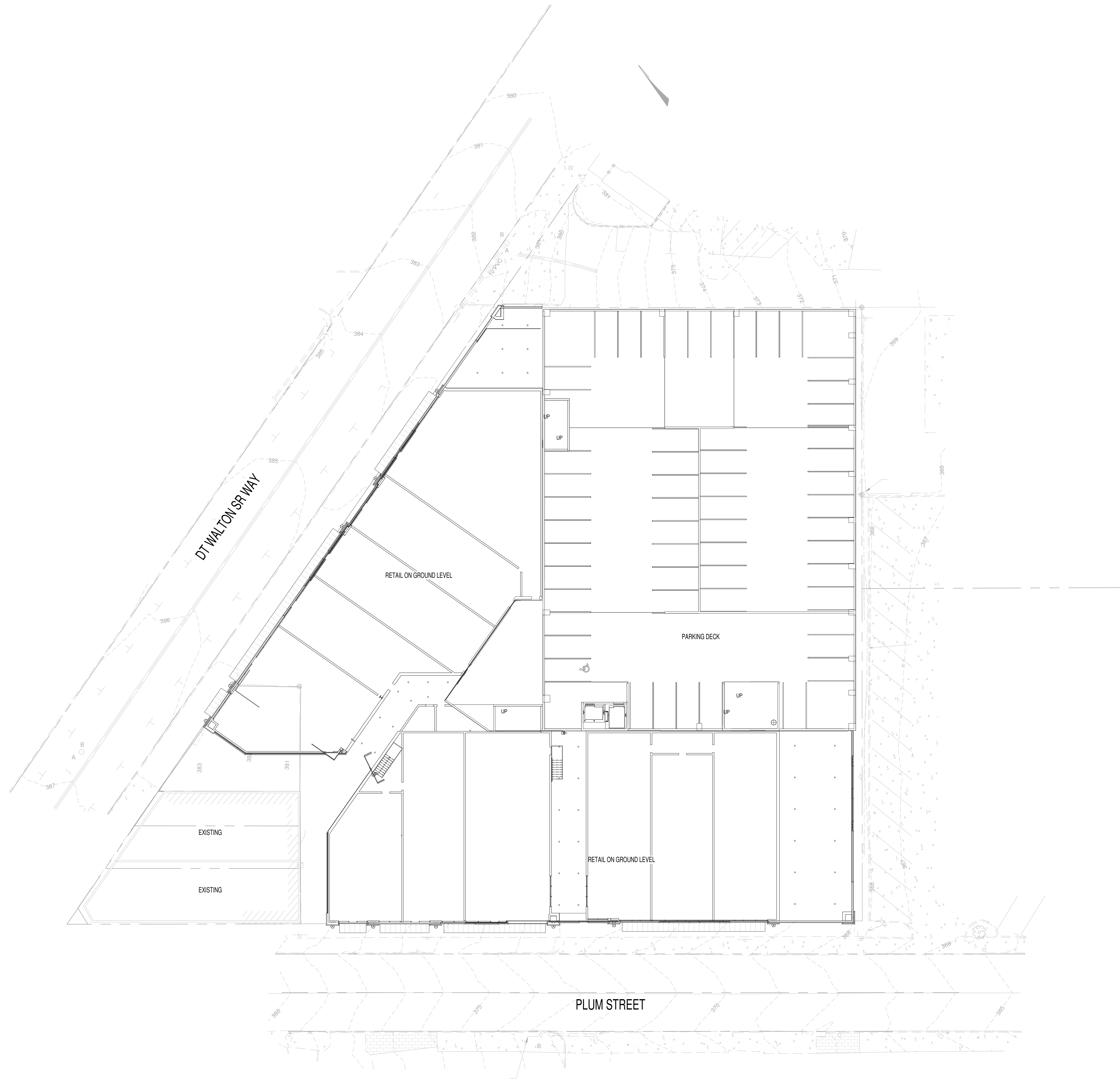


8 **PVC TO D.I.P. COUPLING**
N.T.S.



9 **MWA - SERVICE CONNECTION**
N.T.S.

STATUS BY APPROVED DATE	MACON WATER AUTHORITY STANDARD DETAILS	RECOMMENDED BY THE MACON WATER AUTHORITY ENGINEERING DEPT.
ORIGINAL		
REVISION	4 PIPE BEDDING AND HAUNCHING DETAILS	DRAWING NUMBER OT-2
	N.T.S.	



1 ARCHITECTURAL SITE PLAN PD
 SCALE: 1/16" = 1'-0"



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Date Job No.
06/31/2017 160304.000

Sheet Title

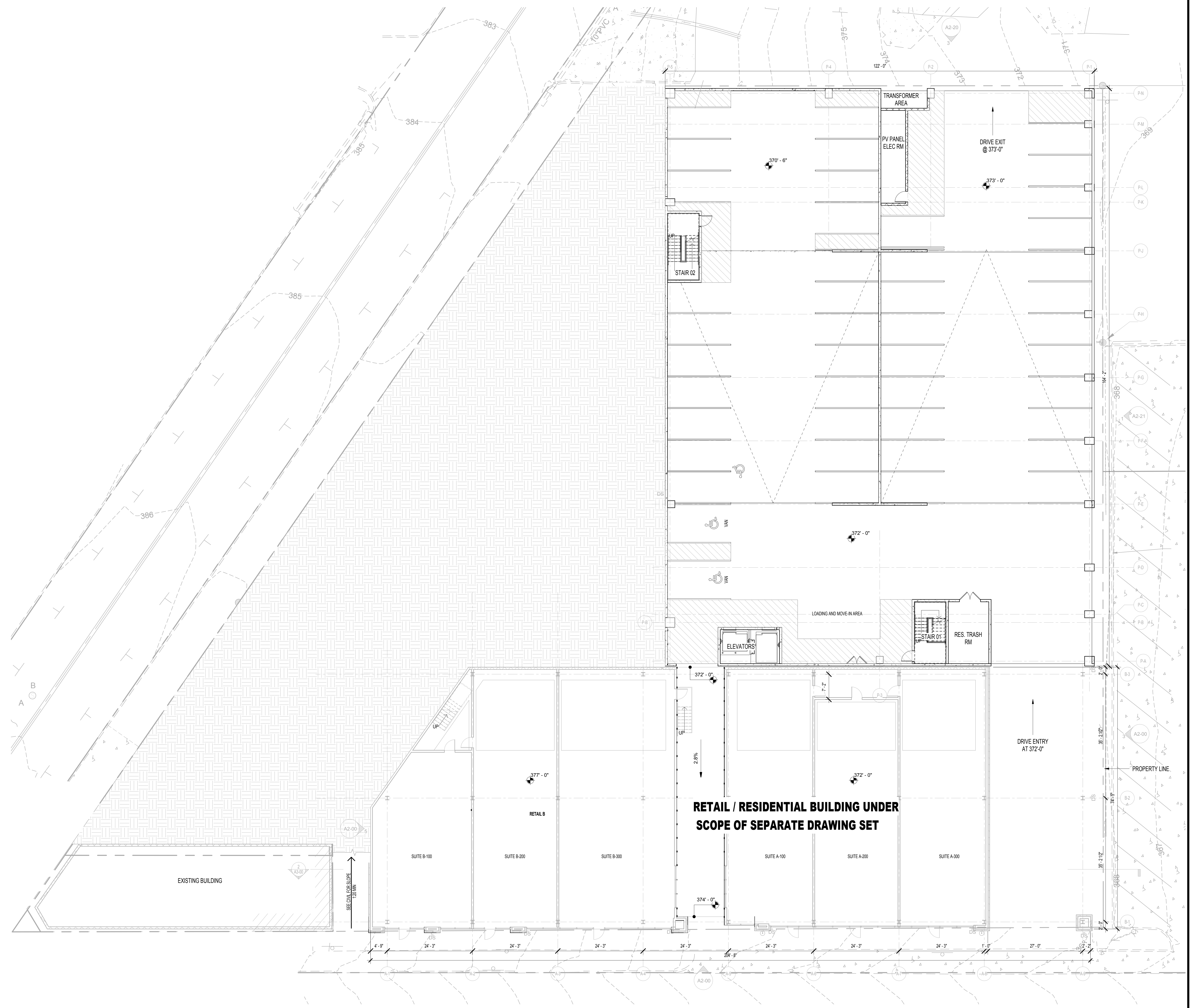
ARCHITECTURAL SITE PLAN

Sheet No.

A1-00

NOT ISSUED FOR CONSTRUCTION

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 SHEET NAME: LEVEL 01 - OVERALL - PARKING DECK SHEET NUMBER: A1-10 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 6:40:07 PM



1 LEVEL 01
 SCALE: 3/32" = 1'-0"

DESIGNING ARCHITECT

**WAKEFIELD
 BEASLEY &
 ASSOCIATES**

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 ARCHITECT OF RECORD
NELSON
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**DT WALTON MIXED USE
 DEVELOPMENT**

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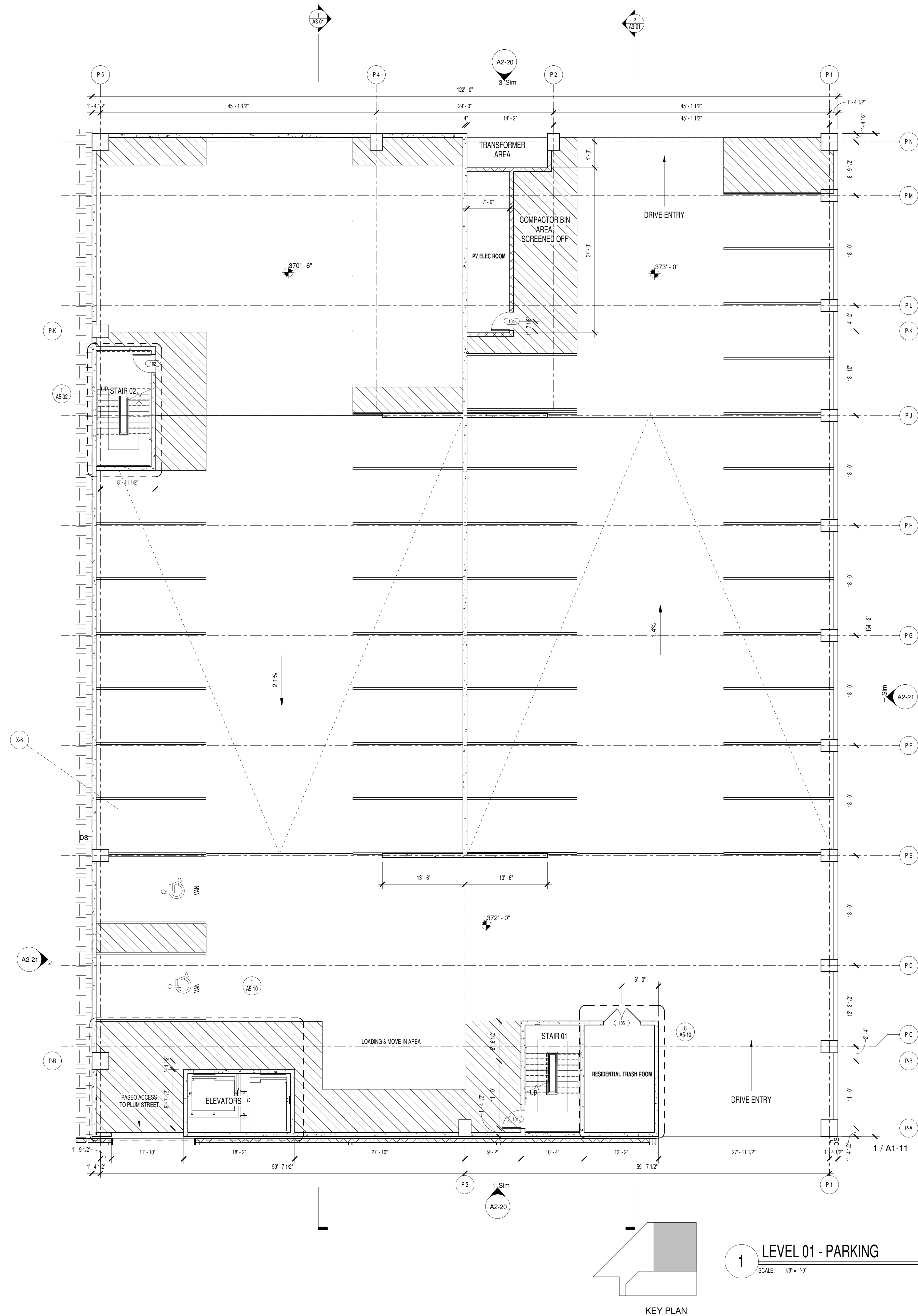
Revisions

Date Job No.
 06/31/2017 1603094.000

Sheet Title
**LEVEL 01 -
 OVERALL -
 PARKING DECK**

Sheet No.
A1-10

NOT ISSUED FOR CONSTRUCTION



- GENERAL NOTES**
- 1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON BEARING WALLS: 3 HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
INTERIOR NON BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 108 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOOR/CEILING & ROOF/CEILING: 1 HR
 - 2. SEE SHEET A6-12 FOR SHAFT DETAILS
 - 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
 - 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL
 - 5. SEE SHEETS T-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING
 - 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
 - 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
 - 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
 - 9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS

DESIGNING ARCHITECT

WAKEFIELD BEASLEY & ASSOCIATES

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DT WALTON MIXED USE DEVELOPMENT

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BID SET	JUNE 17, 2019
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Revisions

No.	Description	By	Date

Date	Job No.
08/31/2017	1603094.000

Sheet Title

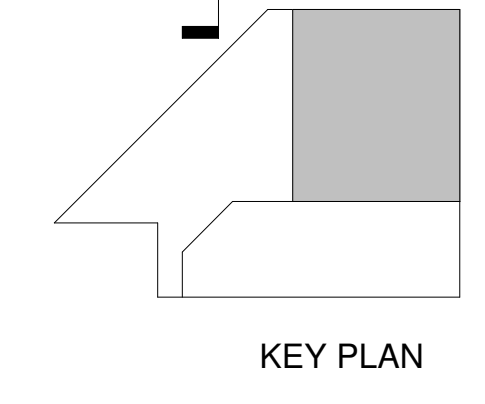
LEVEL 01 - PARKING PLAN

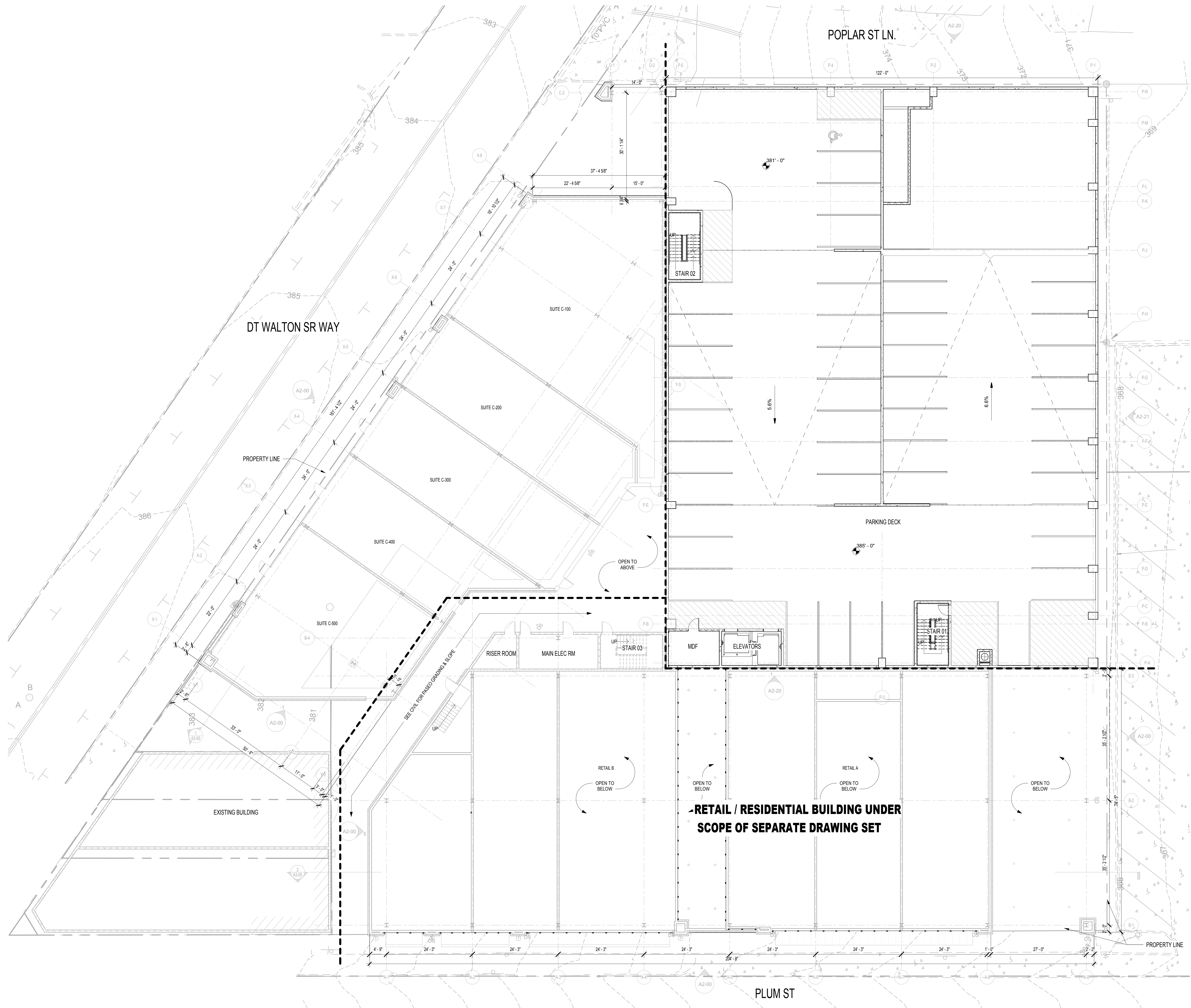
Sheet No.

A1-13

NOT ISSUED FOR CONSTRUCTION

1 LEVEL 01 - PARKING
SCALE: 1/8" = 1'-0"





1 LEVEL 02
SCALE: 3/32" = 1'-0"

**DT WALTON MIXED USE
DEVELOPMENT**

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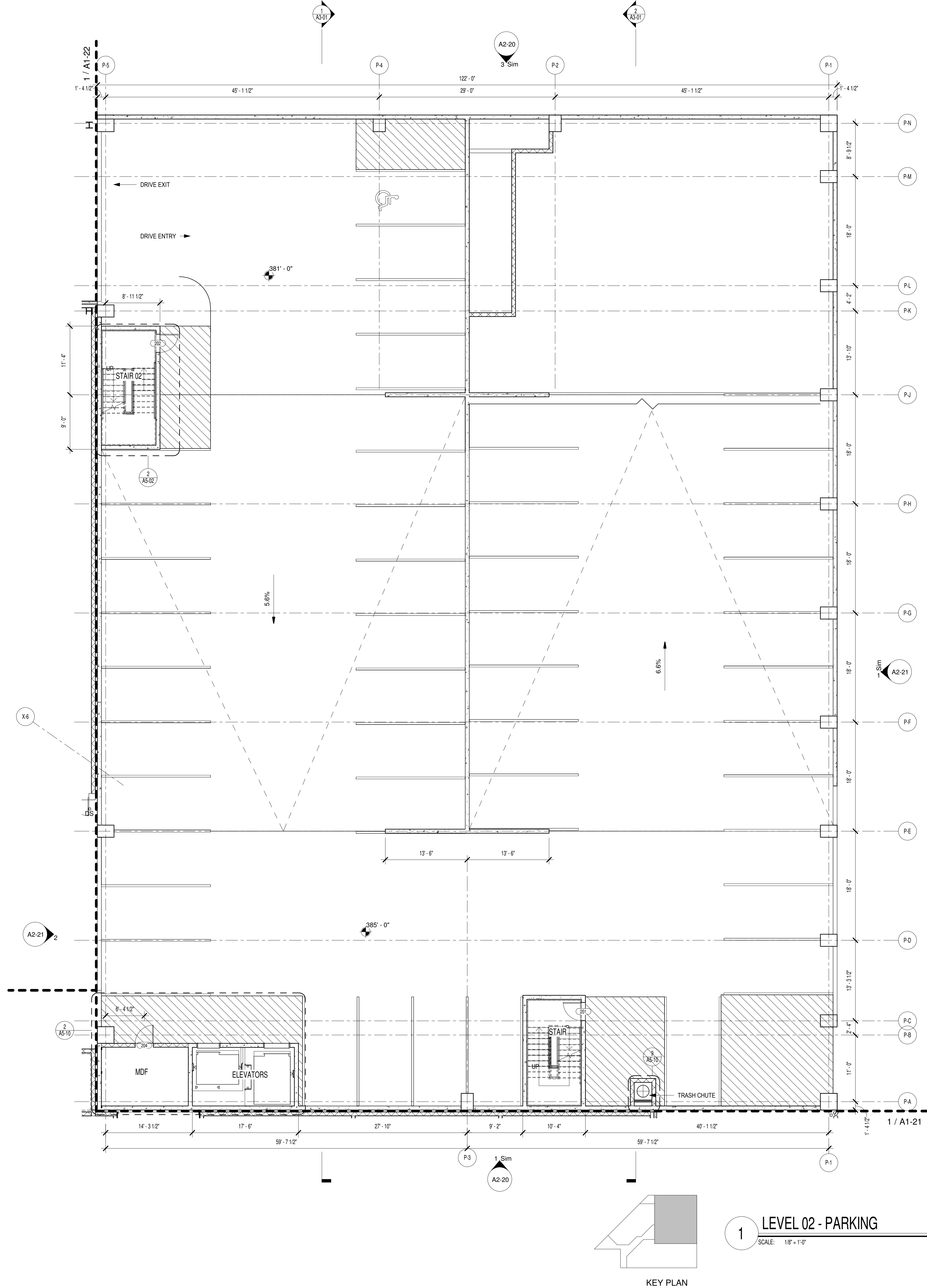
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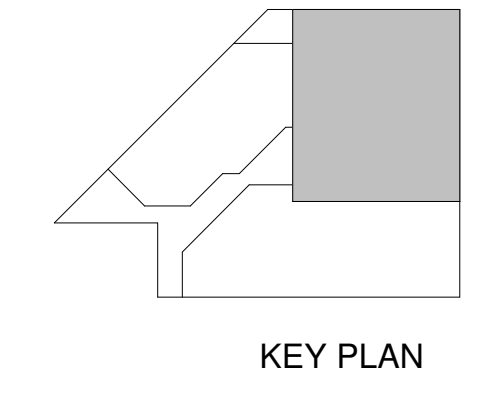
Date Job No.
06/31/2017 1603094-000

Sheet Title
**LEVEL 02 -
OVERALL -
PARKING DECK**

Sheet No.
A1-20



1 LEVEL 02 - PARKING
SCALE: 1/8" = 1'-0"



- ### GENERAL NOTES
1. TYPICAL FIRE RATINGS, U.N.O.:
 OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
 CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
 STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
 EXTERIOR BEARING WALLS: 1 HR
 EXTERIOR NON-BEARING WALLS: 3 HR
 INTERIOR BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
 INTERIOR NON-BEARING WALLS: X HR
 CORRIDOR WALLS: 1 HR (WALL TYPE 106 U.N.O.)
 UNIT DEMISING WALLS: 1 HR
 SHAFT WALLS: 2 HR
 FLOORCEILING & ROOFCEILING: 1 HR
 2. SEE SHEET A6-12 FOR SHAFT DETAILS
 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
 5. SEE SHEETS TO-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
 9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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Revisions

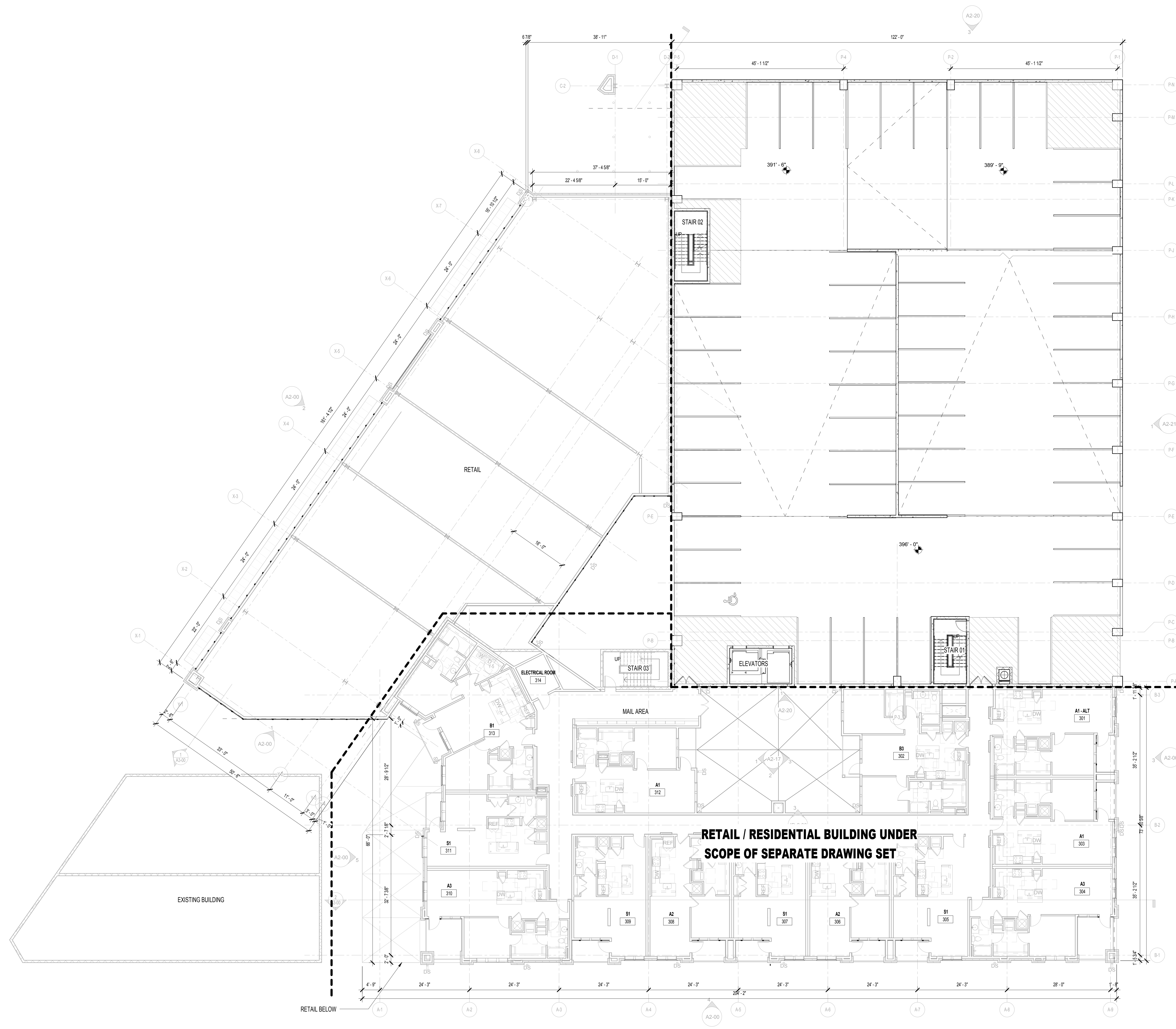
Date: 08/31/2017 Job No.: 1603094.000

Sheet Title
LEVEL 02 - PARKING PLAN

Sheet No.
A1-23

NOT ISSUED FOR CONSTRUCTION

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 SHEET NAME: LEVEL 03 - OVERALL - PARKING DECK SHEET NUMBER: A1-30 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 6:42:11 PM



1 LEVEL 03 - PARKING DECK
 SCALE: 3/32" = 1'-0"

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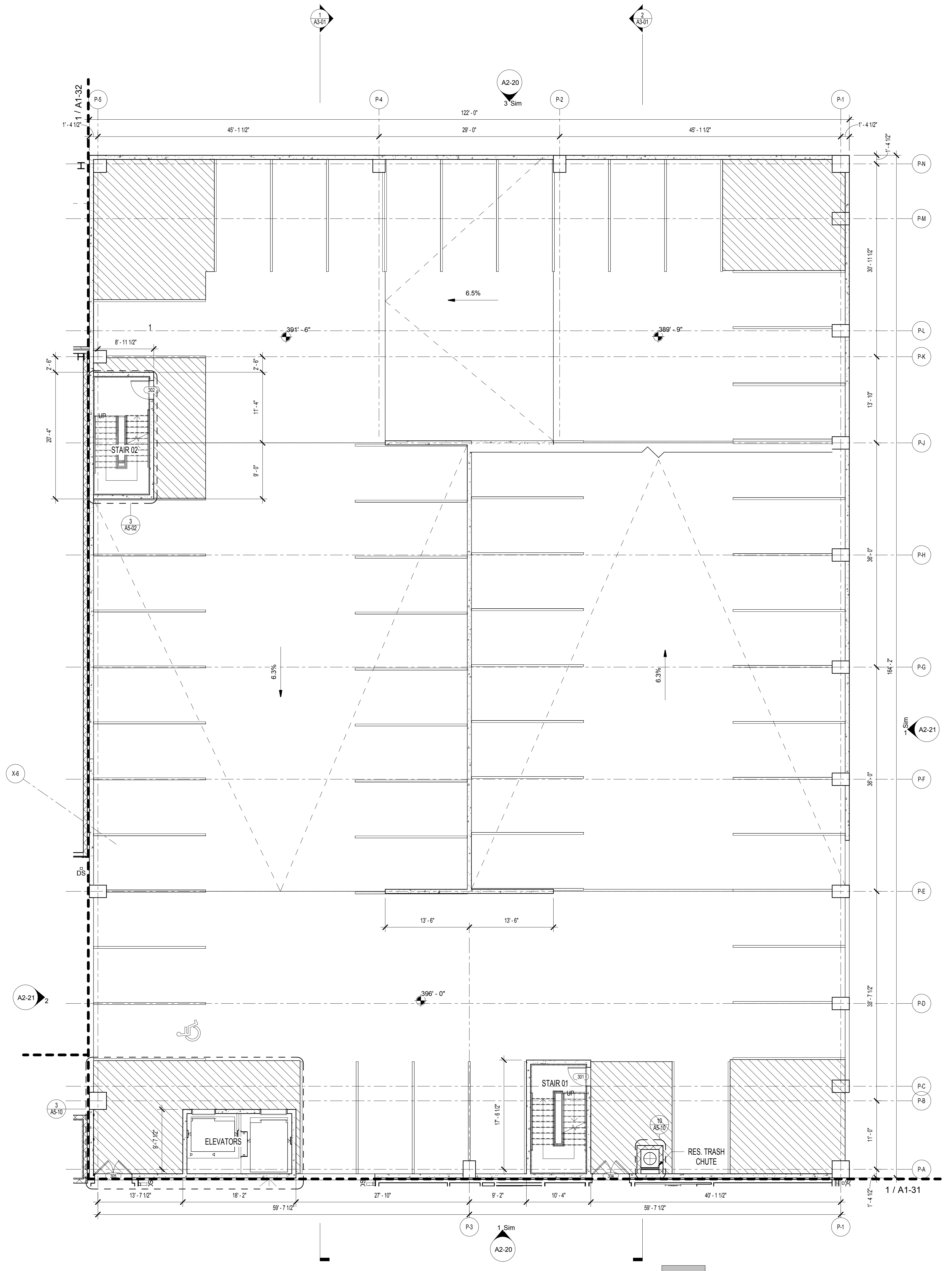
Revisions

Date	Job No.
06/31/2017	1603094.000

Sheet Title
LEVEL 03 - OVERALL - PARKING DECK
 Sheet No.
A1-30

NOT ISSUED FOR CONSTRUCTION

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 SHEET NAME: LEVEL 03 - PARKING PLAN SHEET NUMBER: A1-33 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 6:25:45 PM



1 LEVEL 03 - PARKING
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
 OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
 CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
 STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
 EXTERIOR BEARING WALLS: 1 HR
 EXTERIOR NON-BEARING WALLS: 3 HR
 INTERIOR BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
 INTERIOR NON-BEARING WALLS: 3 HR
 CORRIDOR WALLS: 1 HR (WALL TYPE 103 U.N.O.)
 UNIT DEMISING WALLS: 1 HR
 SHAFT WALLS: 2 HR
 FLOORCEILING & ROOFCEILING: 1 HR
2. SEE SHEET A6-12 FOR SHAFT DETAILS
3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL
5. SEE SHEETS T5-04 FOR WALL TYPE CONSTRUCTION DETAILS, REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING
6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
7. TRAFFIC COATING APPLIED AT UNIT BALCONIES. SEE DETAILS
8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

DESIGNING ARCHITECT



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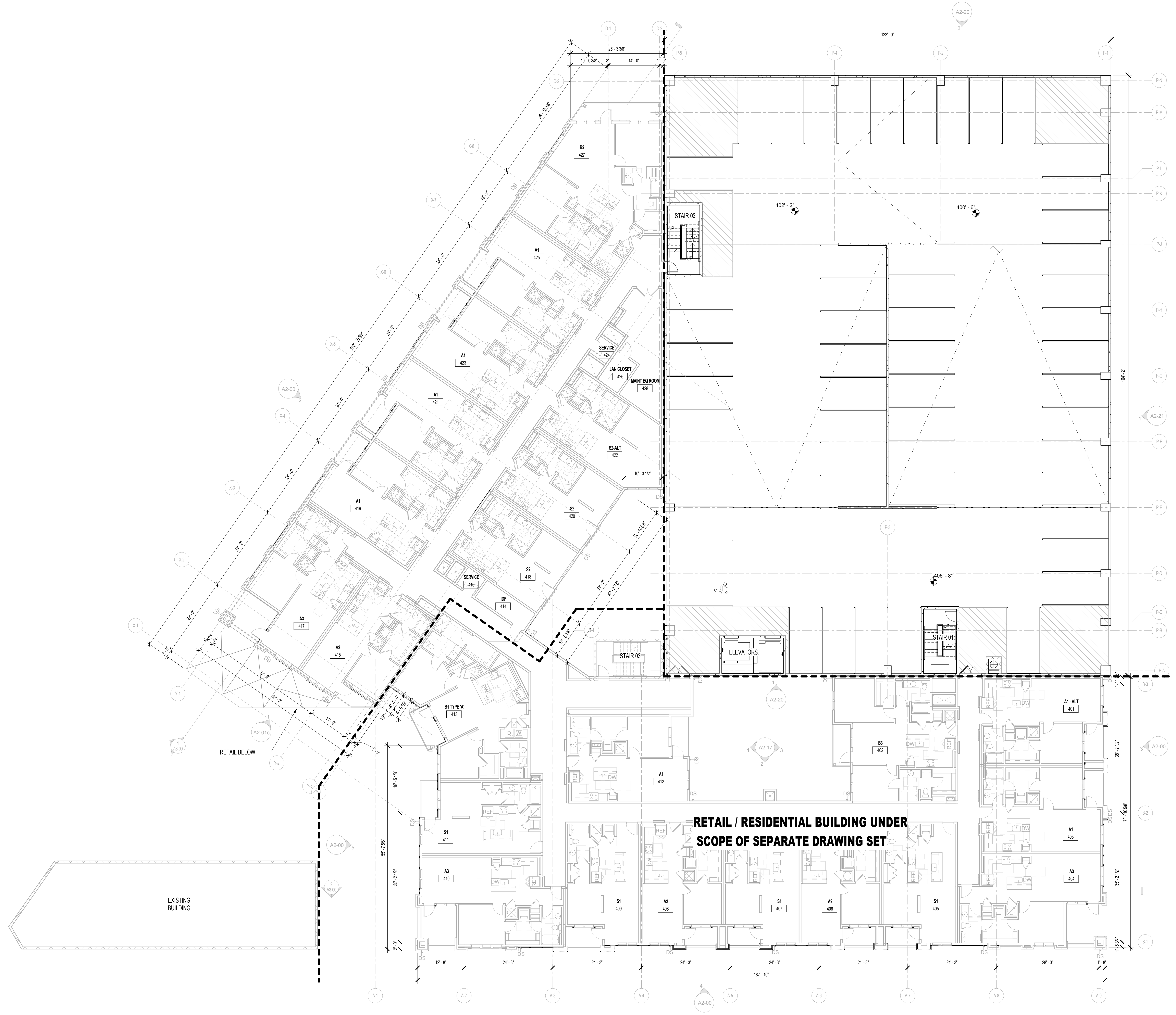
Revisions

Date	Job No.
06/31/2017	1603094.000

SHEET TITLE
LEVEL 03 - PARKING PLAN

SHEET NO.
A1-33

NOT ISSUED FOR CONSTRUCTION



**RETAIL / RESIDENTIAL BUILDING UNDER
SCOPE OF SEPARATE DRAWING SET**

1 LEVEL 04
SCALE: 3/32" = 1'-0"

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Revisions

Date	Job No.
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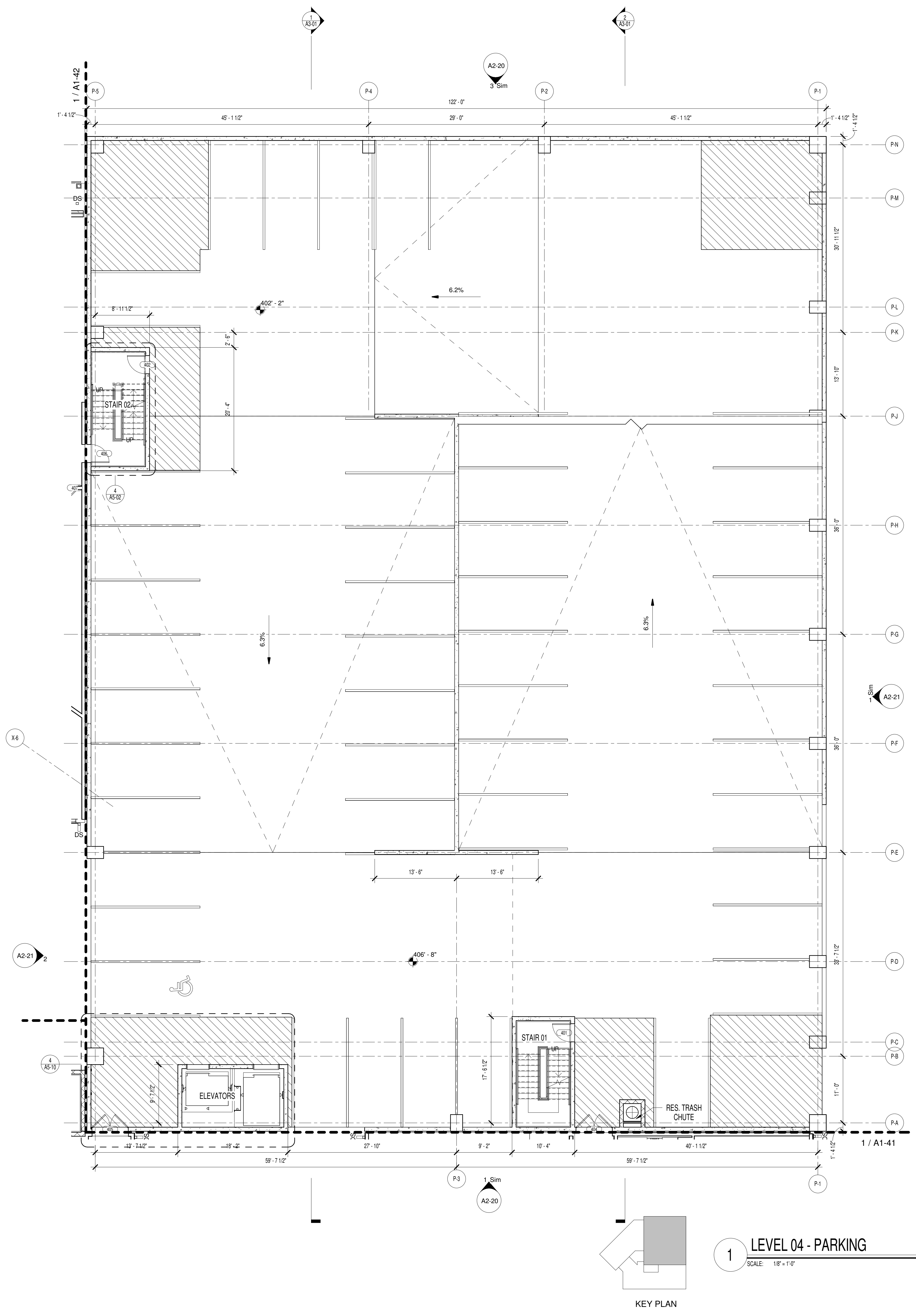
Sheet Title

**LEVEL 04 -
OVERALL -
PARKING DECK**

Sheet No.

A1-40

NOT ISSUED FOR CONSTRUCTION



GENERAL NOTES

- 1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON BEARING WALLS: 3 HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
INTERIOR NON BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 108 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOOR/CEILING & ROOF/CEILING: 1 HR
- 2. SEE SHEET A6-12 FOR SHAFT DETAILS
- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING
- 6. ALL DOORS TO BE LOCATED 4' OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
- 9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS

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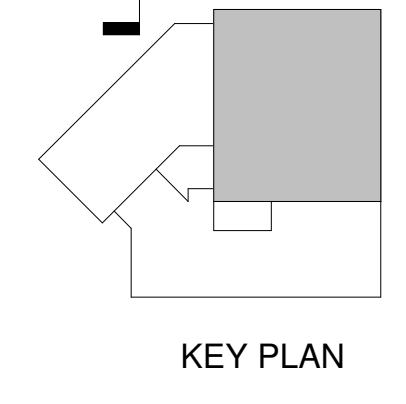
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08/31/2017	1603094-000

Sheet Title
**LEVEL 04 - PARKING
PLAN**

Sheet No.
A1-43

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1 LEVEL 04 - PARKING
SCALE: 1/8" = 1'-0"



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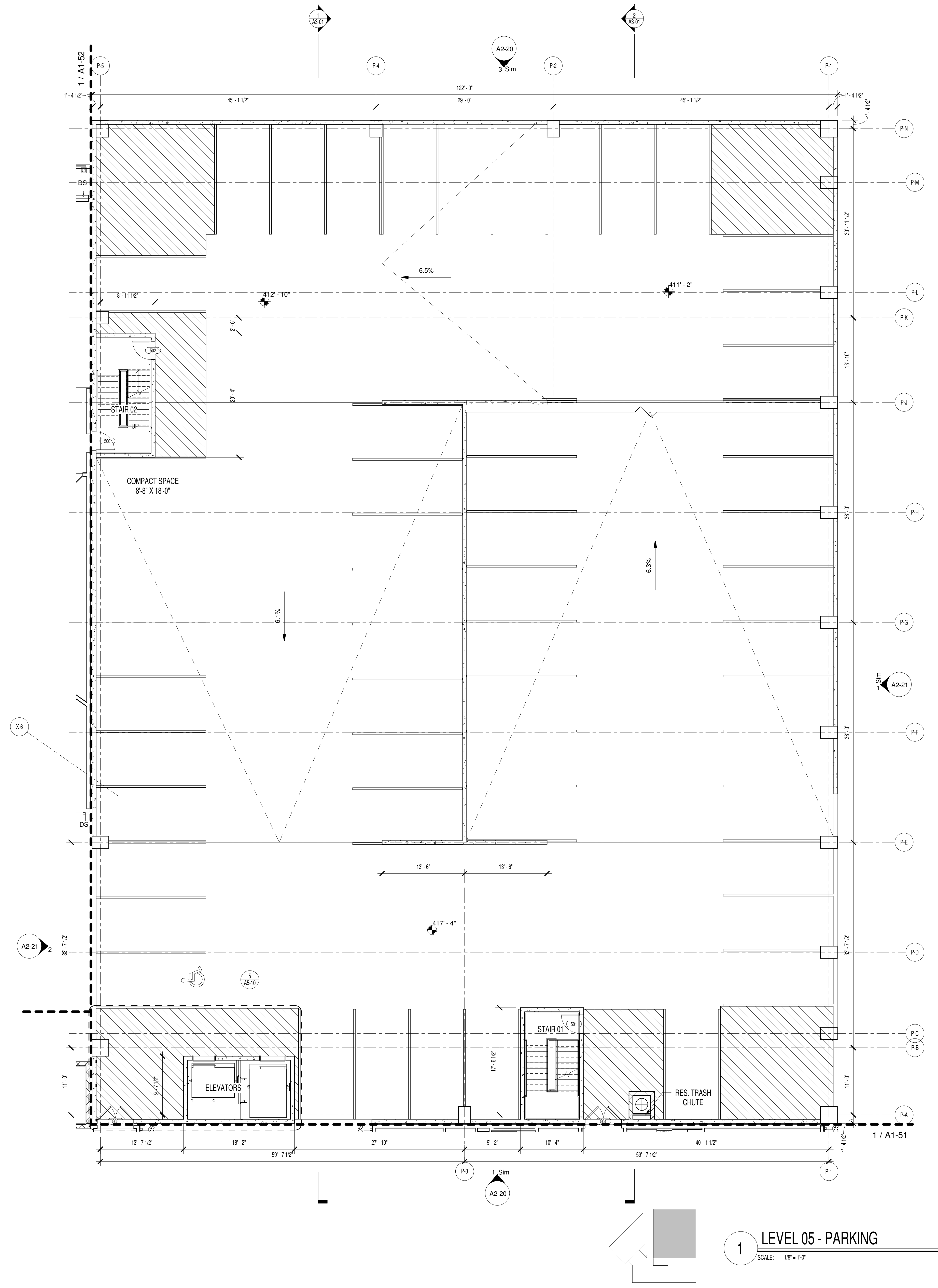
Sheet Title
LEVEL 05 - OVERALL - PARKING DECK

Sheet No.
A1-50

NOT ISSUED FOR CONSTRUCTION



1 LEVEL 05
SCALE: 3/32" = 1'-0"



1 LEVEL 05 - PARKING
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- TYPICAL FIRE RATINGS, U.N.O.:
 OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
 CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
 STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
 EXTERIOR BEARING WALLS: 1 HR
 EXTERIOR NON-BEARING WALLS: 3 HR
 INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
 INTERIOR NON-BEARING WALLS: 3 HR
 CORRIDOR WALLS: 1 HR (WALL TYPE 1G3 U.N.O.)
 UNIT DEMISING WALLS: 1 HR
 SHAFT WALLS: 2 HR
 FLOORCEILING & ROOFCEILING: 1 HR
 - SEE SHEET A6-12 FOR SHAFT DETAILS
 - ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
 - DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL
 - SEE SHEETS T6-94 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING
 - ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
 - TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
 - SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
 - REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS

DESIGNING ARCHITECT

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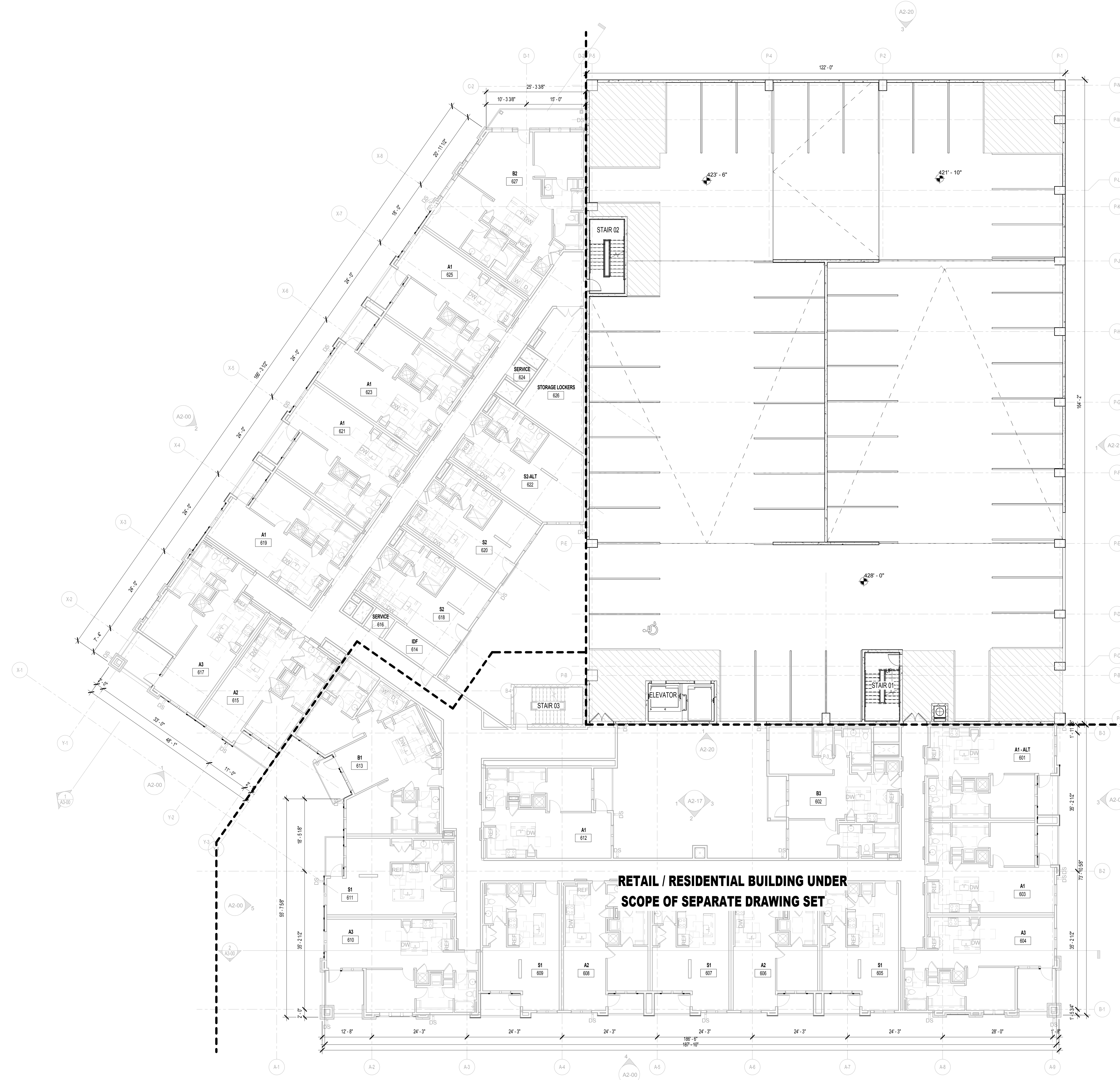
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BID SET	JUNE 17, 2019																																	
<i>Revisions</i>																																		
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LEVEL 05 - PARKING PLAN																																		
<i>Sheet No.</i>																																		
A1-53																																		
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1 LEVEL 06
SCALE: 3/32" = 1'-0"

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Revisions

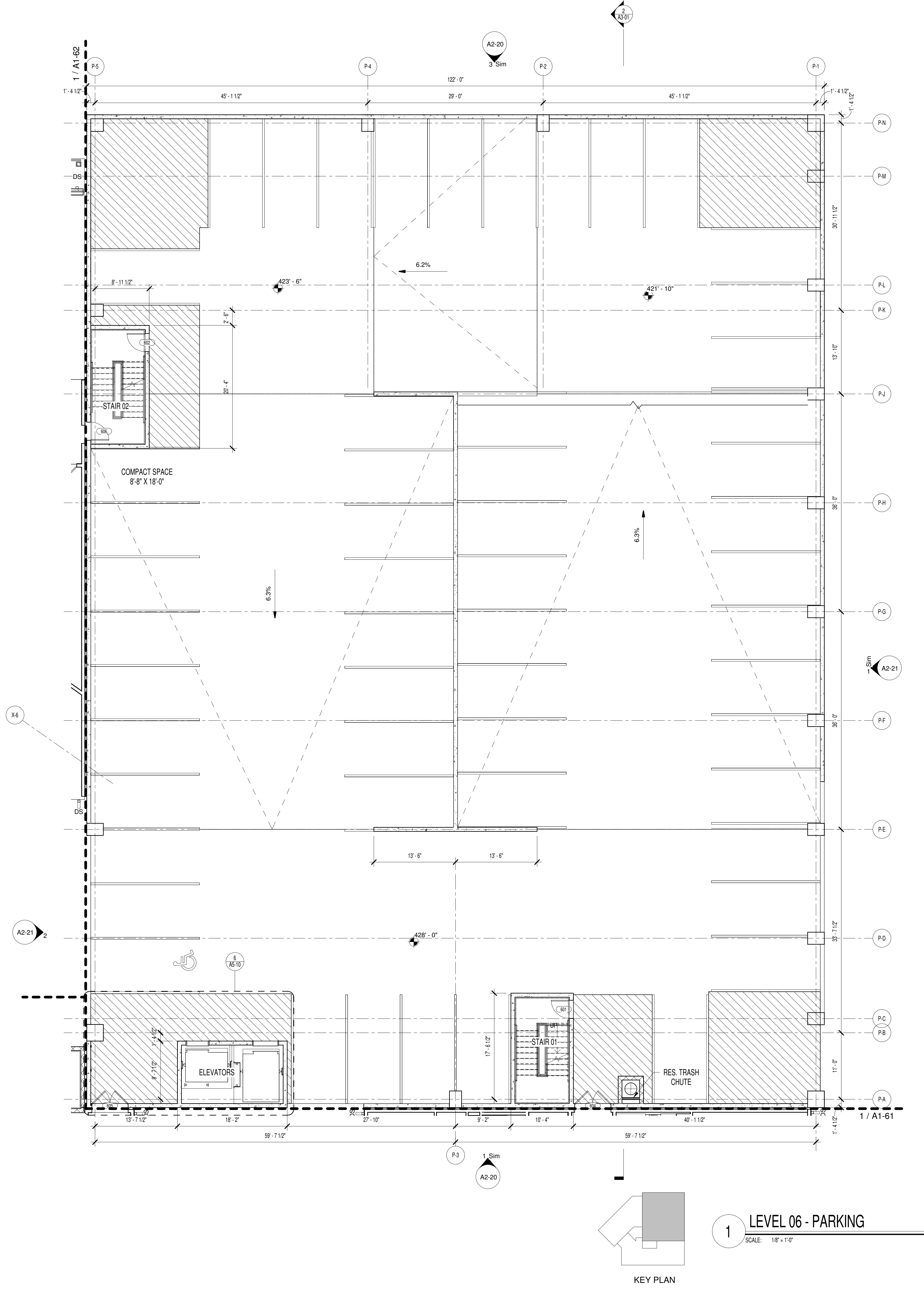
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Sheet Title
LEVEL 06 - OVERALL - PARKING DECK

Sheet No.
A1-60

NOT ISSUED FOR CONSTRUCTION

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GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
 OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
 CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
 STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
 EXTERIOR BEARING WALLS: 1 HR
 INTERIOR BEARING WALLS: 3 HR
 INTERIOR NON-BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
 INTERIOR NON-BEARING WALLS: X HR
 CORRIDOR WALLS: 1 HR (WALL TYPE 108 U.N.O.)
 UNIT DEMISING WALLS: 1 HR
 SHAFT WALLS: 2 HR
 FLOOR/CEILING & ROOF/CEILING: 1 HR
2. SEE SHEET A6-12 FOR SHAFT DETAILS
3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL
5. SEE SHEETS TO 04 FOR WALL TYPE CONSTRUCTION DETAILS, REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING
6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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Revisions

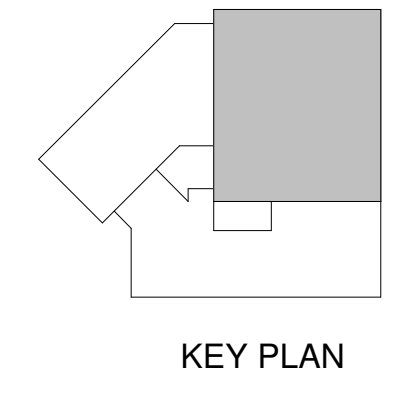
Date 09/31/2017 Job No. 1603094.000

Sheet Title
**LEVEL 06 - PARKING
PLAN**

Sheet No.
A1-63

NOT ISSUED FOR CONSTRUCTION

1 LEVEL 06 - PARKING
SCALE: 1/8" = 1'-0"



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Revisions

Date Job No.
06/31/2017 1603094-000

Sheet Title
**LEVEL 07 -
OVERALL -
PARKING DECK**

Sheet No.
A1-70

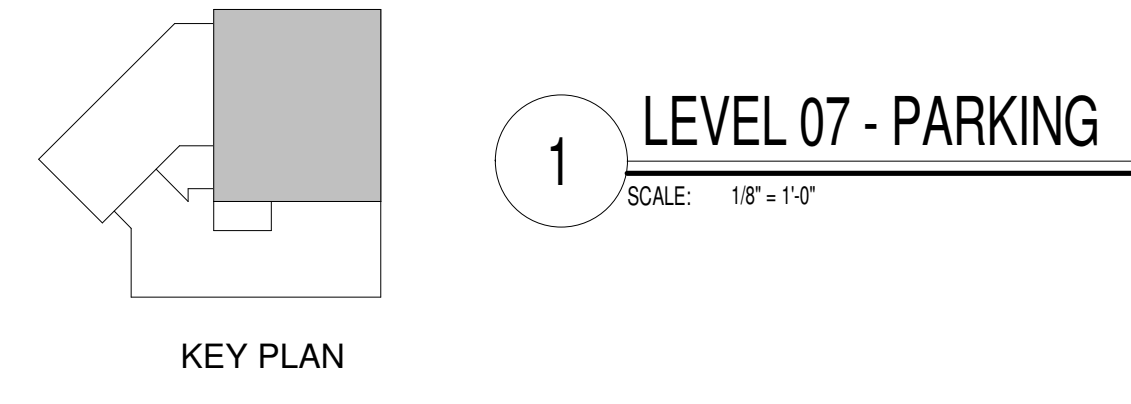
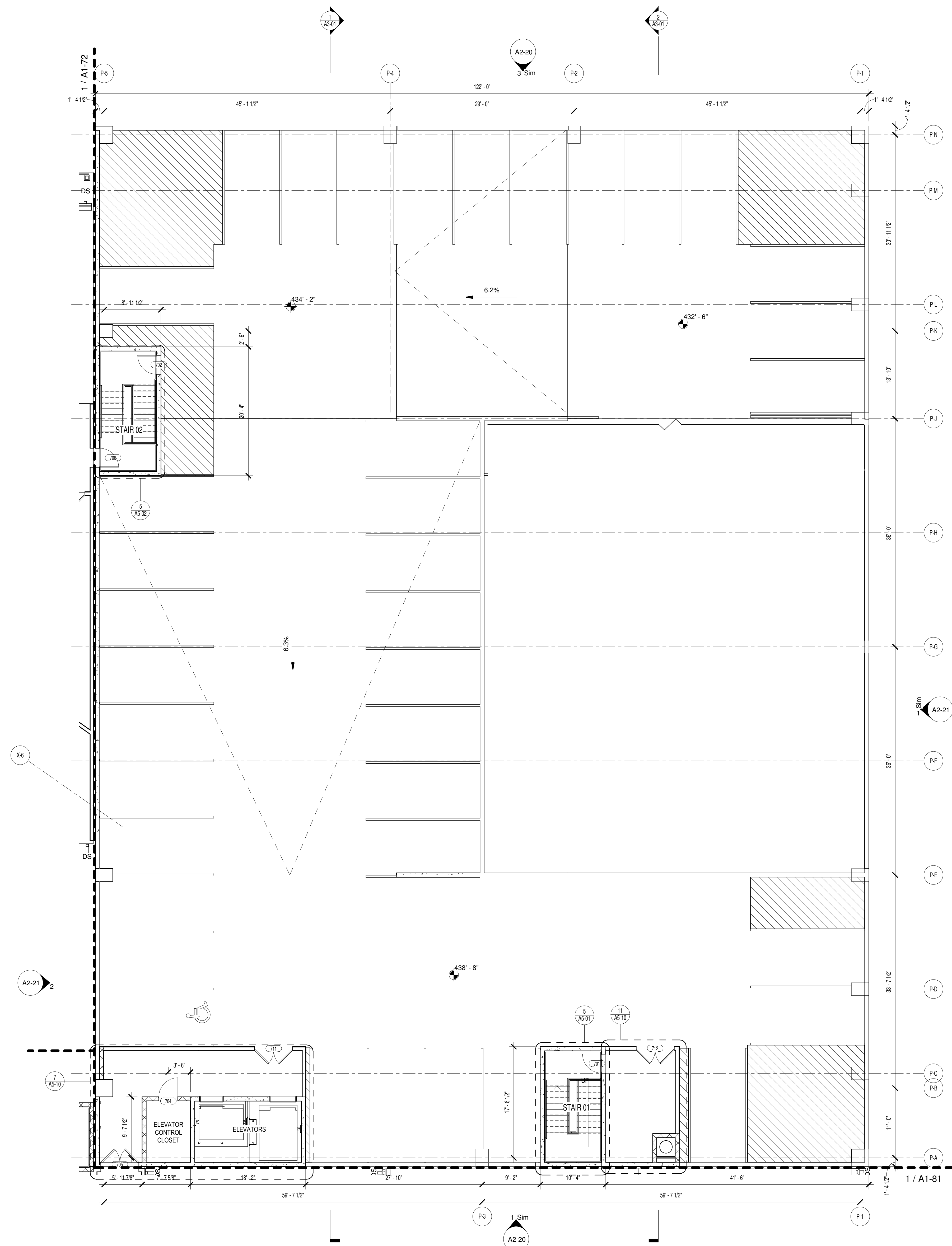
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**RETAIL / RESIDENTIAL BUILDING UNDER
SCOPE OF SEPARATE DRAWING SET**

1 LEVEL 07
SCALE 3/32" = 1'-0"

FILENAME: C:\Users\garcia\Documents\My Recent Projects\201716-03094-000-DT Walton Businesses\MFH1603094-000-DT Walton
Reference: DT WALTON Mixed Use Development
SHEET NAME: LEVEL 07 - OVERALL - PARKING DECK SHEET NUMBER: A1-70 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
PLOTTED: 6/17/2019 6:48:03 PM



1 LEVEL 07 - PARKING
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL: COLUMNS, GIRDBEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON-BEARING WALLS: 3 HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 144 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 106 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOORCEILING & ROOFCEILING: 1 HR
2. SEE SHEET A6-12 FOR SHAFT DETAILS
3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
5. SEE SHEETS T5-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
6. ALL DOORS TO BE LOCATED 4' OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.



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NO.	DATE	REVISION
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Date	09/31/2017	Job No.	1605094-000
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Sheet Title
LEVEL 07 - PARKING PLAN

Sheet No.
A1-73

NOT ISSUED FOR CONSTRUCTION

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 SHEET NAME: EXTERIOR ELEVATIONS - PARKING DECK SHEET NUMBER: A2-20 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 6:38:12 PM

PARKING DECK NATURAL VENTILATION CALCULATIONS						
LEVEL	TOTAL AREA	OPEN AREA	% OPEN	TOTAL PERIMETER	OPEN PERIMETER	% OPEN
01	7,600 SF	1,837 SF	24%	572'-4"	236'-3"	41%
02	6,186 SF	1,311 SF	21%	572'-4"	256'-9"	45%
03	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
04	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
05	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
06	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
07	N/A	N/A	N/A	N/A	N/A	N/A

DESIGNING ARCHITECT

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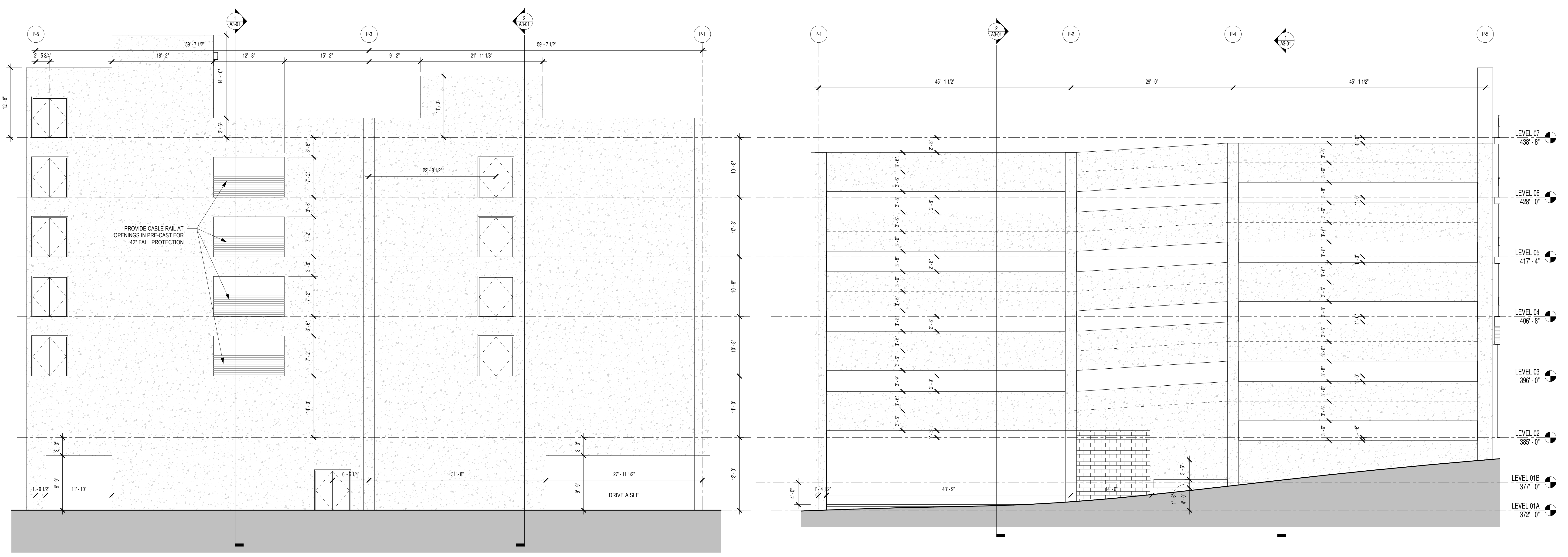
Revisions

Date: 06/30/2017 Job No.: 1603094.000

Sheet Title: **EXTERIOR ELEVATIONS - PARKING DECK**

Sheet No.: **A2-20**

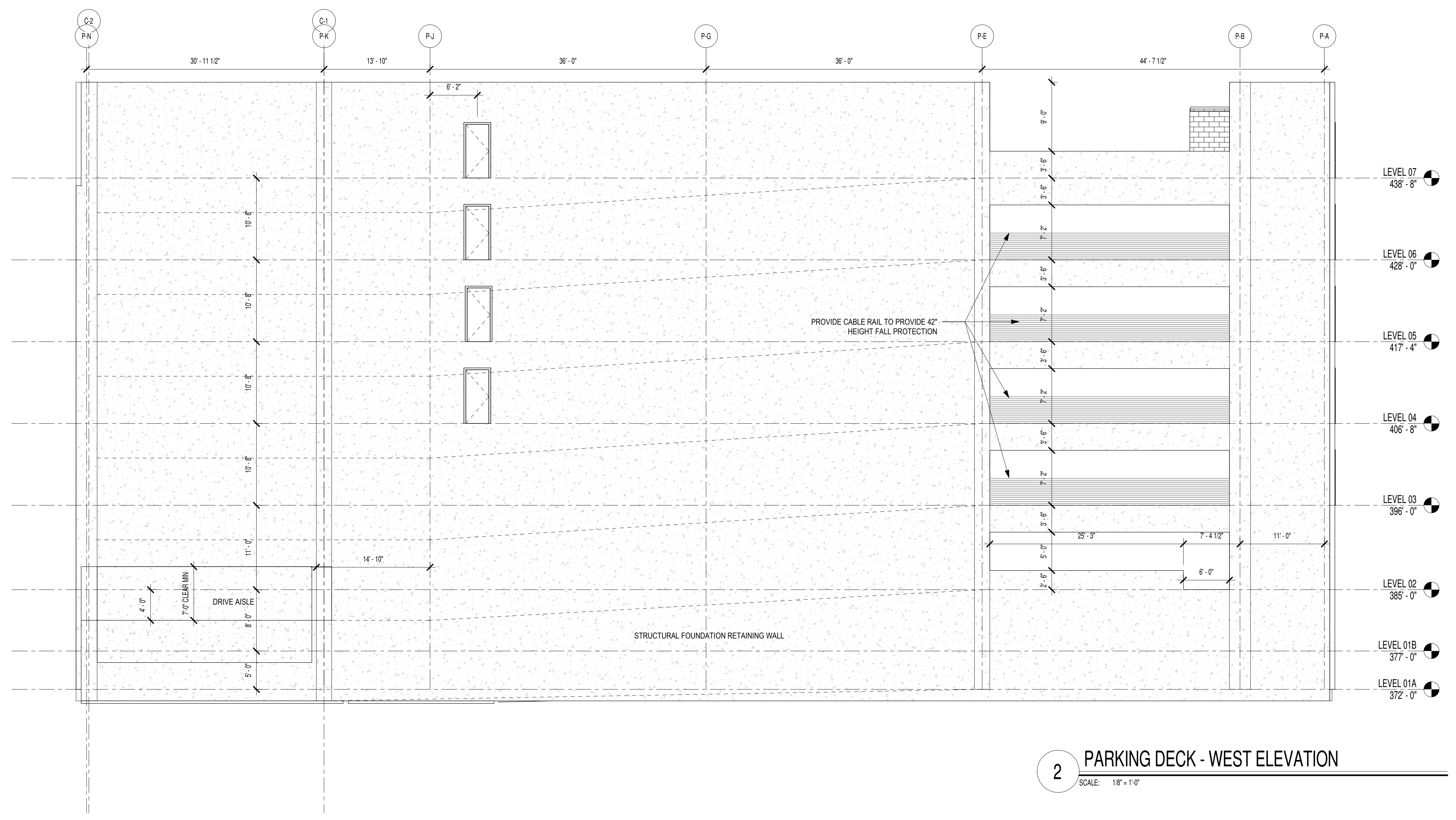
NOT ISSUED FOR CONSTRUCTION



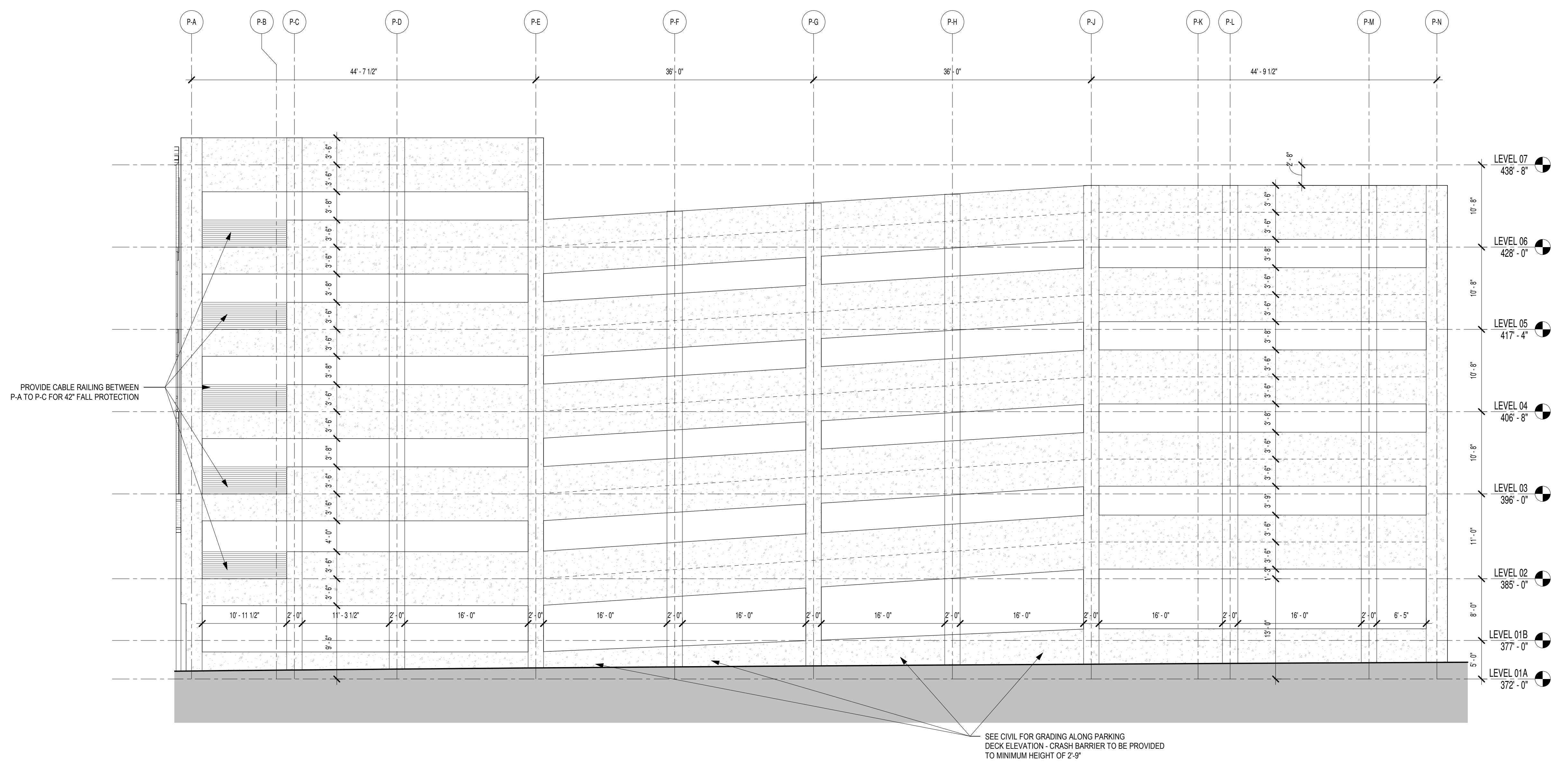
1 PARKING DECK - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

3 PARKING DECK - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

FILENAME: C:\Users\jgallardo\Documents\My Recent Projects\201712\03\04\000 DT Walton Restorations\MFR165094000 DT Walton Restorations\MFR165094000 DT Walton Restorations\DT Walton Restorations\DT Walton Restorations - PARKING DECK - WEST ELEVATIONS - PARKING DECK SHEET NUMBER A2-21 - PROJECT NAME DT WALTON MIXED USE DEVELOPMENT
 SHEET NAME: EXTERIOR ELEVATIONS - PARKING DECK SHEET NUMBER A2-21 - PROJECT NAME DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 2:38:16 PM



2 PARKING DECK - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



1 PARKING DECK - EAST ELEVATION
 SCALE: 1/8" = 1'-0"

DESIGNING ARCHITECT
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Print Record
 BID SET JUNE 17, 2019

Revisions

 Date Job No.
 06/31/2017 1603094.000
Sheet Title
**EXTERIOR
 ELEVATIONS -
 PARKING DECK**
Sheet No.
A2-21
 NOT ISSUED FOR CONSTRUCTION

FILENAME: C:\Users\cmcc\Documents\My Recent Projects\2017\12.03.04.000_DT Walton Residential_MFH1150304000_DT Walton Residential_MFH1150304000_P11\A2-22.ppt
 SHEET NAME: PARKING DECK NORTH ELEVATION ALTERNATE SHEET NUMBER: A2-22 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 7/12/2019 11:02:22 AM



BIDDING NOTES FOR ALTERNATE:

- CONTRACTOR TO PROVIDE ALTERNATE TO BASE BID TO INCORPORATE DESIGN SELECTED.
- MOCK UP PANEL FOR FINAL FINISH SELECTION AND OWNER SIGN OFF TO BE PROVIDED PRIOR TO FABRICATION OF PRE-CAST PARKING DECK
- BRICK VENEER SHOWN IS INTENDED TO MATCH THE ADJACENT MIXED-USE BUILDING WHICH IS CURRENTLY SPECIFIED AS CHEROKEE - WINDSOR SIM. IF BRICK SPECIFIED CANNOT BE INCORPORATED INTO PRE-CAST CONTRACTOR AND PRECAST DESIGNER TO CLARIFY BRICK MANUFACTURER OPTIONS THAT ARE AVAILABLE FOR FINAL SELECTION BY ARCHITECT TO ENSURE DESIGN AESTHETIC IS MAINTAINED BETWEEN PARKING DECK AND MIXED-USE BUILDING
- DESIGN ALTERNATE FOR NORTH ELEVATION DOES NOT TAKE INTO CONSIDERATION IMPACTS TO NATURAL VENTILATION OF THE PARKING DECK. CONTRACTOR TO HOLD A CONTINGENCY FOR REPLACING PRECAST SPANDREL WITH CABLE RAIL ALONG EAST ELEVATION, PENDING REVIEW OF SCREEN MATERIAL USED.
- FACE TREATMENT SHOWN TO BE APPLIED BETWEEN COLUMN LINES P-1 & P-4 ALONG NORTH ELEVATION. TO BE INCORPORATED INTO CONSTRUCTION DOCUMENTS PENDING APPROVAL OF ALTERNATE PRICING
- BASIS OF DESIGN FOR "FAUX WINDOW" PANELS
 - SOUTHERN ALUMINUM FRAMING ANODIZED TUBES IN DARK BRONZE TO MATCH WINDOWS OF MIXED USE BUILDING
- INFILL SCREEN PANELS TO BE COORDINATED WITH "FAUX WINDOW FRAMES". CONTRACTOR TO CLARIFY SCREEN MATERIAL INCLUDED IN BID PRICING FOR FINAL SELECTION AND APPROVAL BY ARCHITECT

1 PARKING DECK - NORTH ELEVATION ALTERNATE
SCALE: 3/16" = 1'-0"

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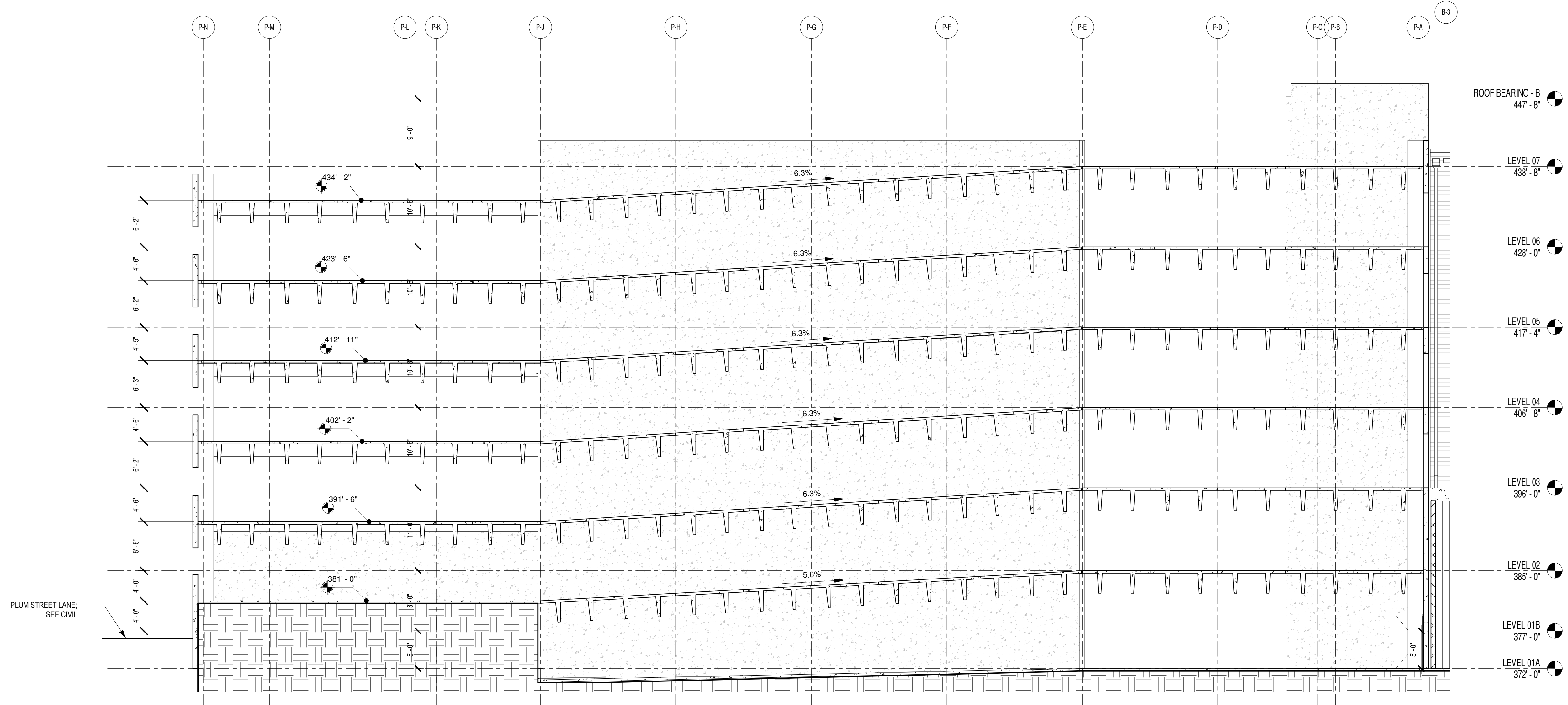
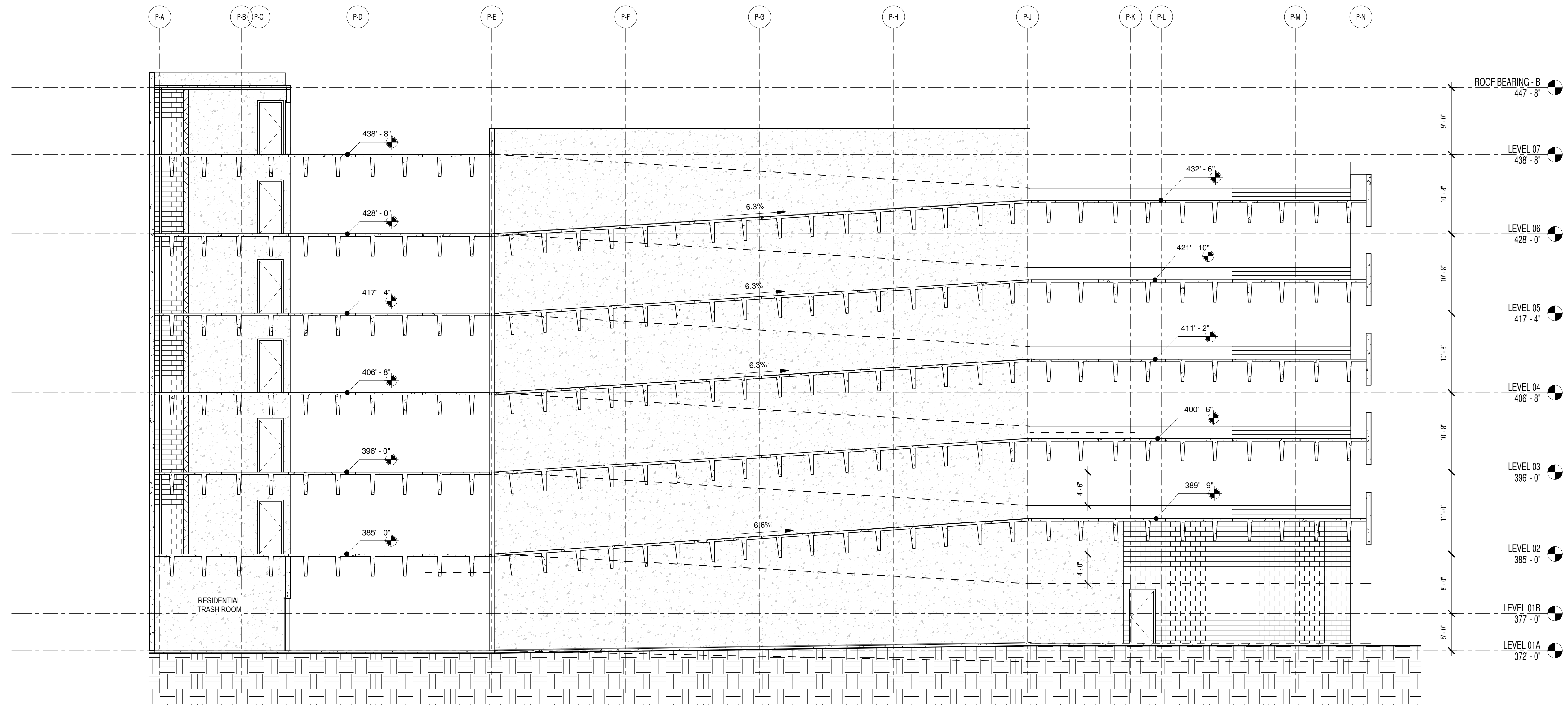
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Print Record		
Date	Job No.	
09/31/2017	1603094-000	
Revisions		
Date	Job No.	Description

Date: 09/31/2017 Job No.: 1603094-000
 Sheet Title: **PARKING DECK NORTH ELEVATION ALTERNATE**
 Sheet No.: **A2-22**
 NOT ISSUED FOR CONSTRUCTION

FILENAME: C:\Users\operat\Documents\My Recent Projects\201716.03094.000 - DT Walton Restorations\1611503094000 - DT Walton Restorations\1611503094.dwg
 SHEET NAME: BUILDING SECTIONS - PARKING DECK SHEET NUMBER: A3-01 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 PLOTTED: 6/17/2019 6:38:20 PM



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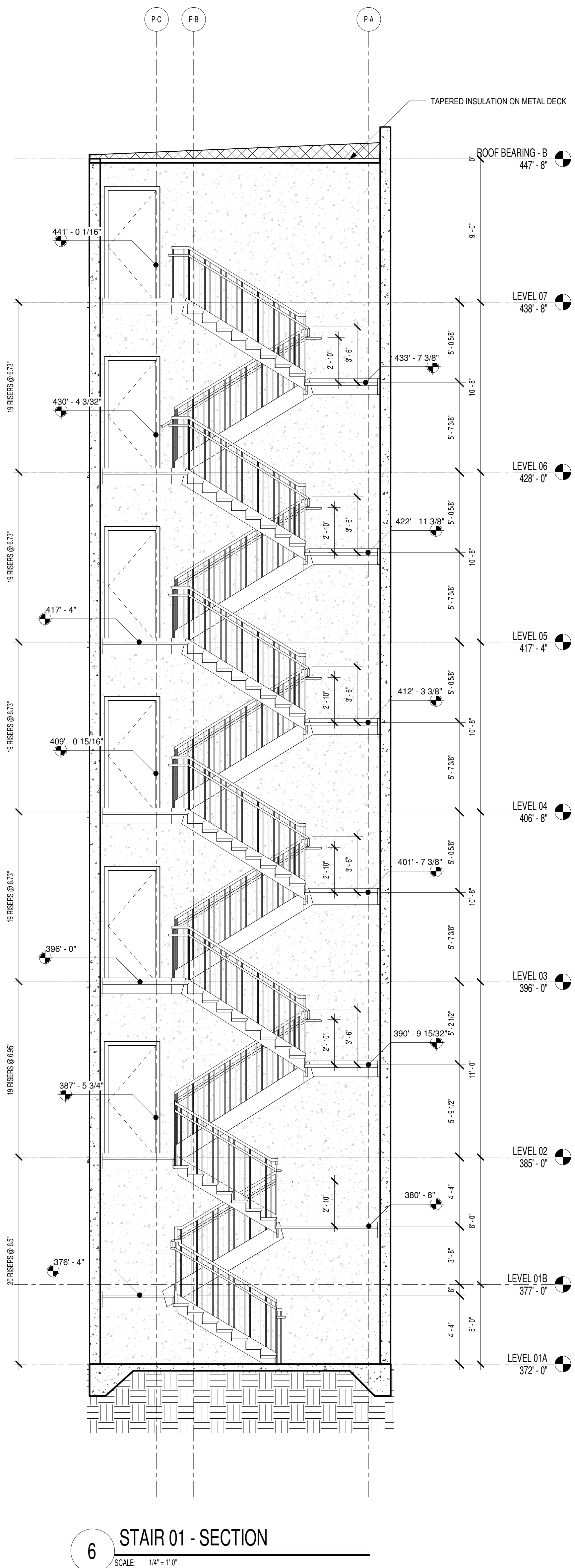
Revisions

Date	Job No.
09/31/2017	1603094.000

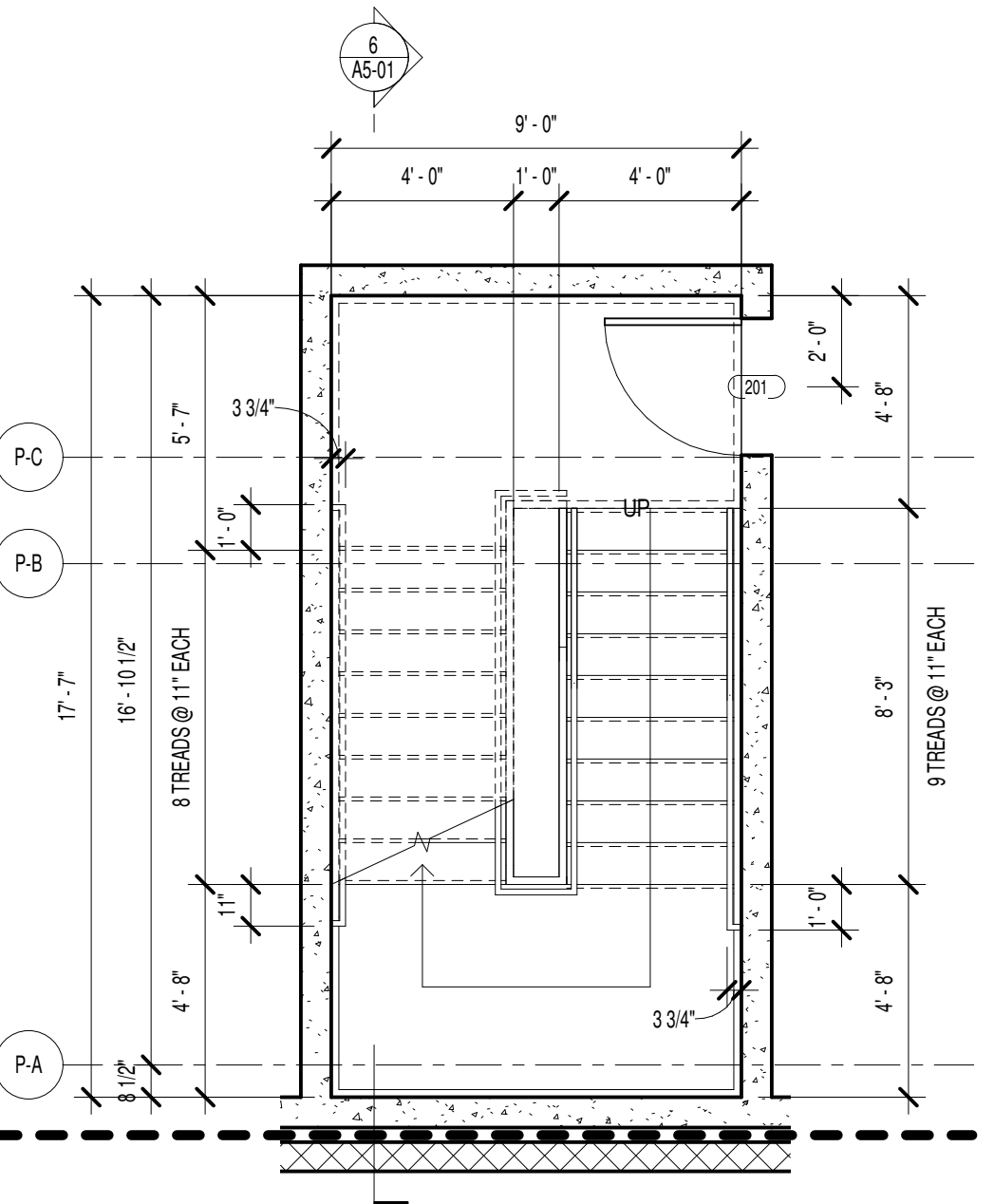
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**BUILDING
SECTIONS -
PARKING DECK**

Sheet No.
A3-01

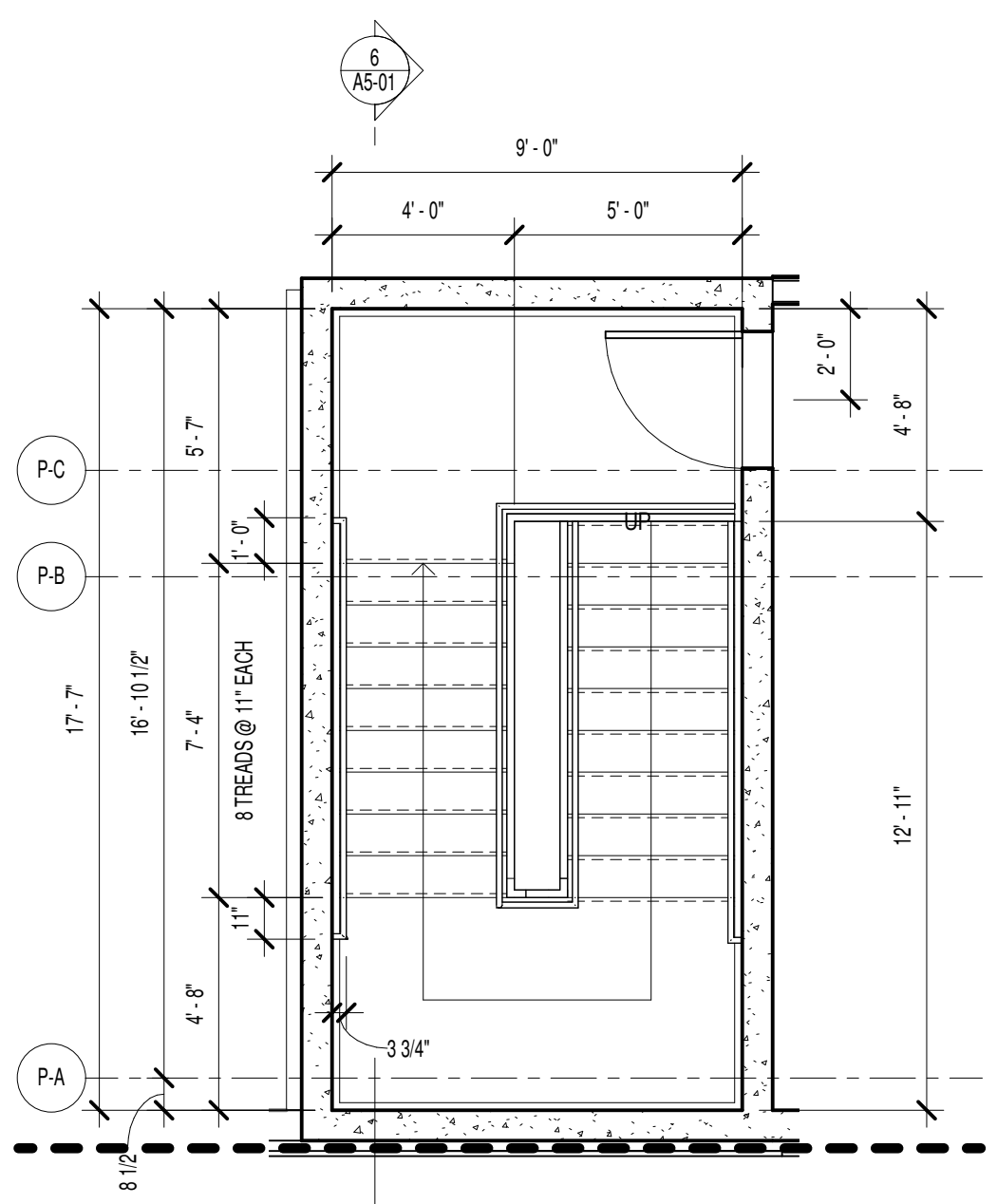
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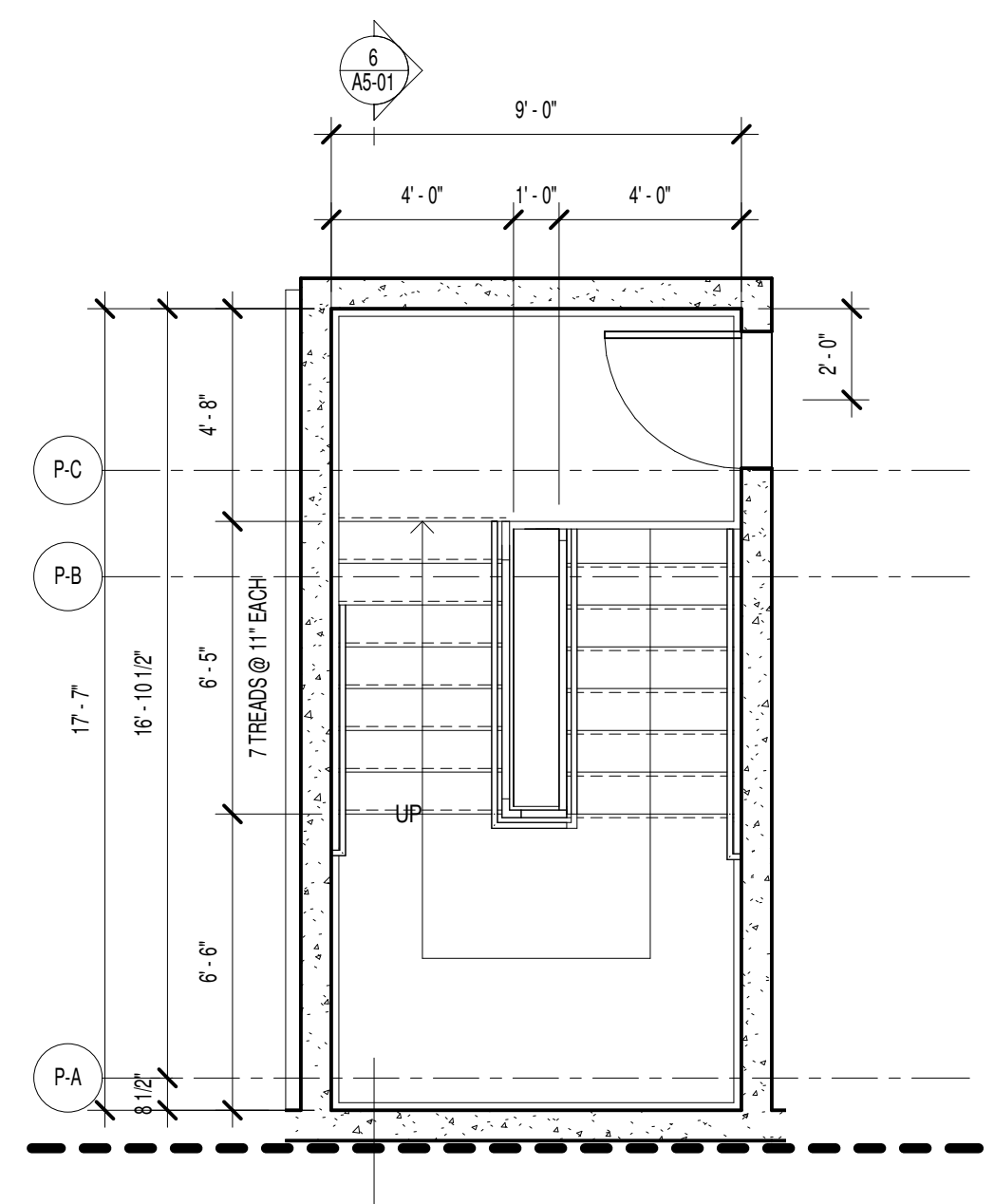
6 STAIR 01 - SECTION
SCALE: 1/4" = 1'-0"



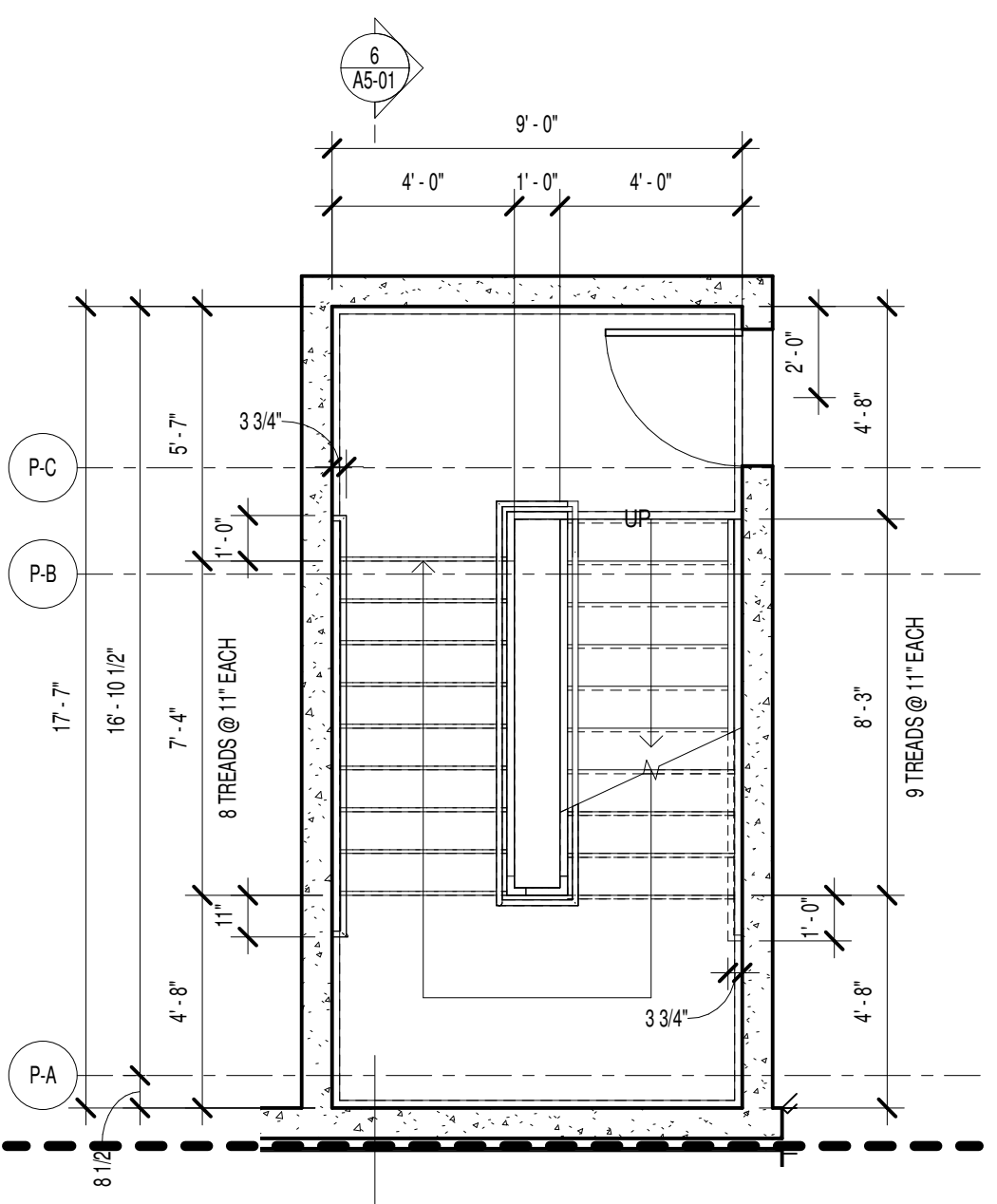
3 STAIR 01 - LEVEL 02
SCALE: 1/4" = 1'-0"



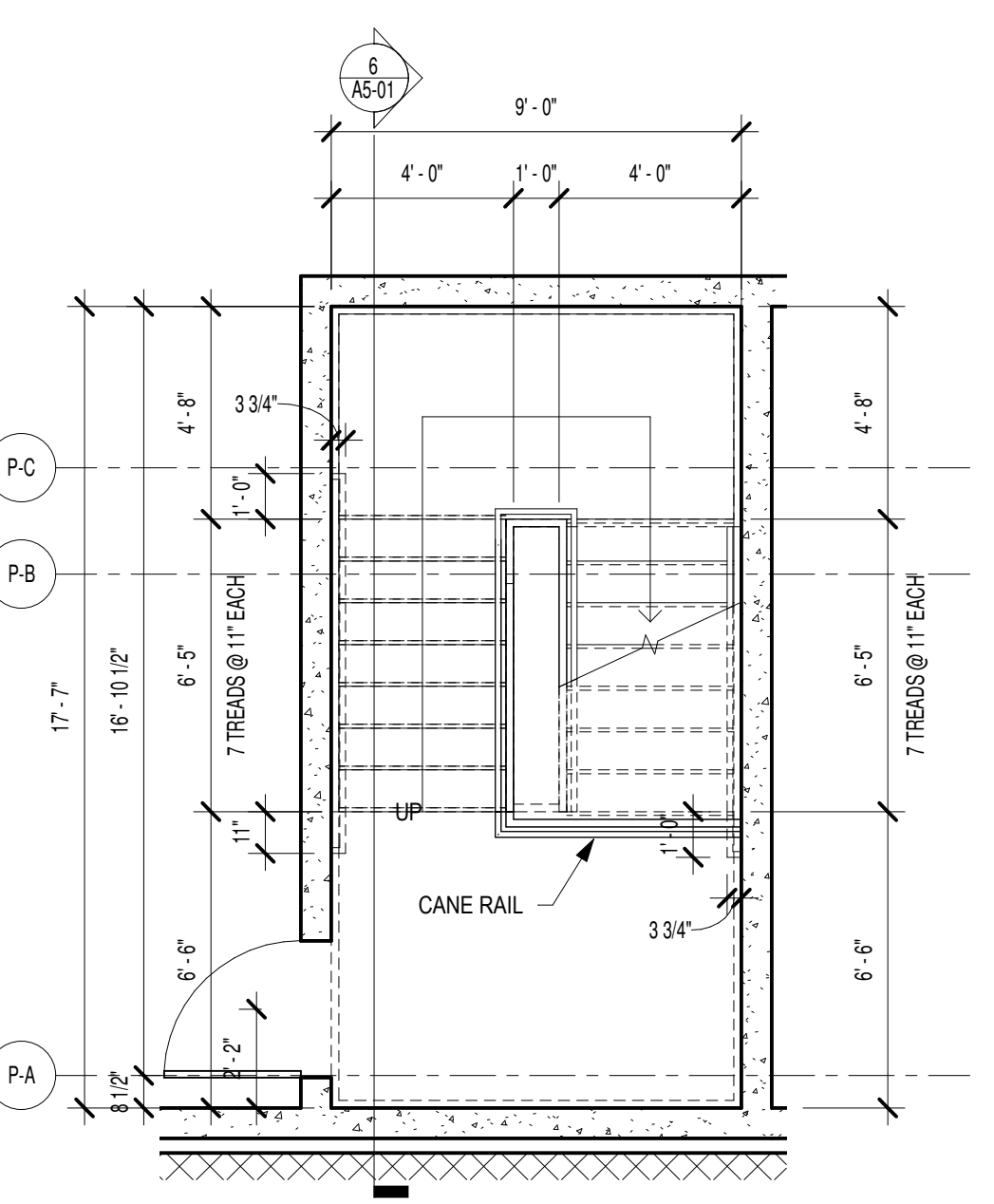
5 STAIR 01 - LEVEL 07
SCALE: 1/4" = 1'-0"



2 STAIR 01 - LEVEL 01B
SCALE: 1/4" = 1'-0"



4 STAIR 01 - LEVELS 03 - 06
SCALE: 1/4" = 1'-0"



1 STAIR 01 - LEVEL 01A
SCALE: 1/4" = 1'-0"

Print Record

BID SET JUNE 17, 2019

Revisions

Date	Job No.
09/31/2017	1603094.000

Sheet Title

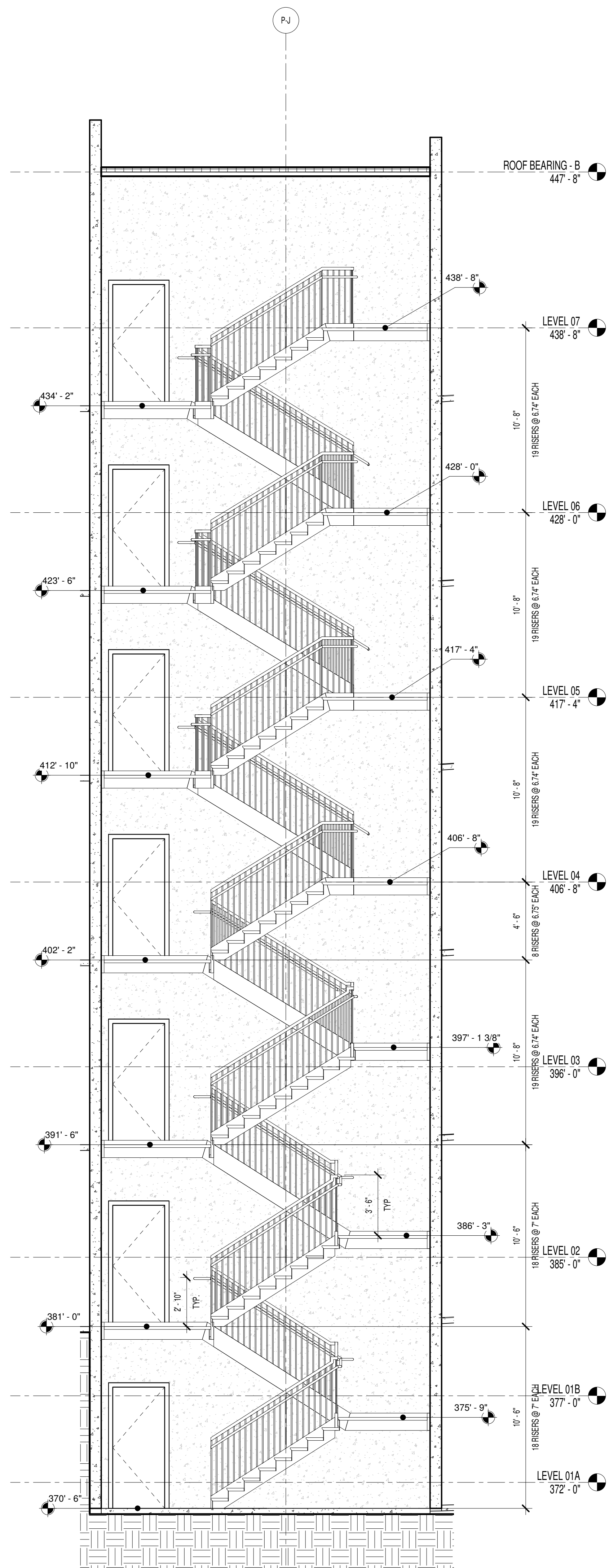
STAIR 02

Sheet No.

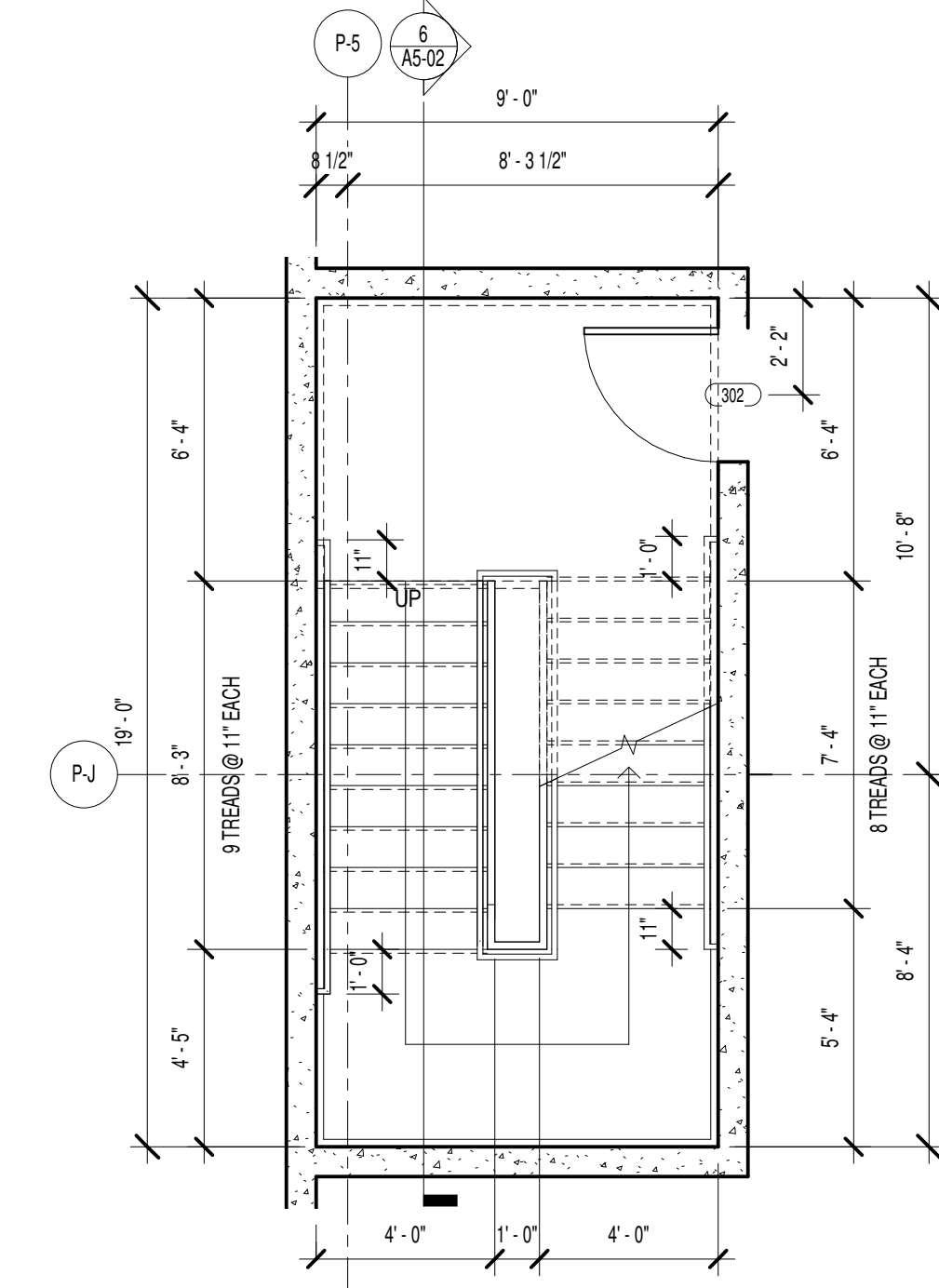
A5-02

NOT ISSUED FOR CONSTRUCTION

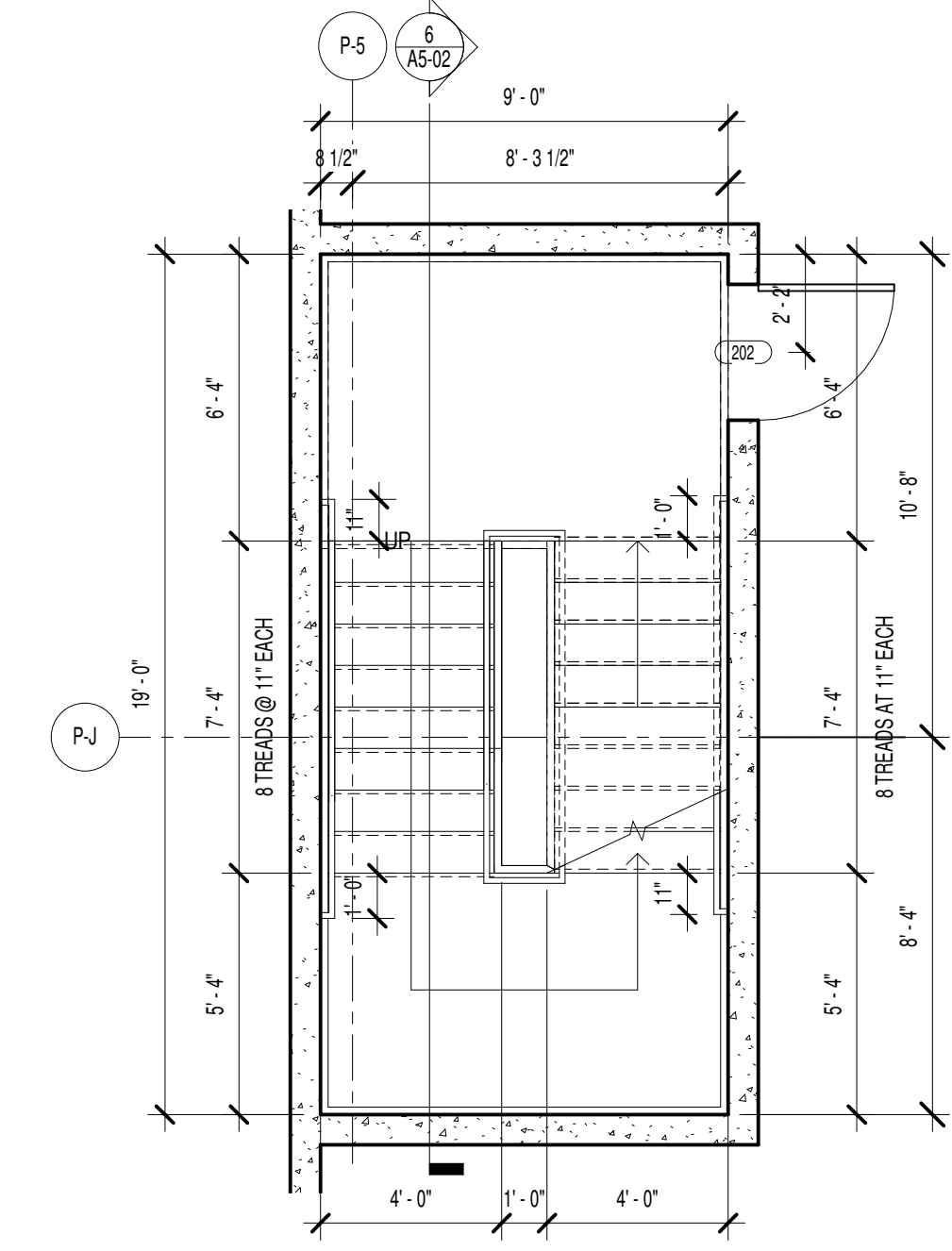
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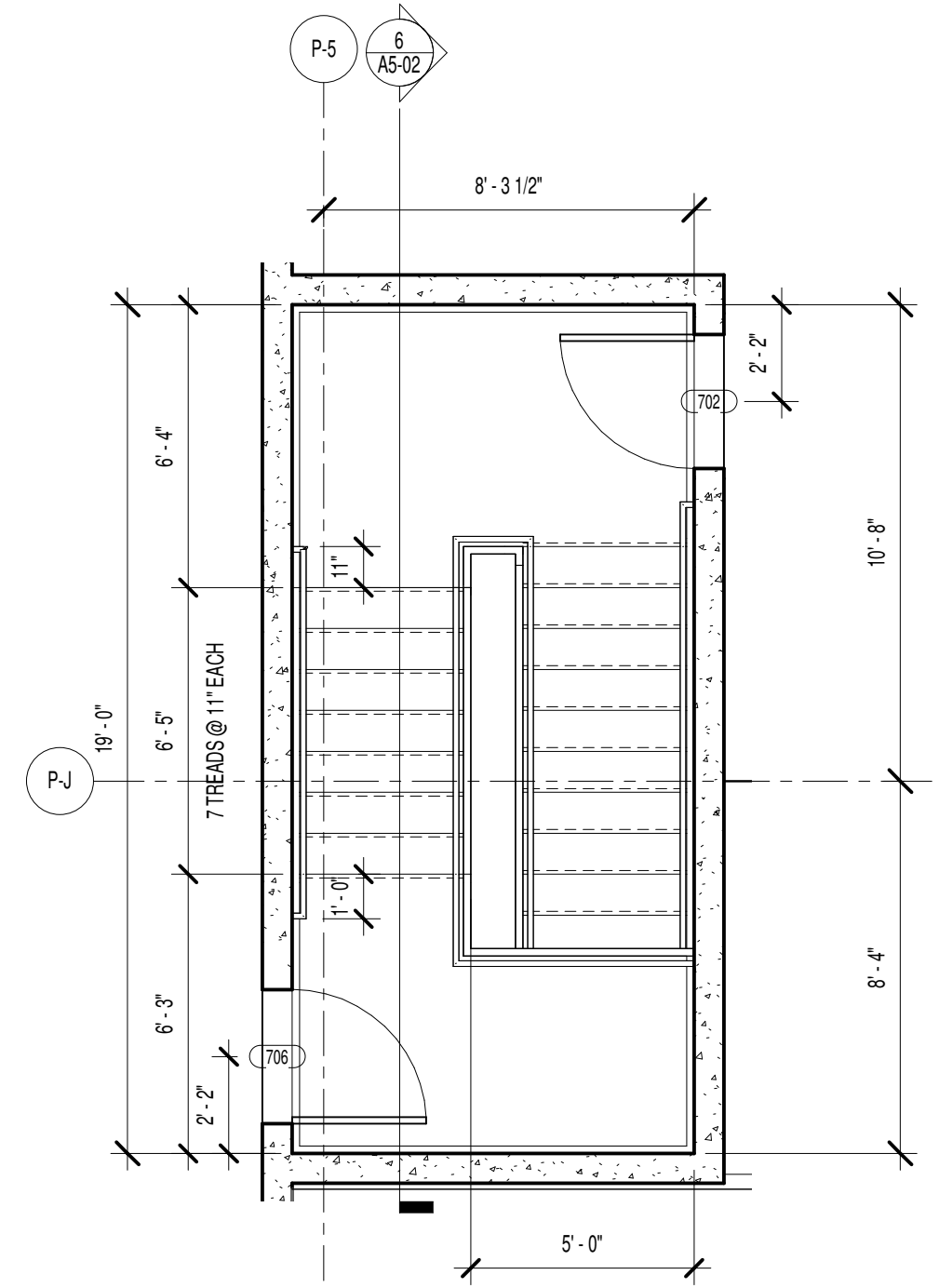
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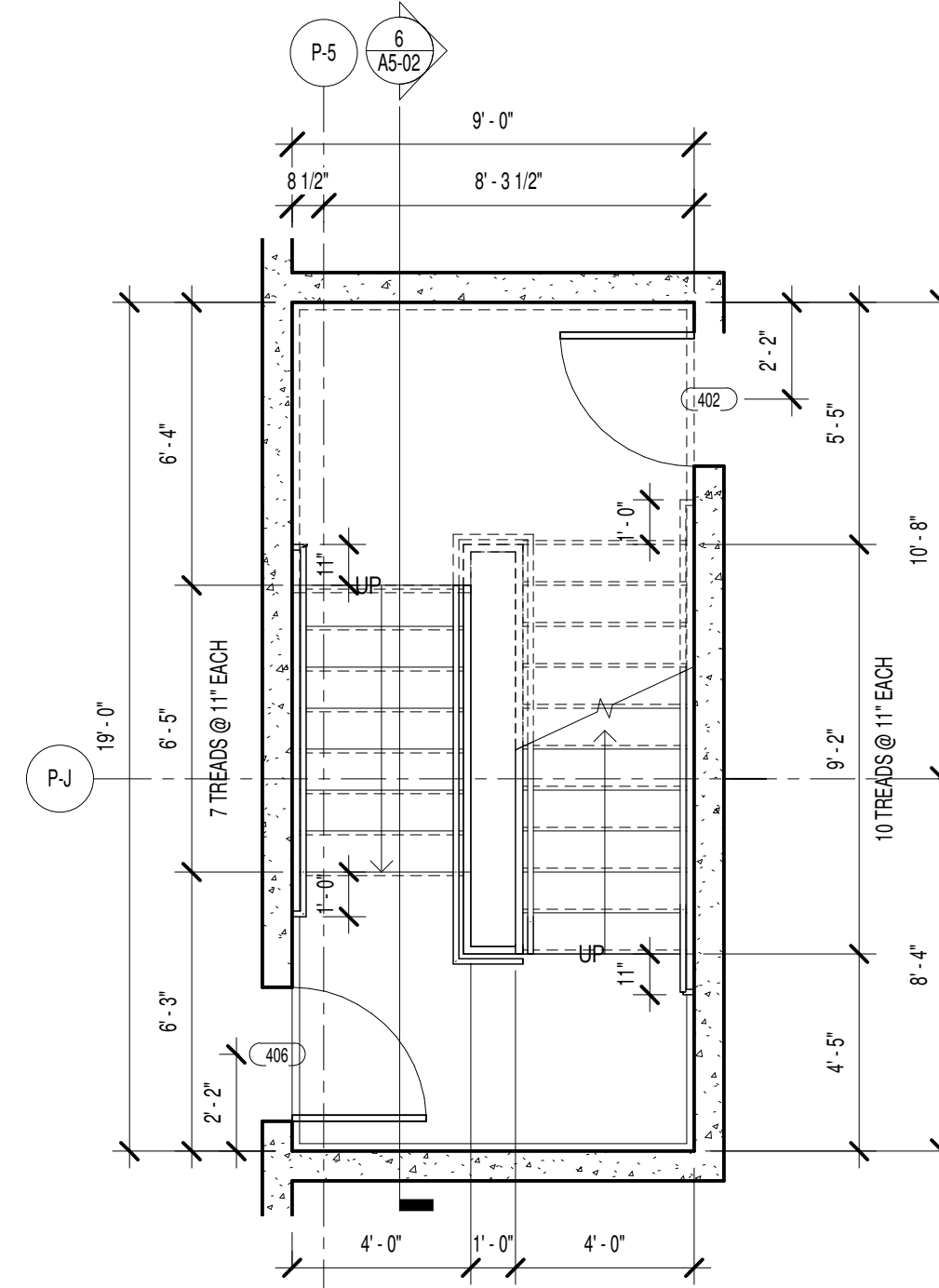
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SCALE: 1/4" = 1'-0"



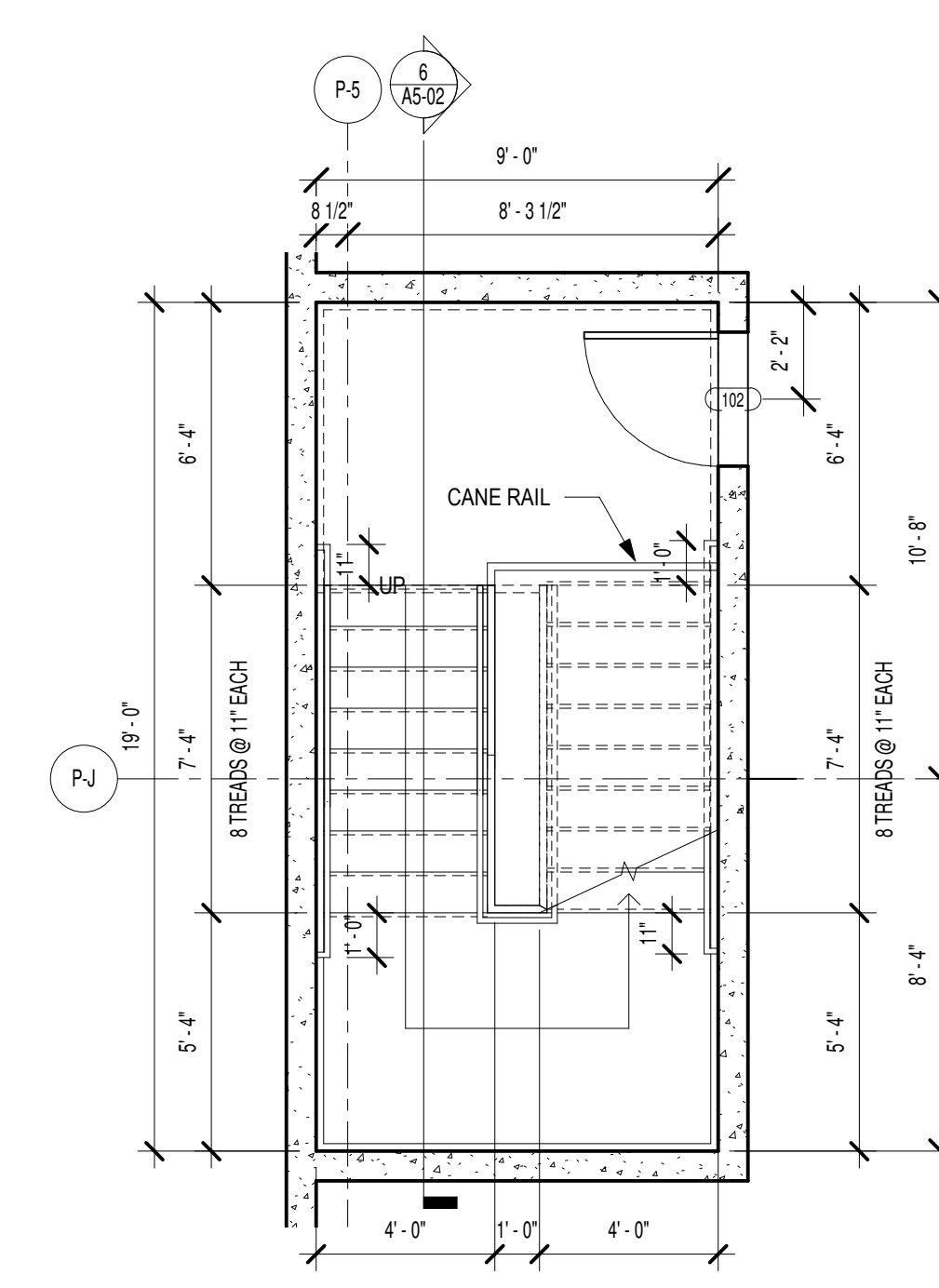
2 STAIR 02 - LEVEL 02
SCALE: 1/4" = 1'-0"



5 STAIR 02 - LEVEL 07
SCALE: 1/4" = 1'-0"

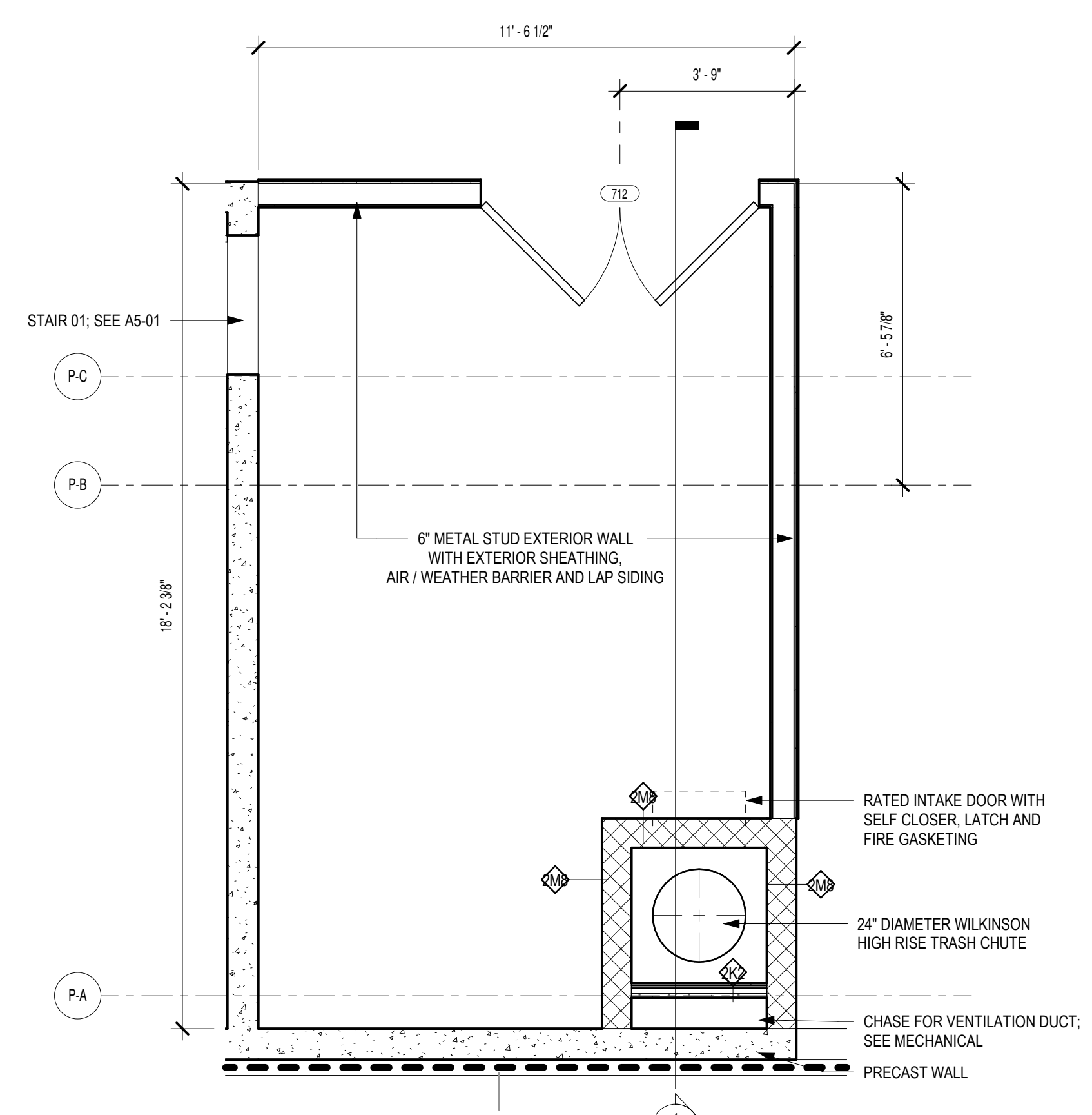


4 STAIR 02 - LEVELS 04-06
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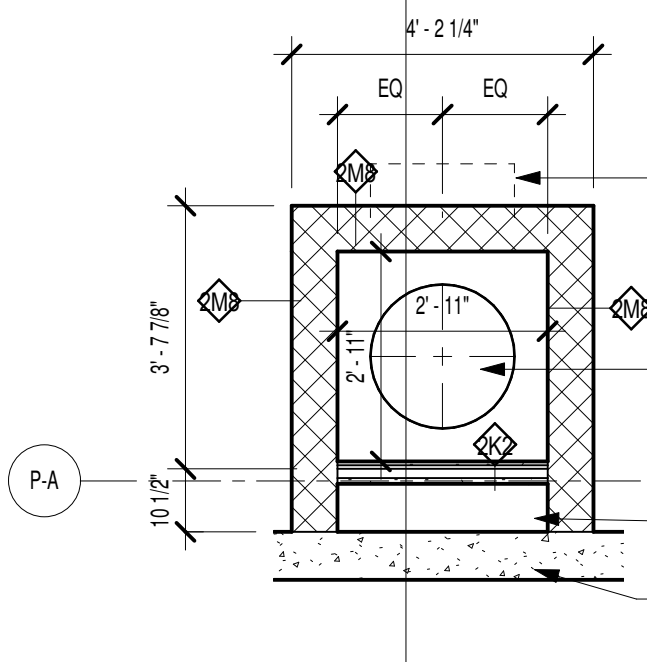


1 STAIR 02 - LEVEL 01A
SCALE: 1/4" = 1'-0"

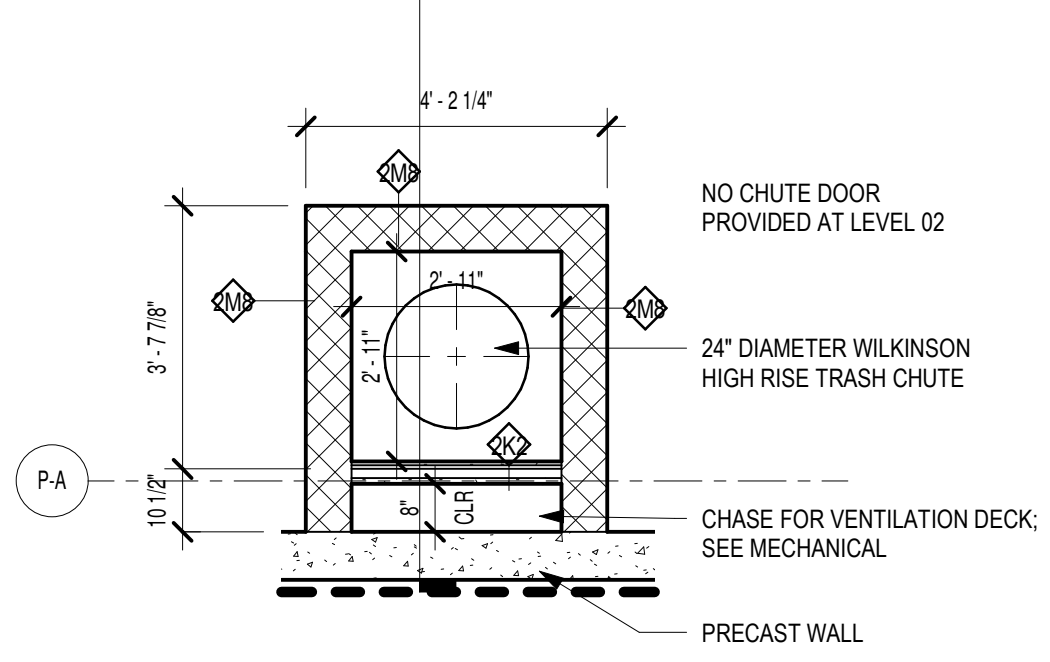
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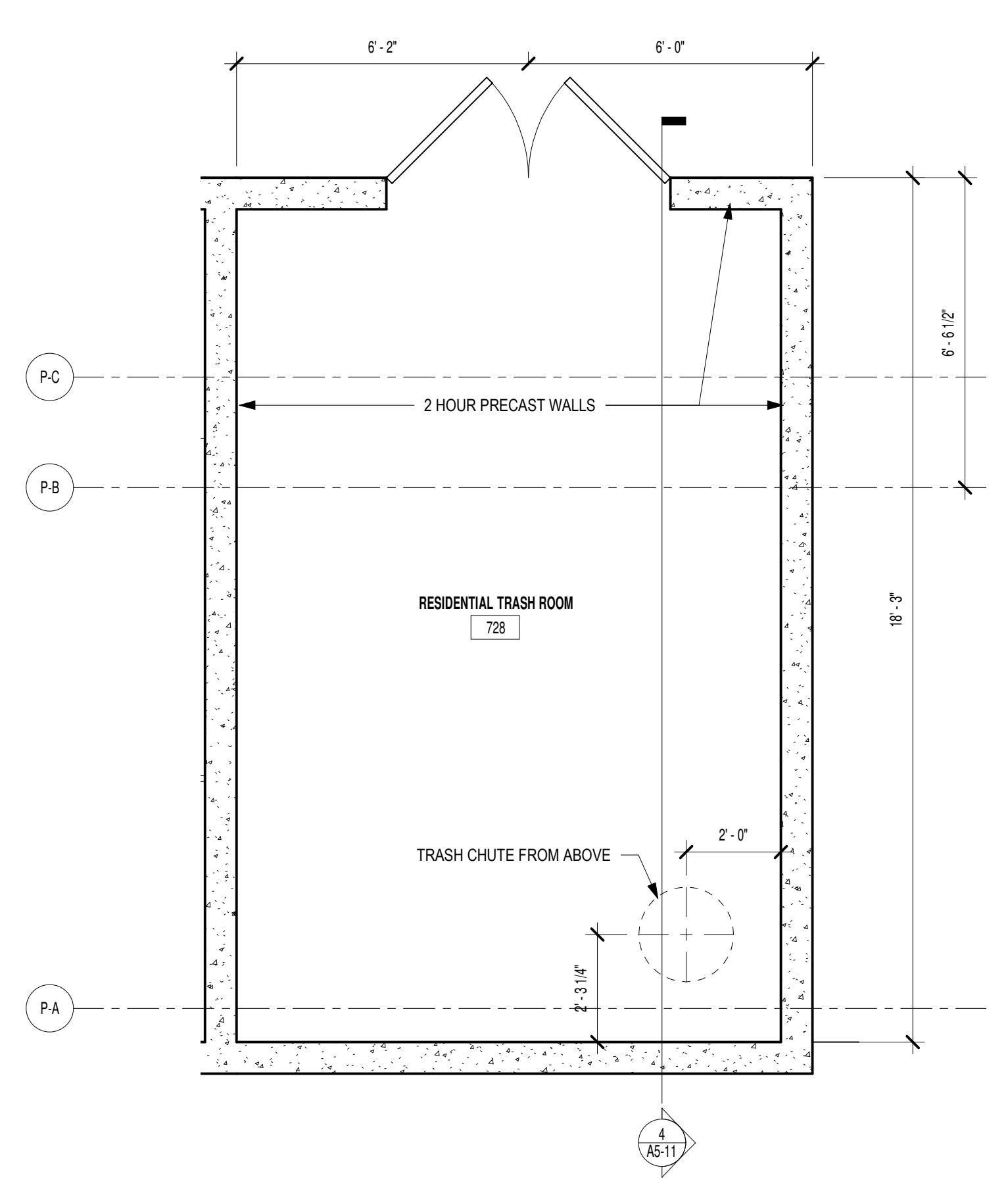
11 TRASH CHUTE - LEVEL 07
SCALE: 3/8" = 1'-0"



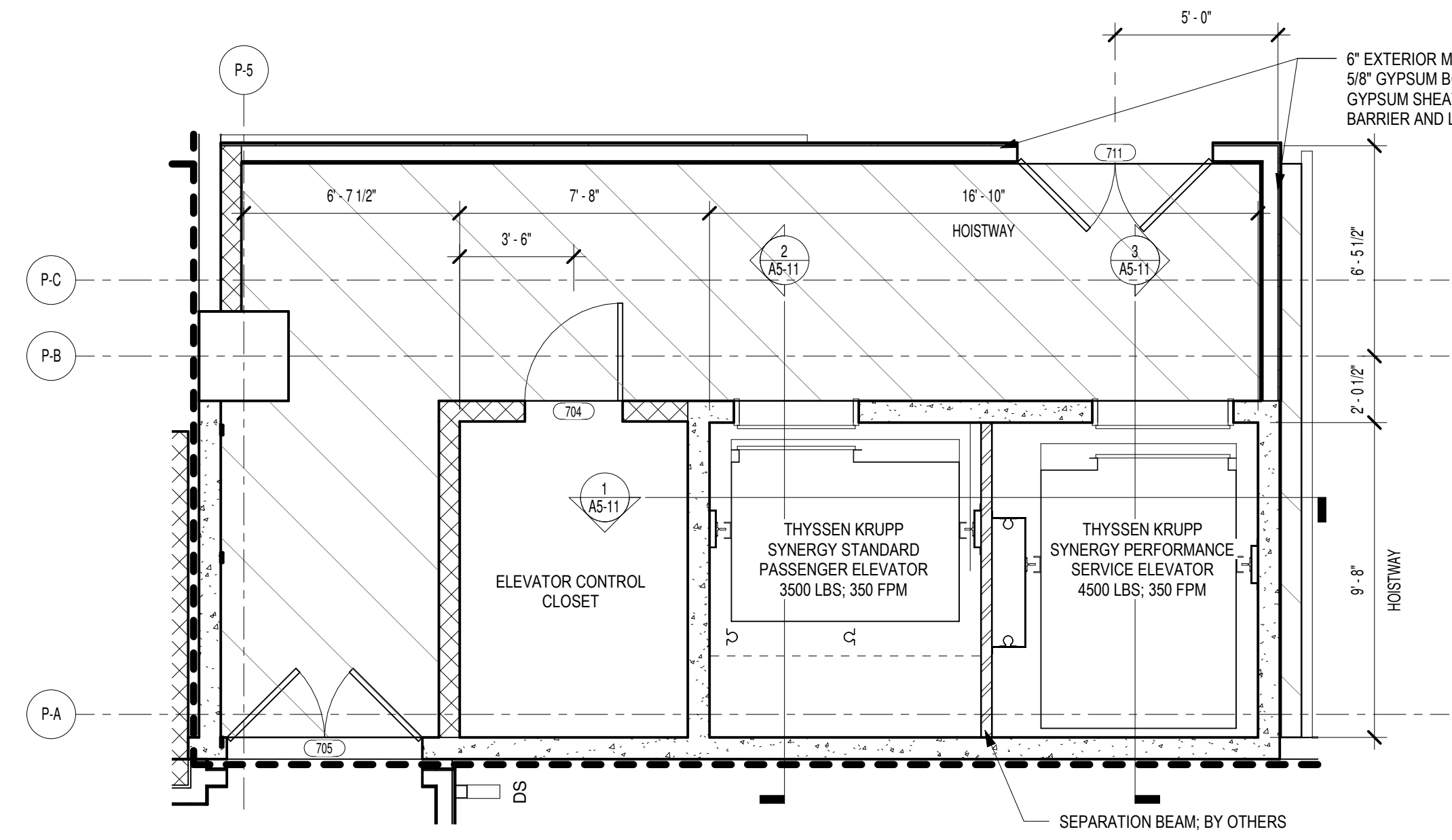
10 TRASH CHUTE - LEVEL 03 - LEVEL 06
SCALE: 3/8" = 1'-0"



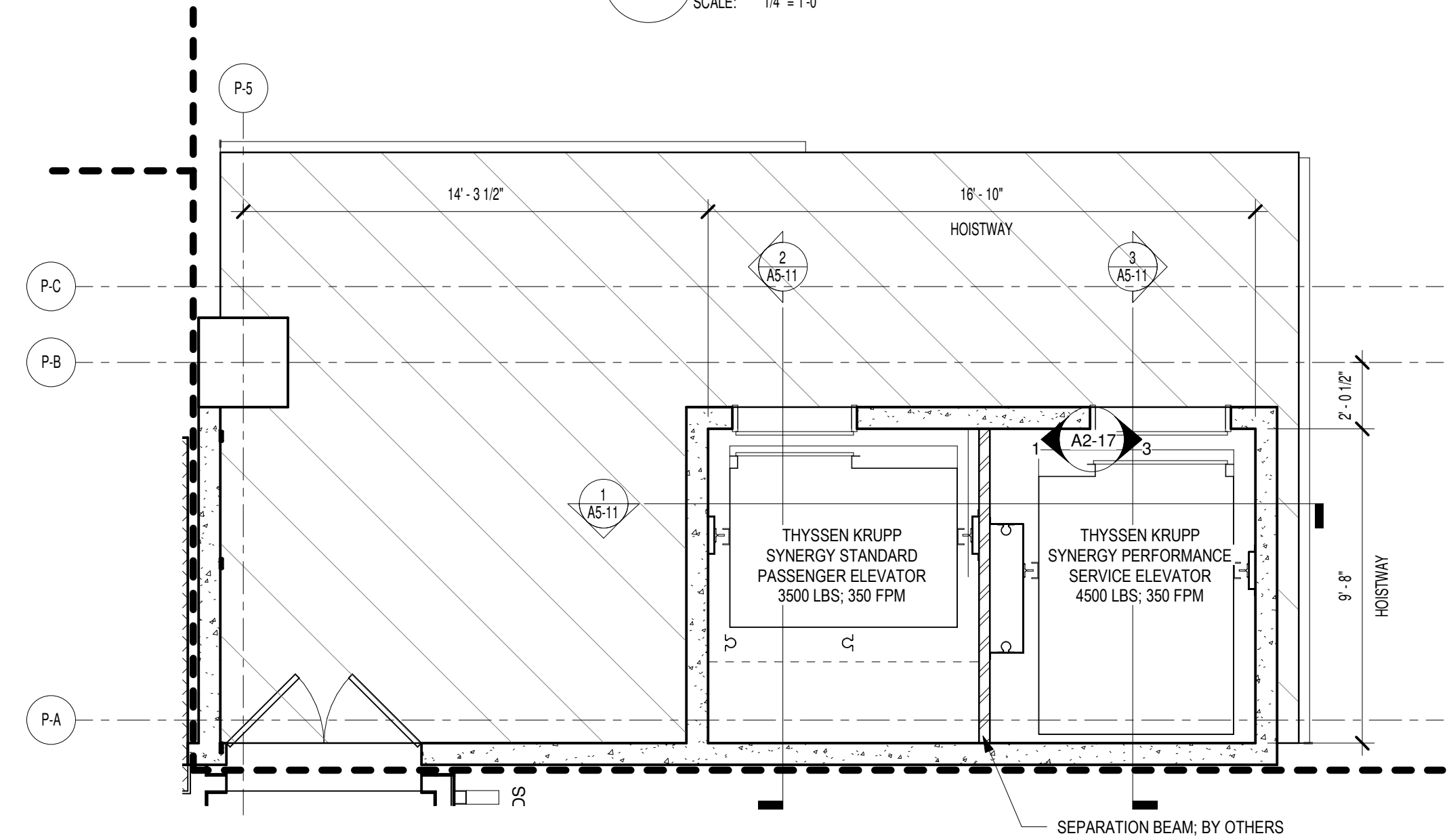
9 TRASH CHUTE - LEVEL 02
SCALE: 3/8" = 1'-0"



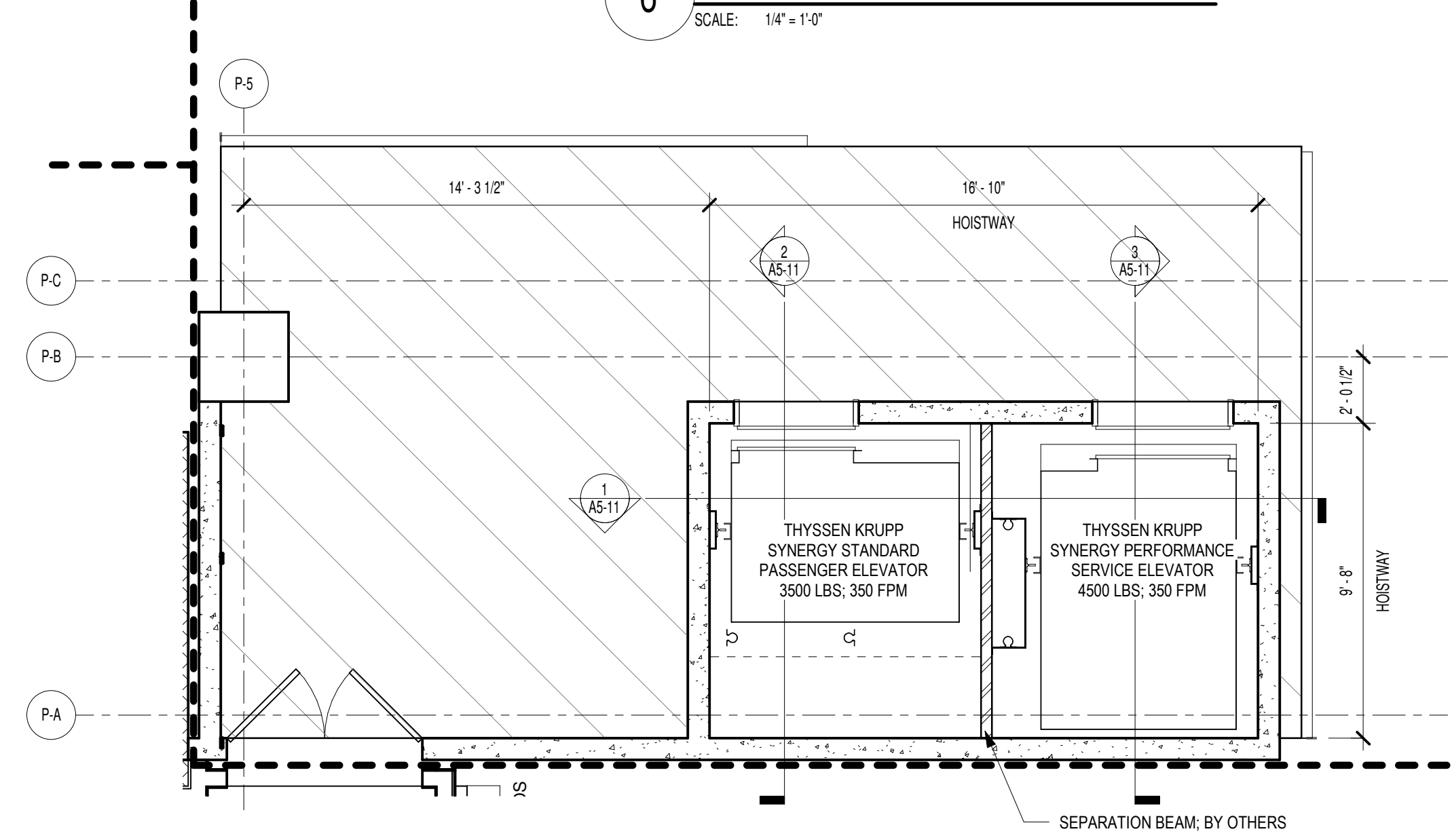
8 RESIDENTIAL TRASH ROOM PLAN
SCALE: 3/8" = 1'-0"



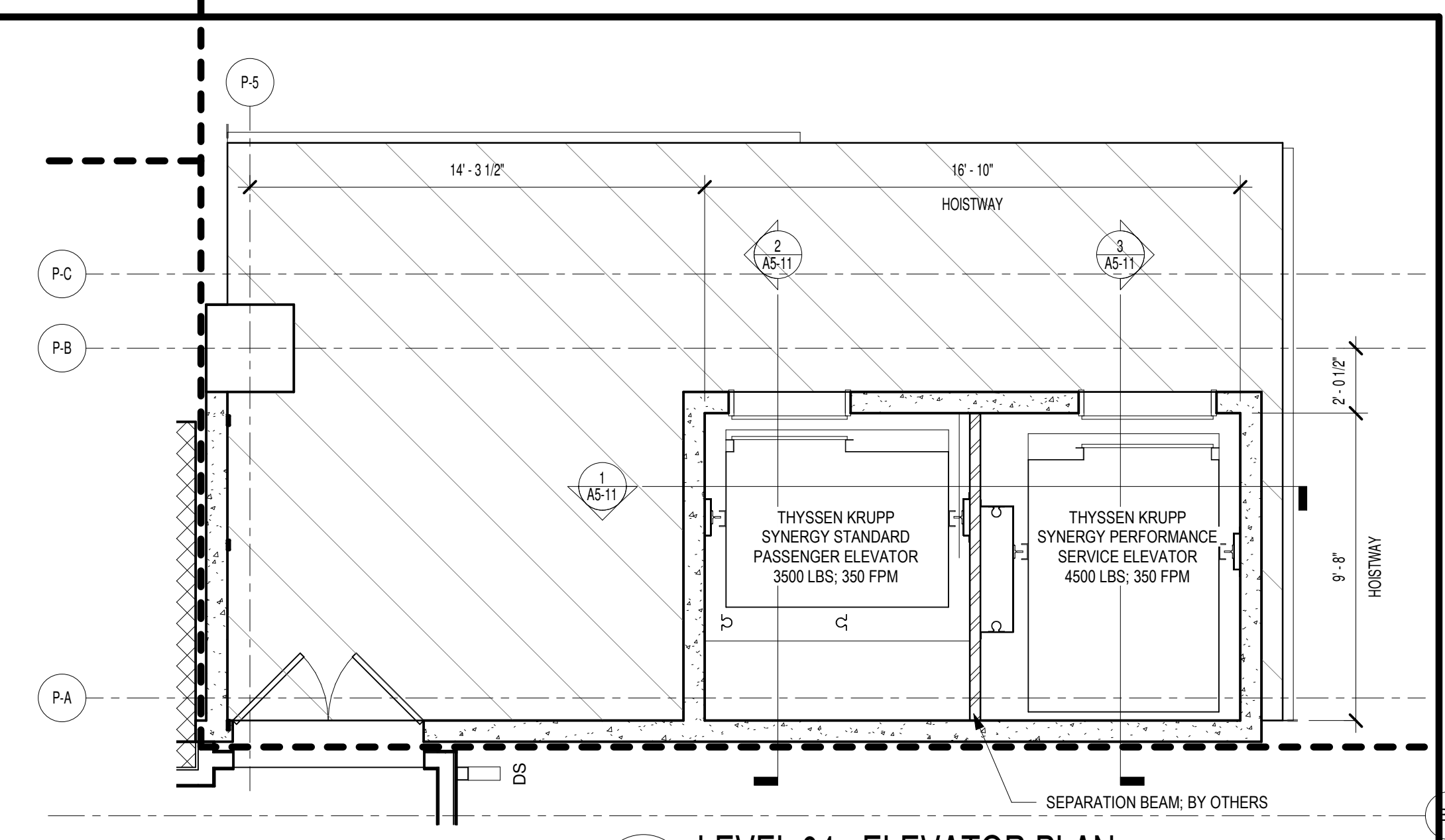
7 LEVEL 07 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"



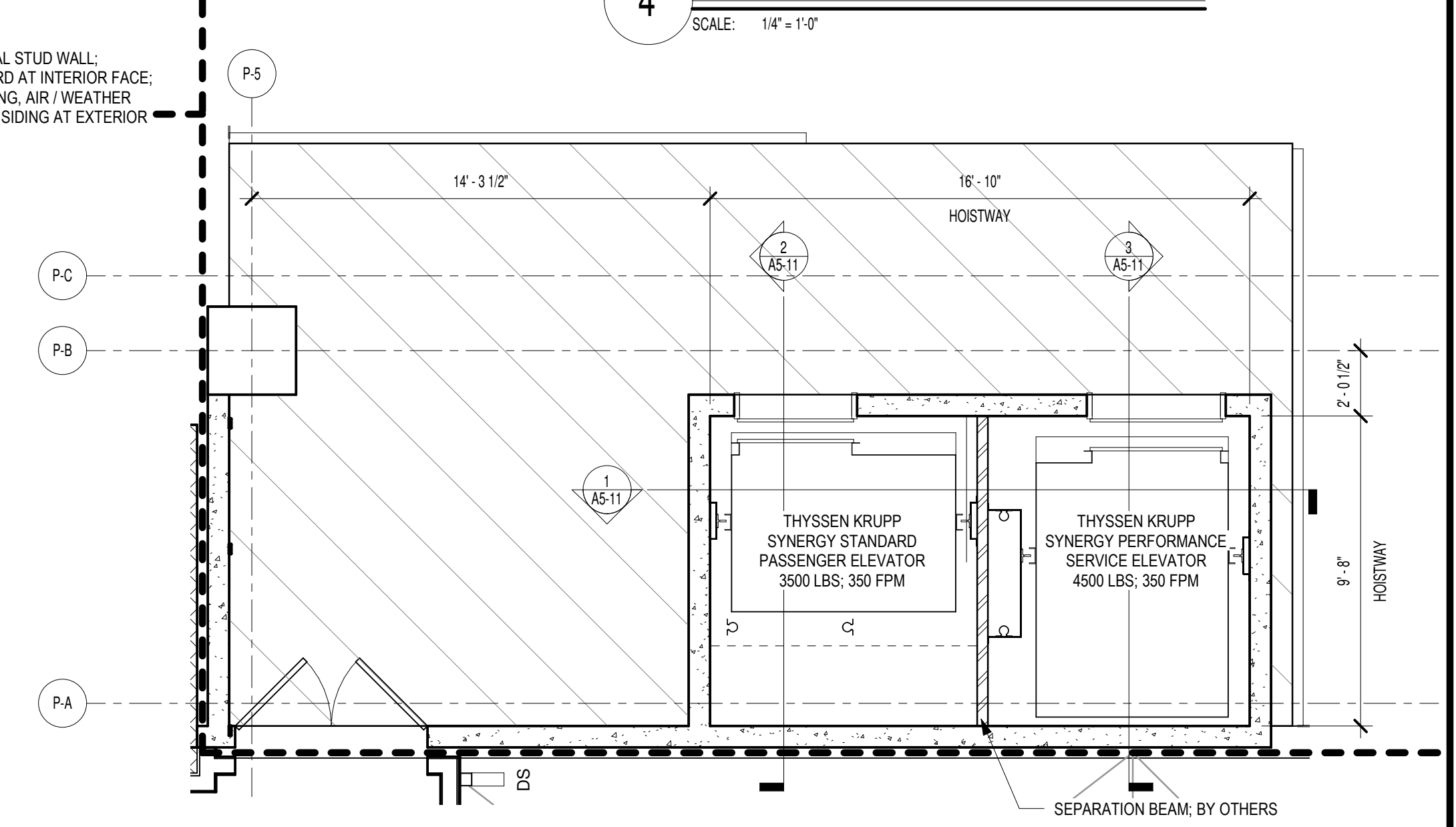
6 LEVEL 06 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"



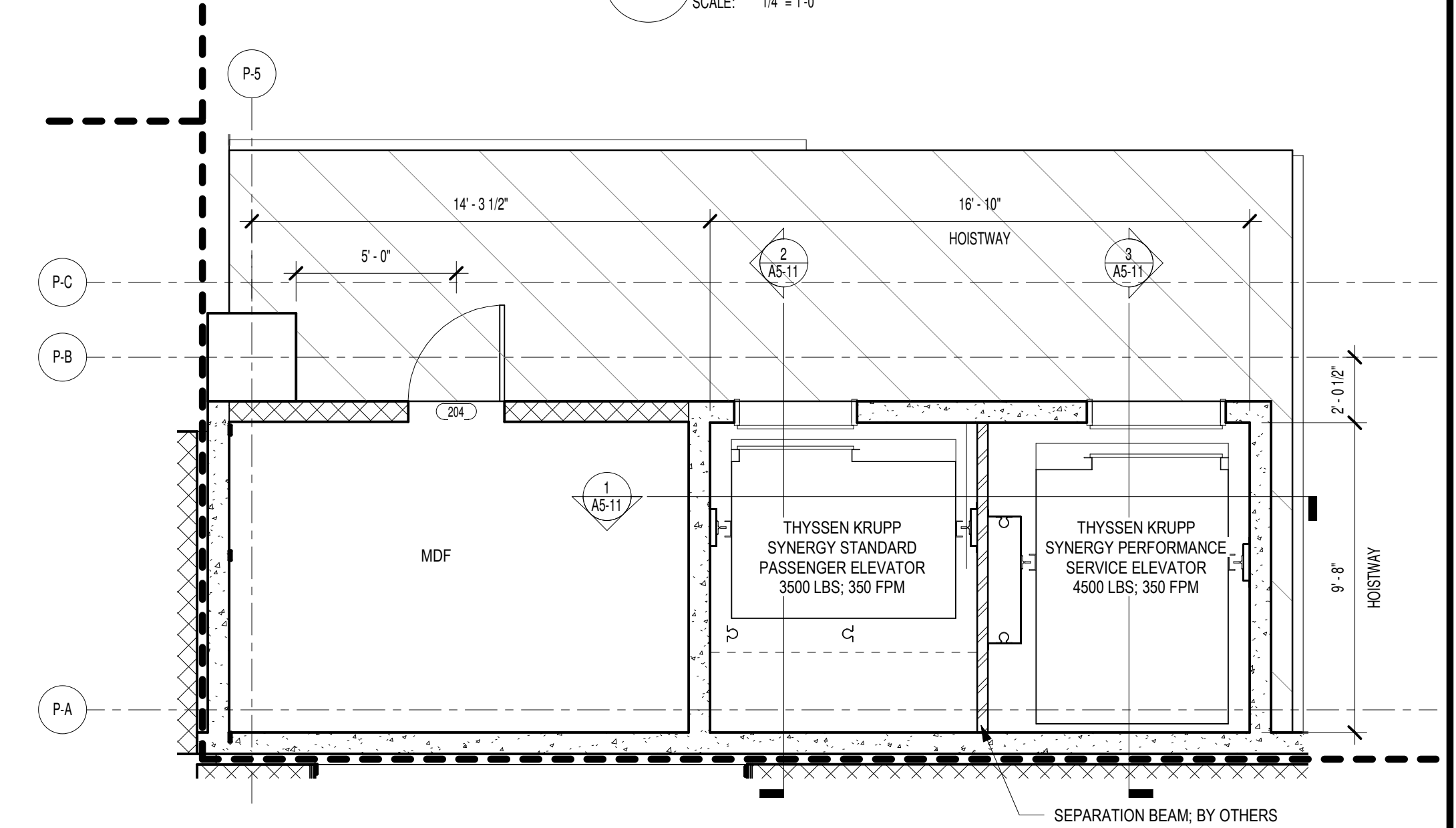
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SCALE: 1/4" = 1'-0"



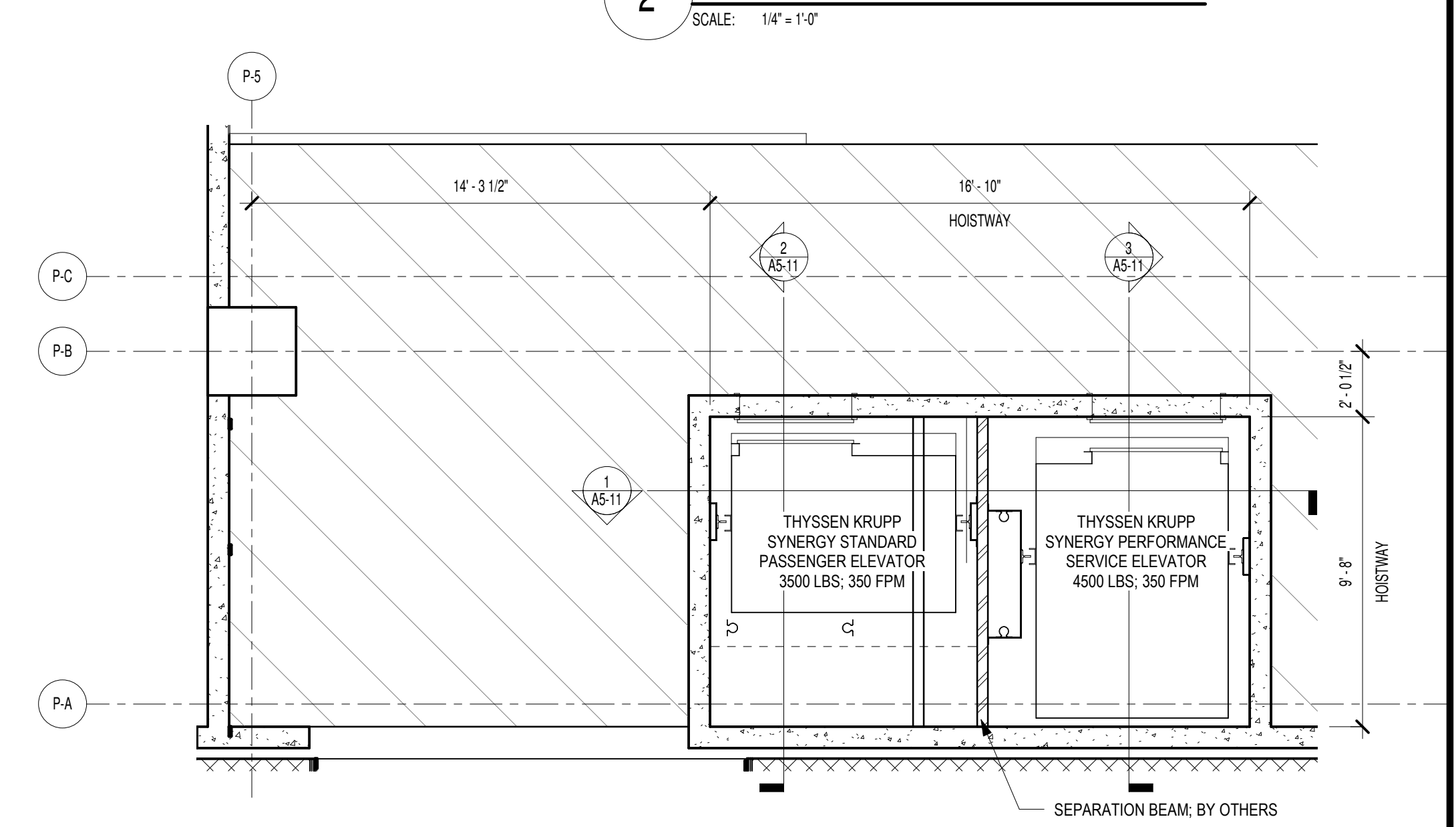
4 LEVEL 04 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"



3 LEVEL 03 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"

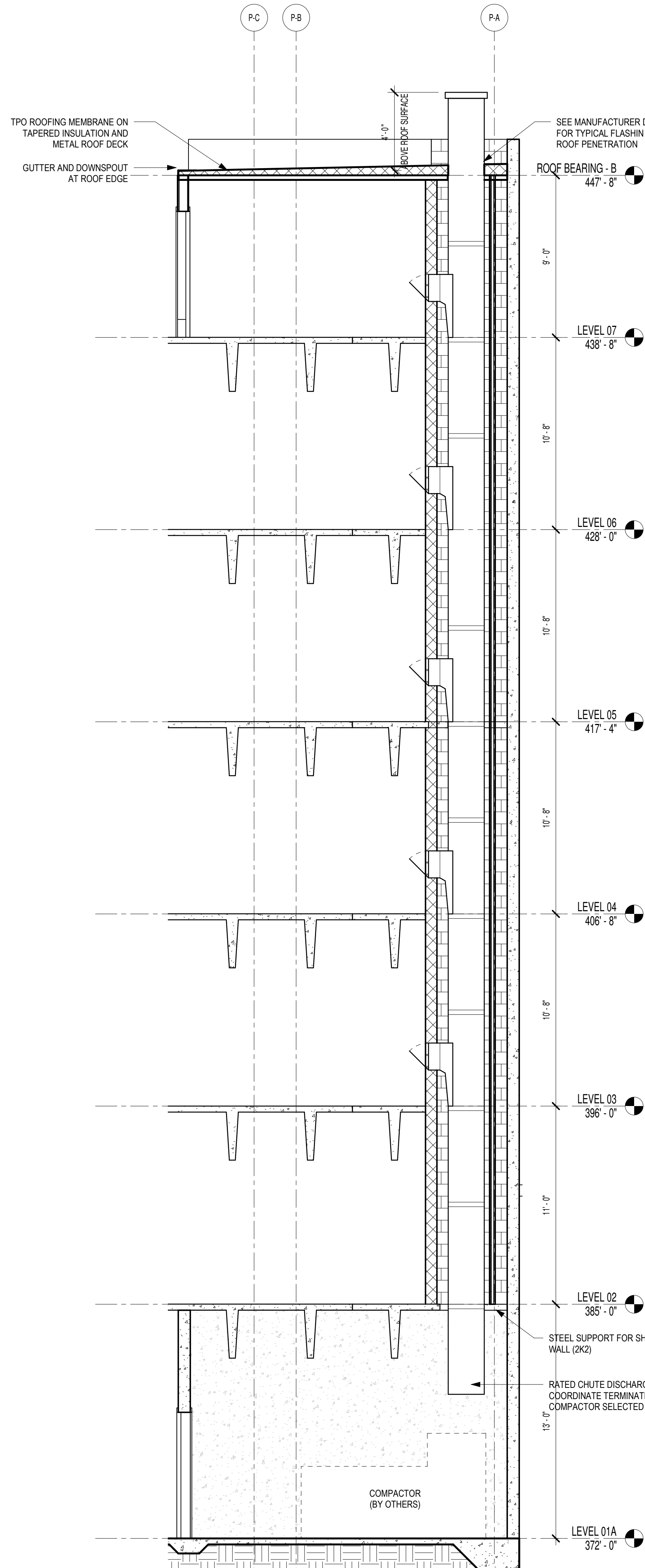


2 LEVEL 02 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"

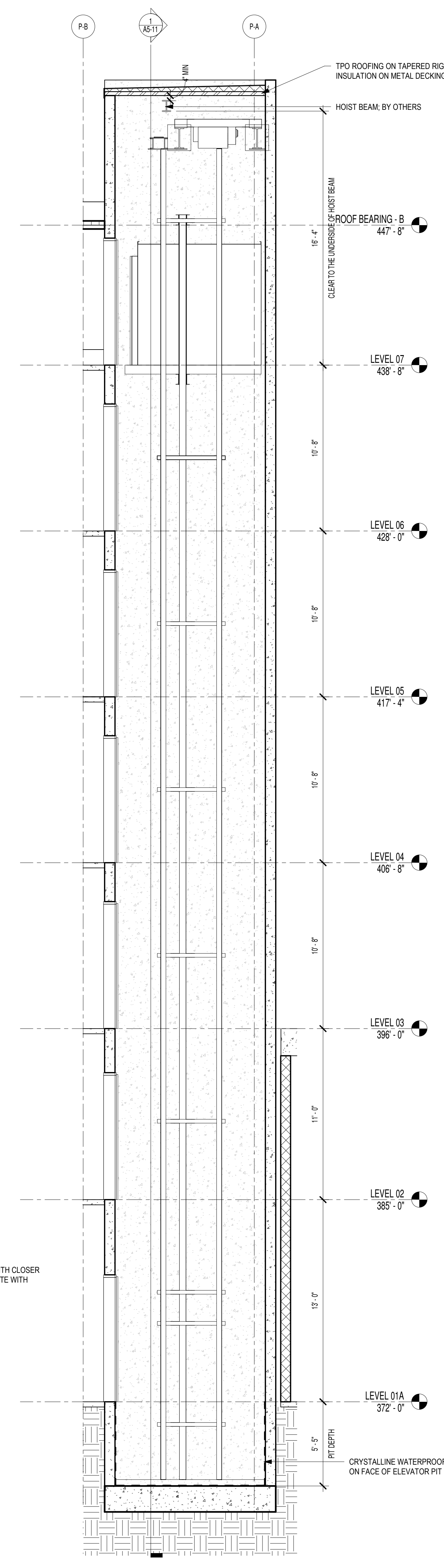


1 LEVEL 01 - ELEVATOR PLAN
SCALE: 1/4" = 1'-0"

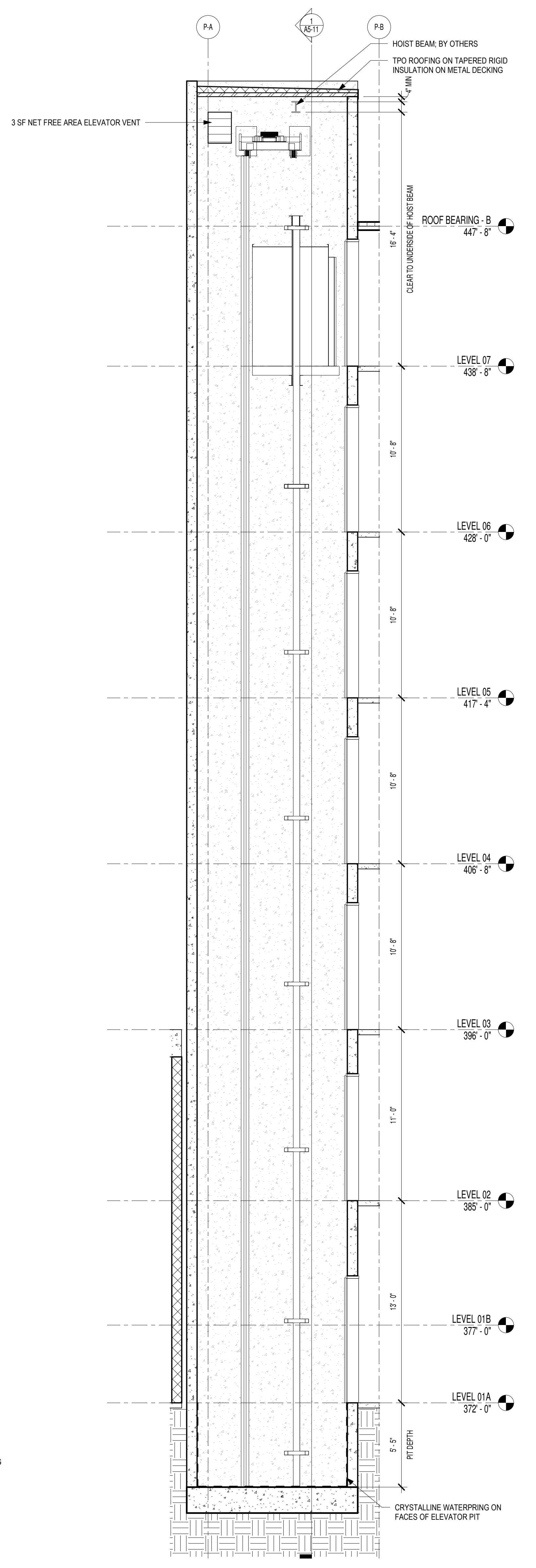
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 6/17/2019 6:38:45 PM PLOTTED: 6/17/2019 6:38:45 PM



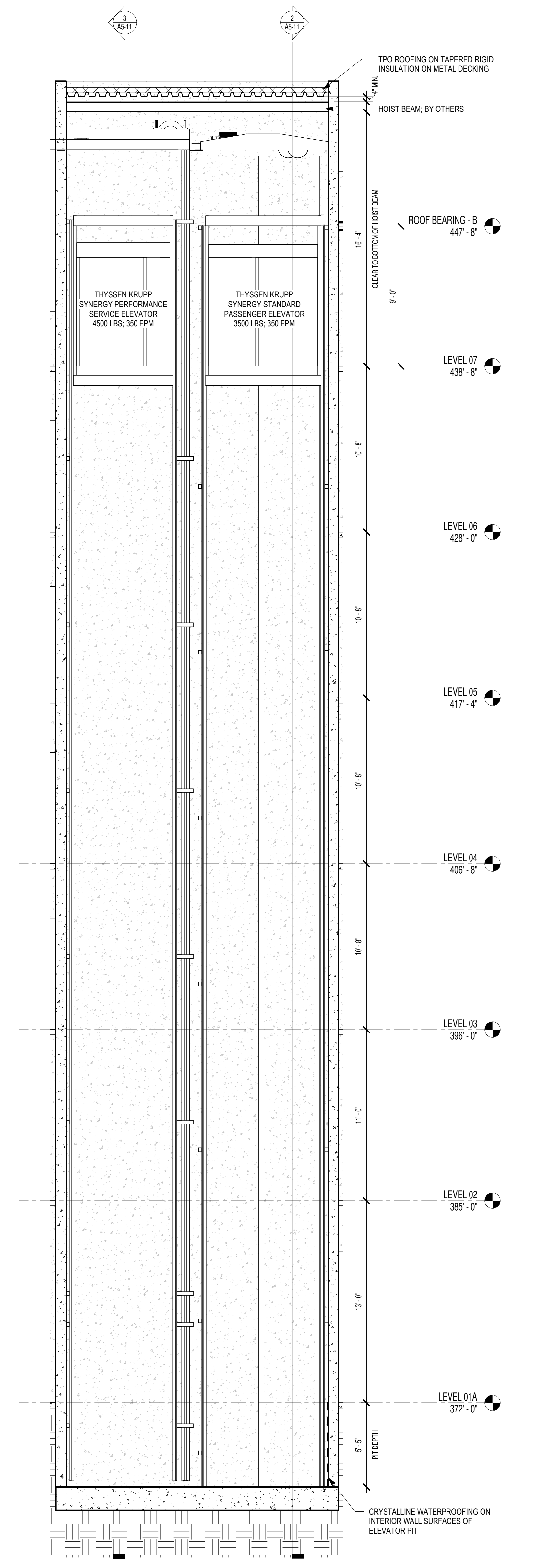
4 TRASH CHUTE SECTION
 SCALE: 1/4" = 1'-0"



3 ELEVATOR SECTION - SERVICE
 SCALE: 1/4" = 1'-0"



2 ELEVATOR SECTION - PASSENGER
 SCALE: 1/4" = 1'-0"



1 ELEVATOR SECTION
 SCALE: 1/4" = 1'-0"

**DT WALTON MIXED USE
 DEVELOPMENT**

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Print Record
 BID SET JUNE 17, 2019

Revisions

No.	Description

Date 06/31/2017 Job No. 160304-000

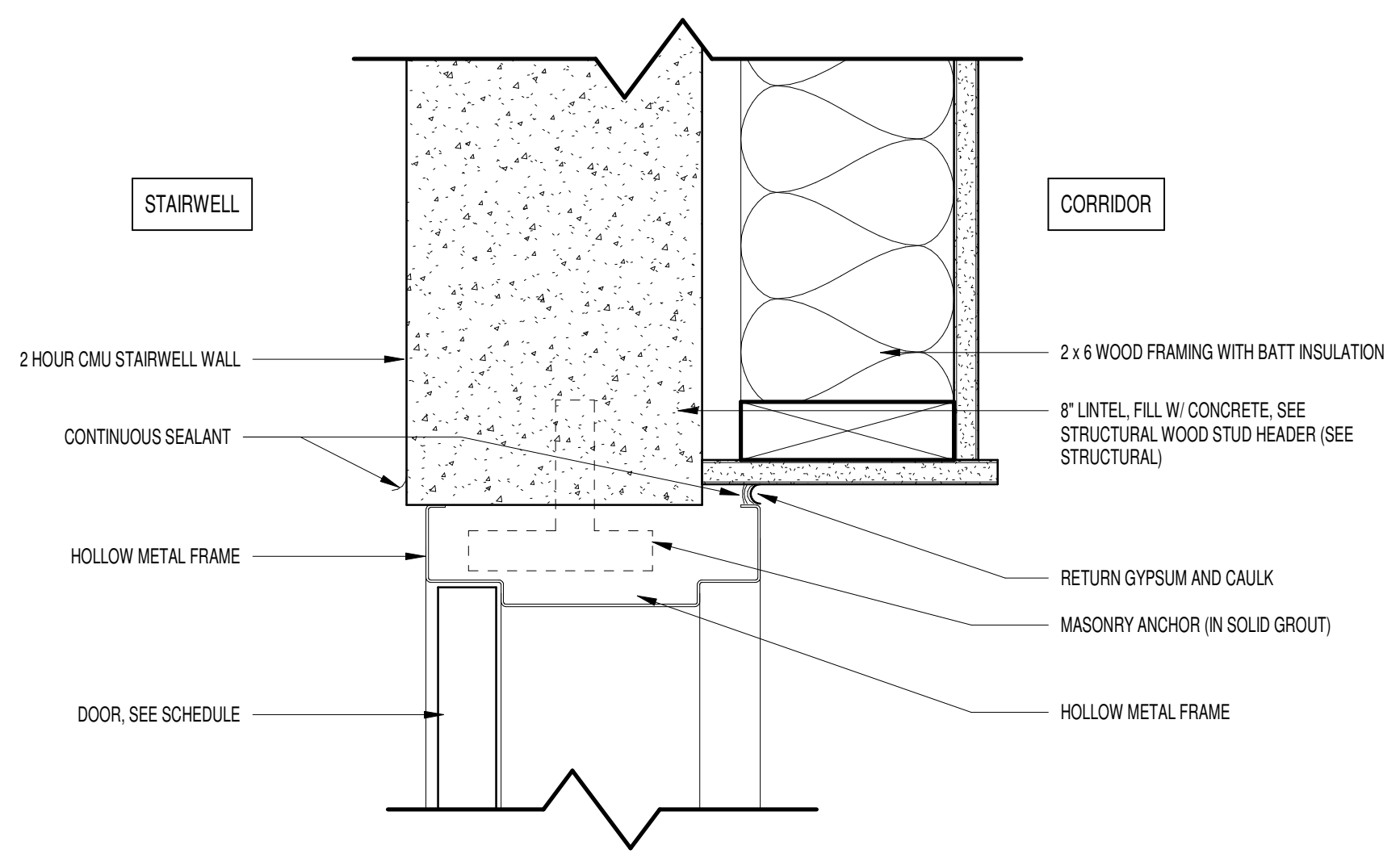
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**ELEVATOR &
 TRASH CHUTE
 SECTIONS**

Sheet No.
A5-11

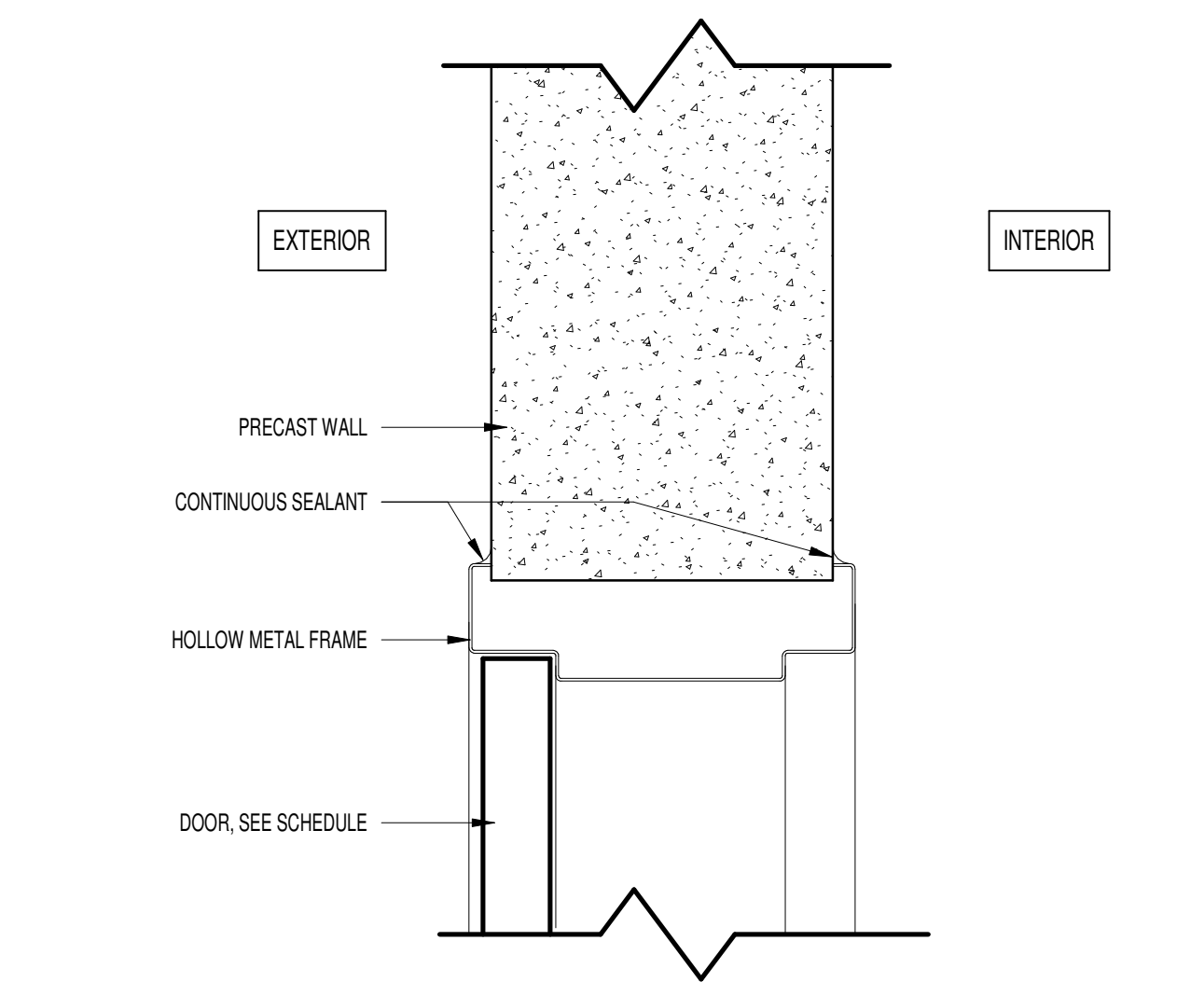
NOT ISSUED FOR CONSTRUCTION

FILENAME: C:\Users\jgall\Documents\My Recent Projects\2017\12\03\04\000 - DT Walton Restorations\MFI1605094000 - DT Walton Restorations\DWG\A7-05.dwg
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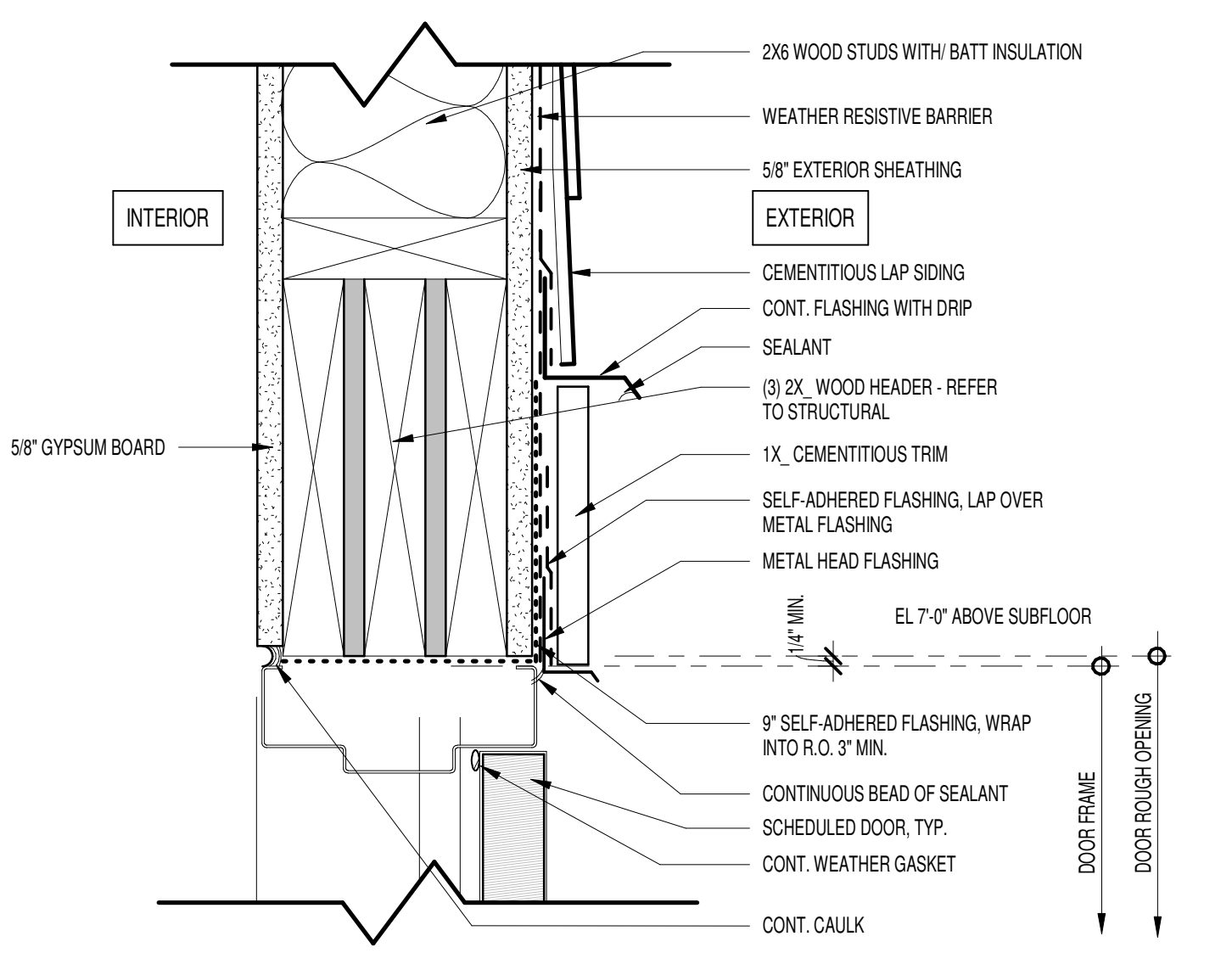
DOOR SCHEDULE - PD																
Door Number	Location	Level	Door							Frame						
			Width	Height	Thickness	Material	Finish	Un der Cut	Fire Rating	Hardware	Type	Material	Finish	Jamb	Head	
101	STAIR 01	LEVEL 01B	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	6.0		HM	PT	2/A7-05	3/A7-05	
102	STAIR 02	LEVEL 01A	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
104	PV PANEL ELEC RM	LEVEL 01B	3'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	16.0		HM	PT	7/A7-05	8/A7-05	
105	RES TRASH ROOM	LEVEL 01A	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	8.0		HM	PT	2/A7-05	3/A7-05	
106	RETAIL A	LEVEL 01A	6'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	2.0		HM	PT	2/A7-05	3/A7-05	
201	STAIR 01	LEVEL 02	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	6.0		HM	PT	2/A7-05	3/A7-05	
202	STAIR 02	LEVEL 02	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
204	MDF	LEVEL 02	3'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	18.0		HM	PT	7/A7-05	8/A7-05	
301	STAIR 01	LEVEL 03	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	6.0		HM	PT	2/A7-05	3/A7-05	
302	STAIR 02	LEVEL 02	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
304	RESIDENTIAL ENTRY	LEVEL 03	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
305	RESIDENTIAL ENTRY	LEVEL 03	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
401	STAIR 01	LEVEL 04	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	6.0		HM	PT	2/A7-05	3/A7-05	
402	STAIR 02	LEVEL 03	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
404	RESIDENTIAL ENTRY	LEVEL 04	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
405	RESIDENTIAL ENTRY	LEVEL 04	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
406	RESIDENTIAL ENTRY	LEVEL 04	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	12.0		HM	PT	5/A7-05	6/A7-05	
501	STAIR 01	LEVEL 05	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	6.0		HM	PT	2/A7-05	3/A7-05	
502	STAIR 02	LEVEL 04	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
504	RESIDENTIAL ENTRY	LEVEL 05	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
505	RESIDENTIAL ENTRY	LEVEL 05	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
506	RESIDENTIAL ENTRY	LEVEL 05	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	12.0		HM	PT	5/A7-05	6/A7-05	
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602	STAIR 02	LEVEL 05	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
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605	RESIDENTIAL ENTRY	LEVEL 06	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
606	RESIDENTIAL ENTRY	LEVEL 06	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	12.0		HM	PT	5/A7-05	6/A7-05	
701	STAIR 01	LEVEL 07	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	12.0		HM	PT	2/A7-05	3/A7-05	
702	STAIR 02	LEVEL 06	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	7.0		HM	PT	2/A7-05	3/A7-05	
704	ELEV CONTROL CLOSET	LEVEL 07	3'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	13.0		HM	PT	7/A7-05	8/A7-05	
705	RES TRASH ROOM	LEVEL 07	6'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	3.0		HM	PT	5/A7-05	6/A7-05	
706	RESIDENTIAL ENTRY	LEVEL 07	3'-0"	7'-0"	0'-1 3/4"	HM	PT		90 MIN	12.0		HM	PT	5/A7-05	6/A7-05	
711	ELEVATOR VESTIBULE	LEVEL 07	6'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	3.0		HM	PT	7/A7-01	1/A7-05	
712	STAIR 01 / TRASH CHUTE VESTIBULE	LEVEL 07	6'-0"	7'-0"	0'-1 3/4"	HM	PT		NR	3.0		HM	PT	7/A7-01	1/A7-05	



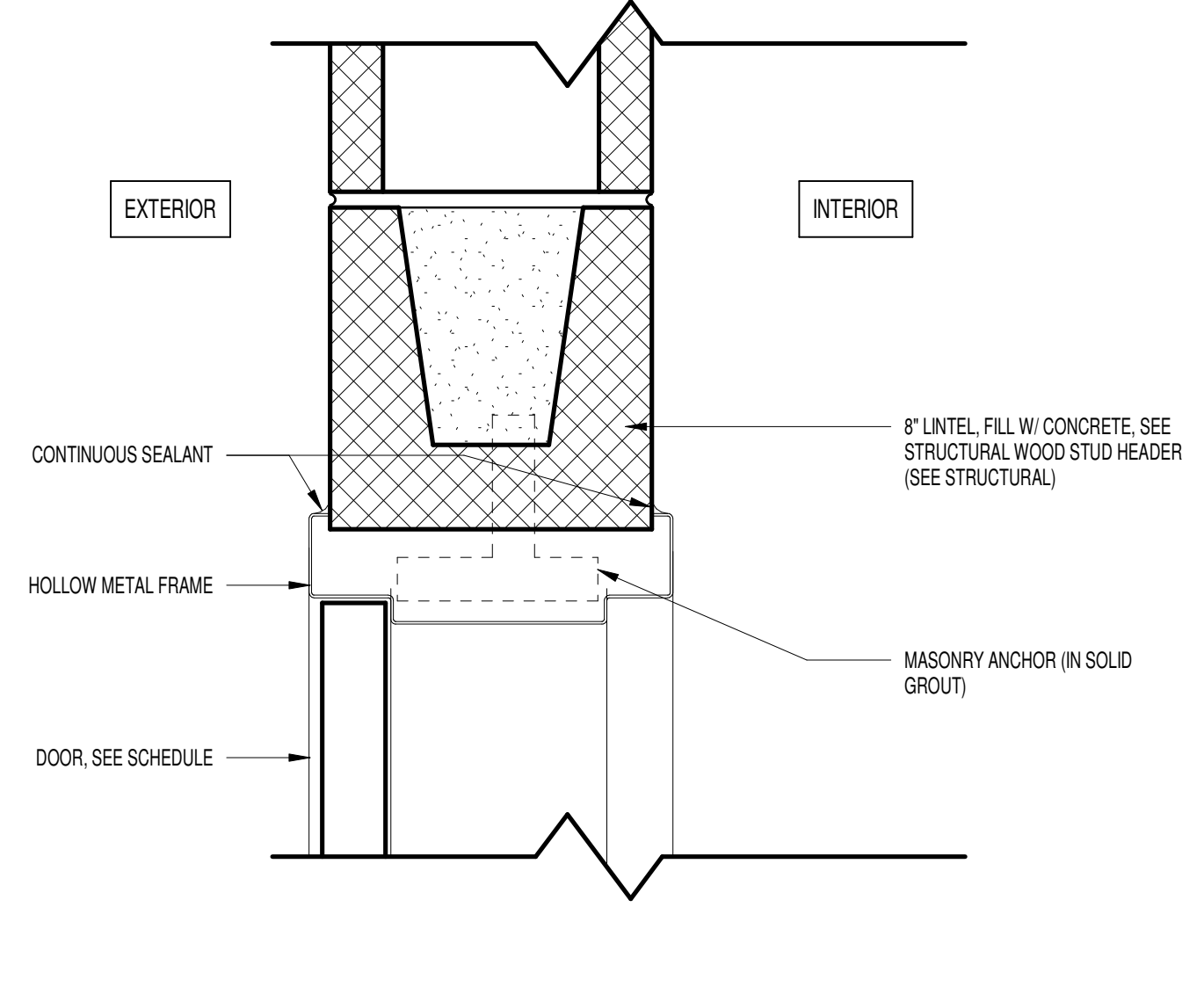
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SCALE: 3" = 1'-0"



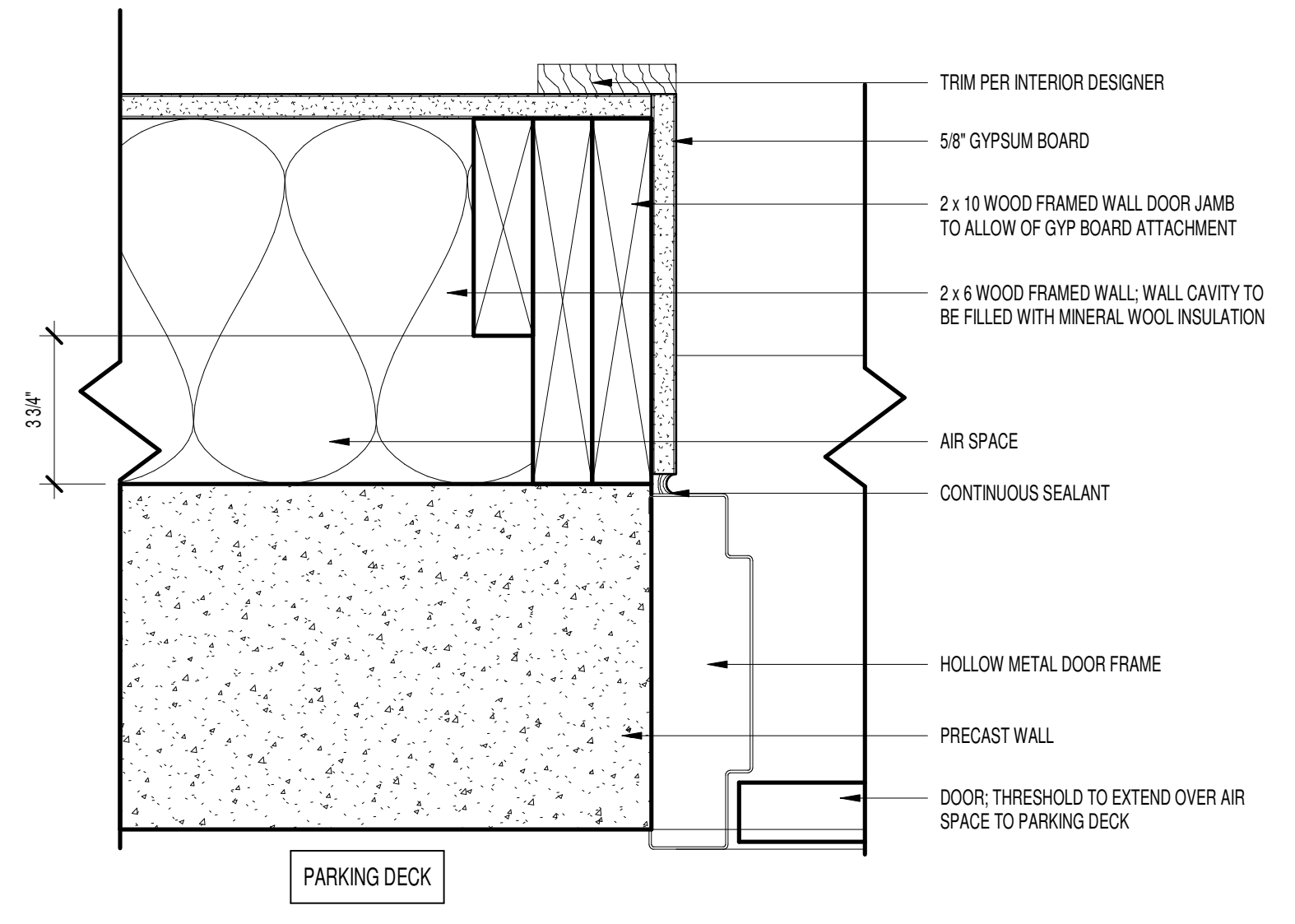
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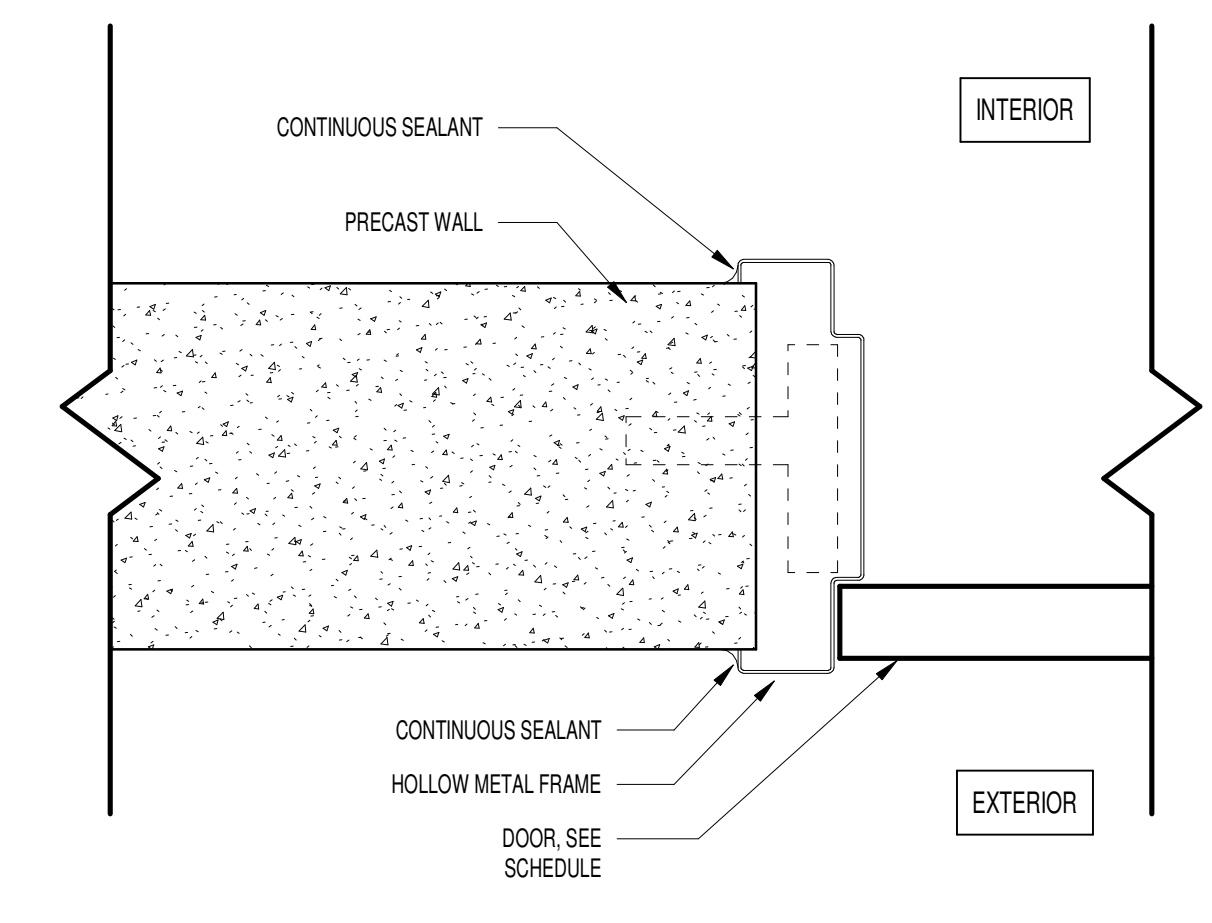
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SCALE: 3" = 1'-0"



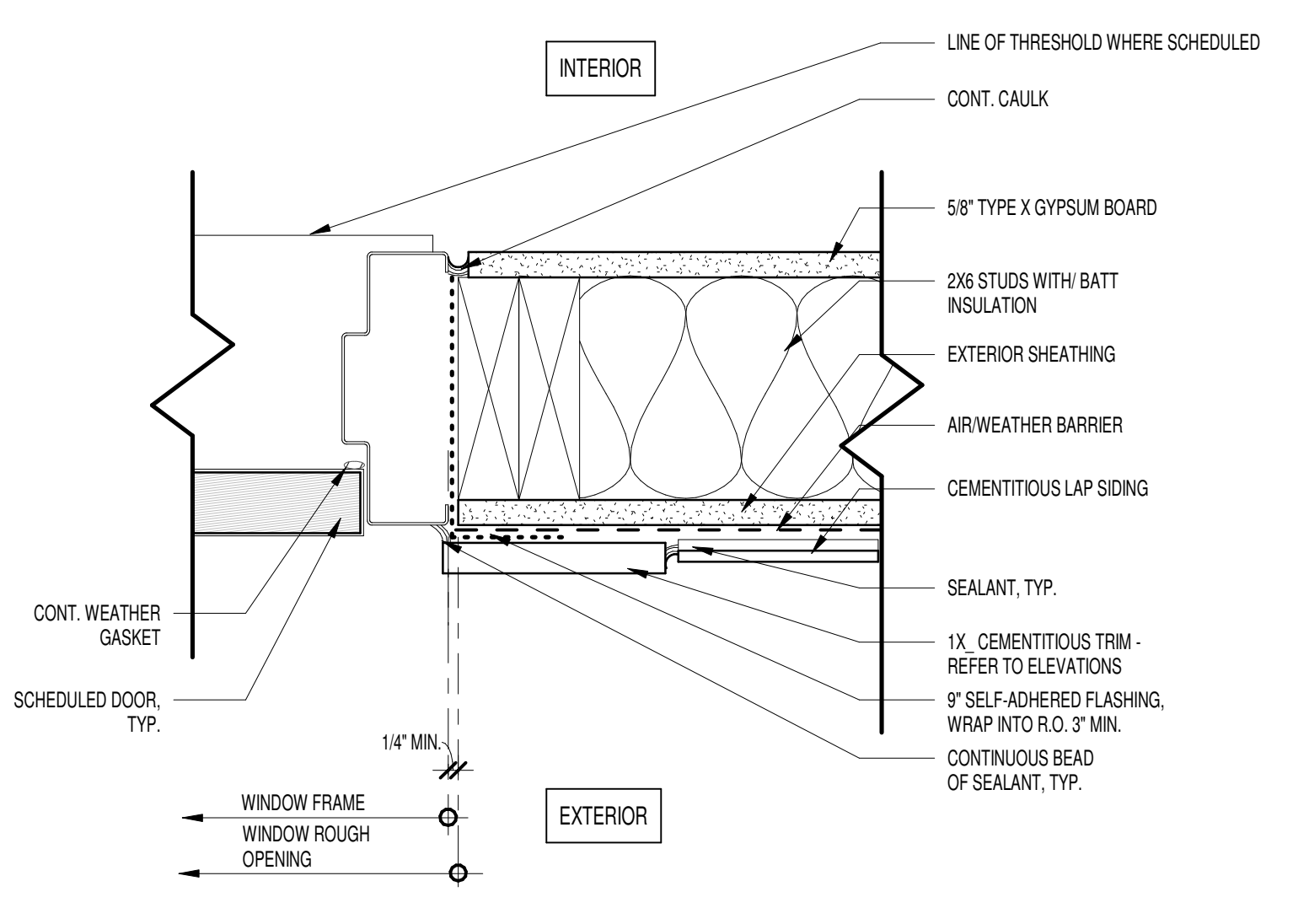
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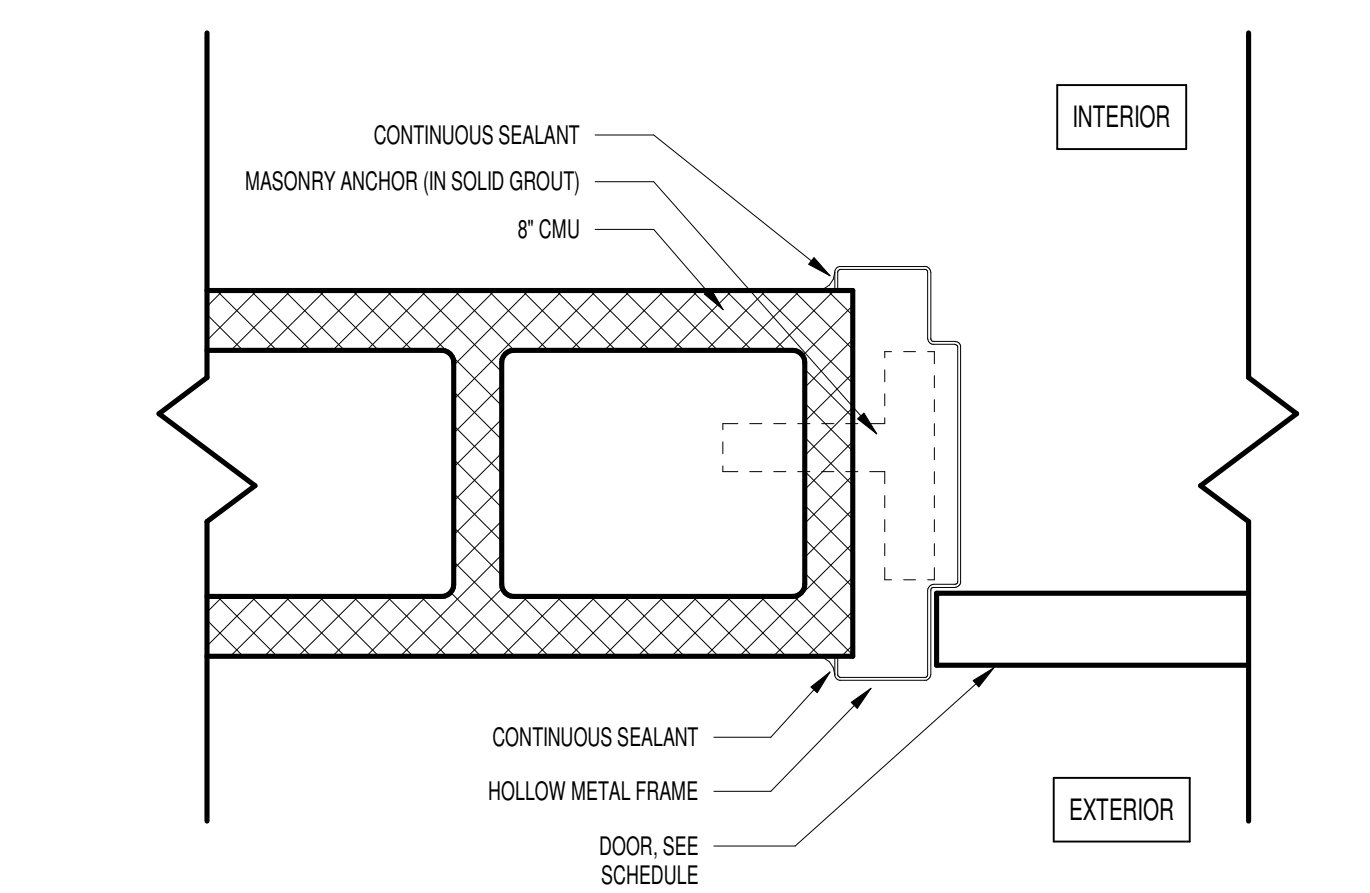
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SCALE: 3" = 1'-0"



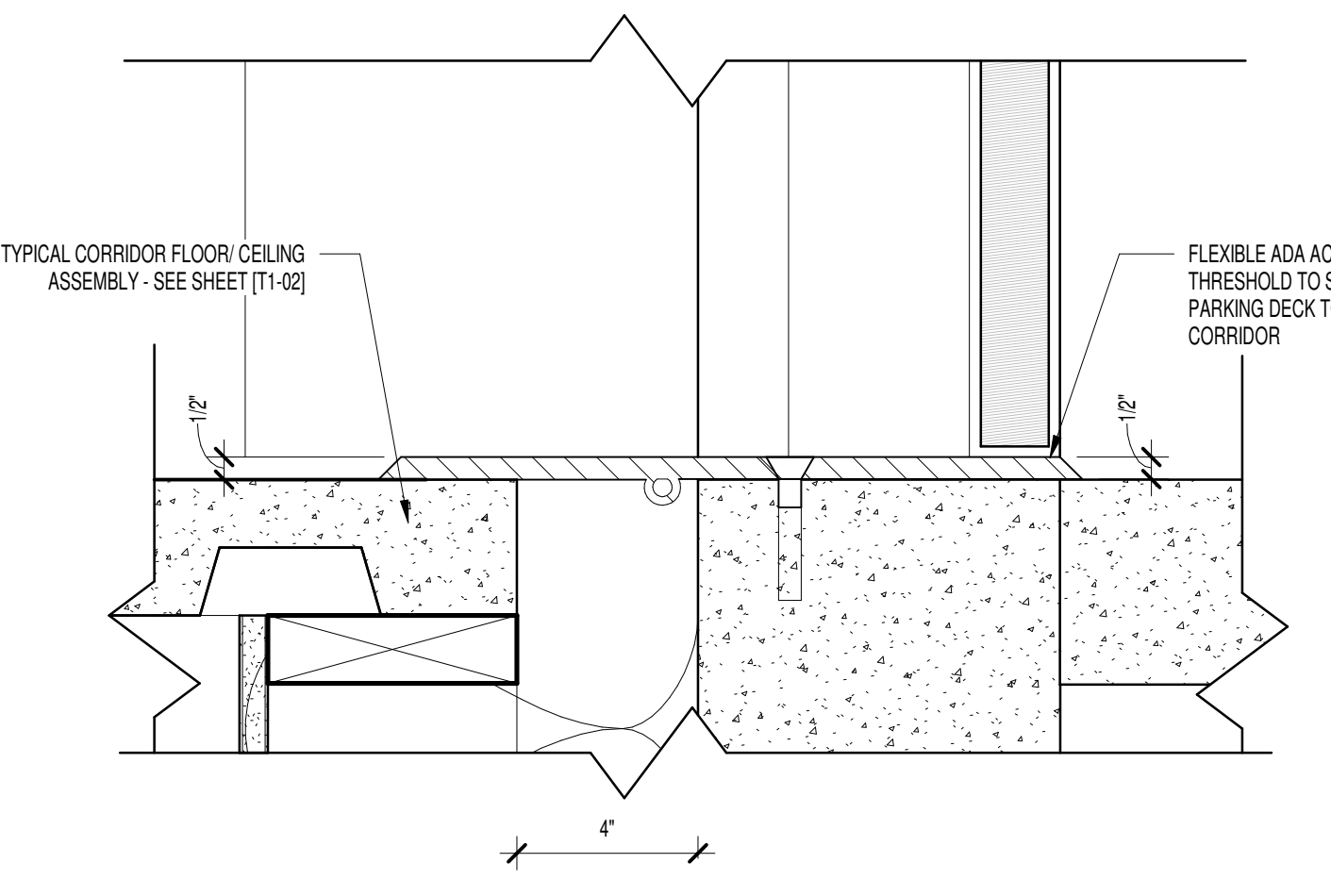
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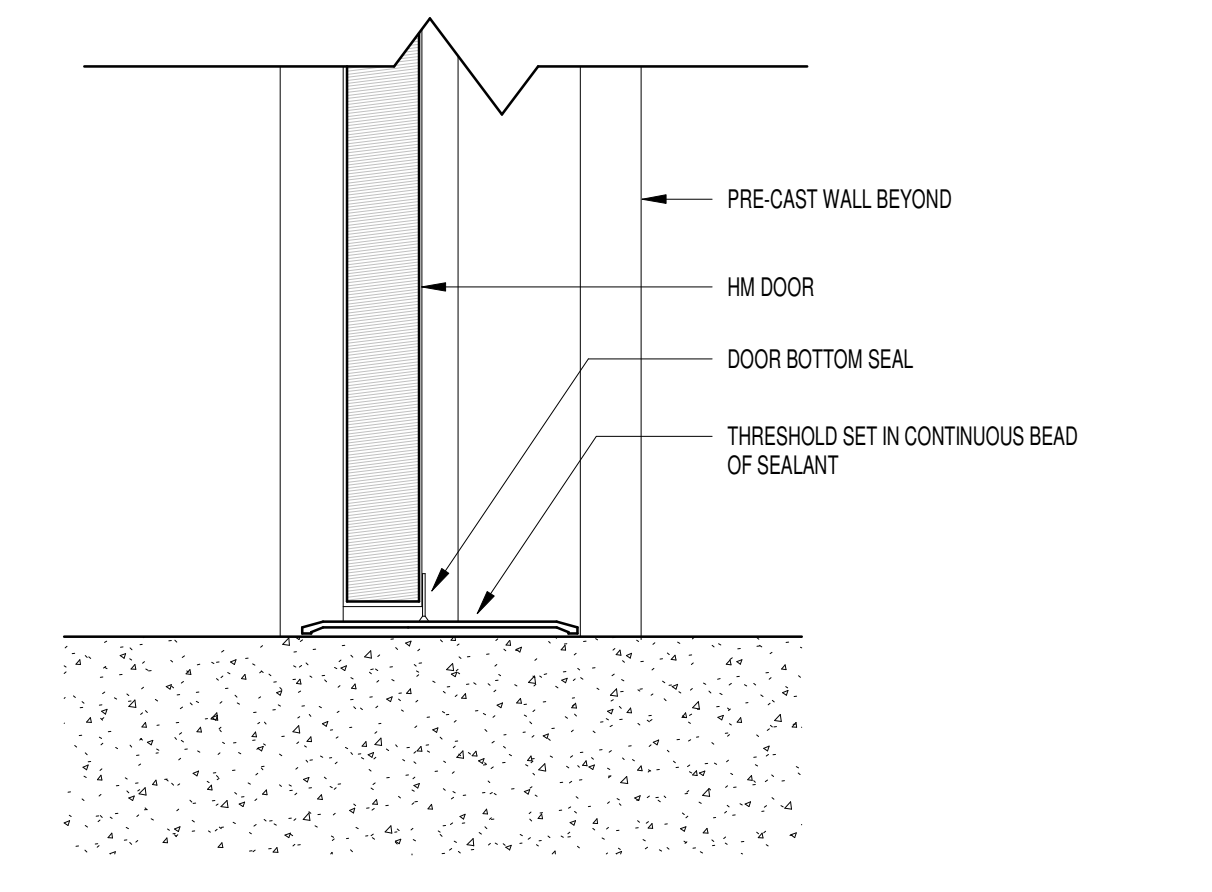
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SCALE: 3" = 1'-0"



7 DOOR JAMB @ CMU - PD
SCALE: 3" = 1'-0"



4 DOOR THRESHOLD @ PARKING DECK / CORRIDOR
SCALE: 3" = 1'-0"



1 DOOR THRESHOLD @ PARKING DECK
SCALE: 3" = 1'-0"

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09/31/2017 1603094.000

Sheet Title
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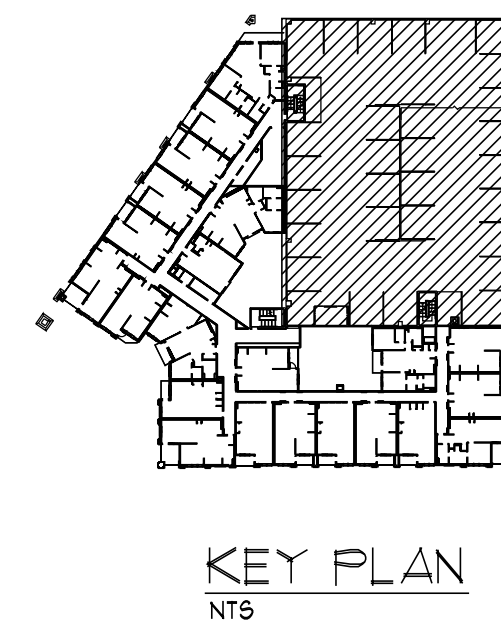
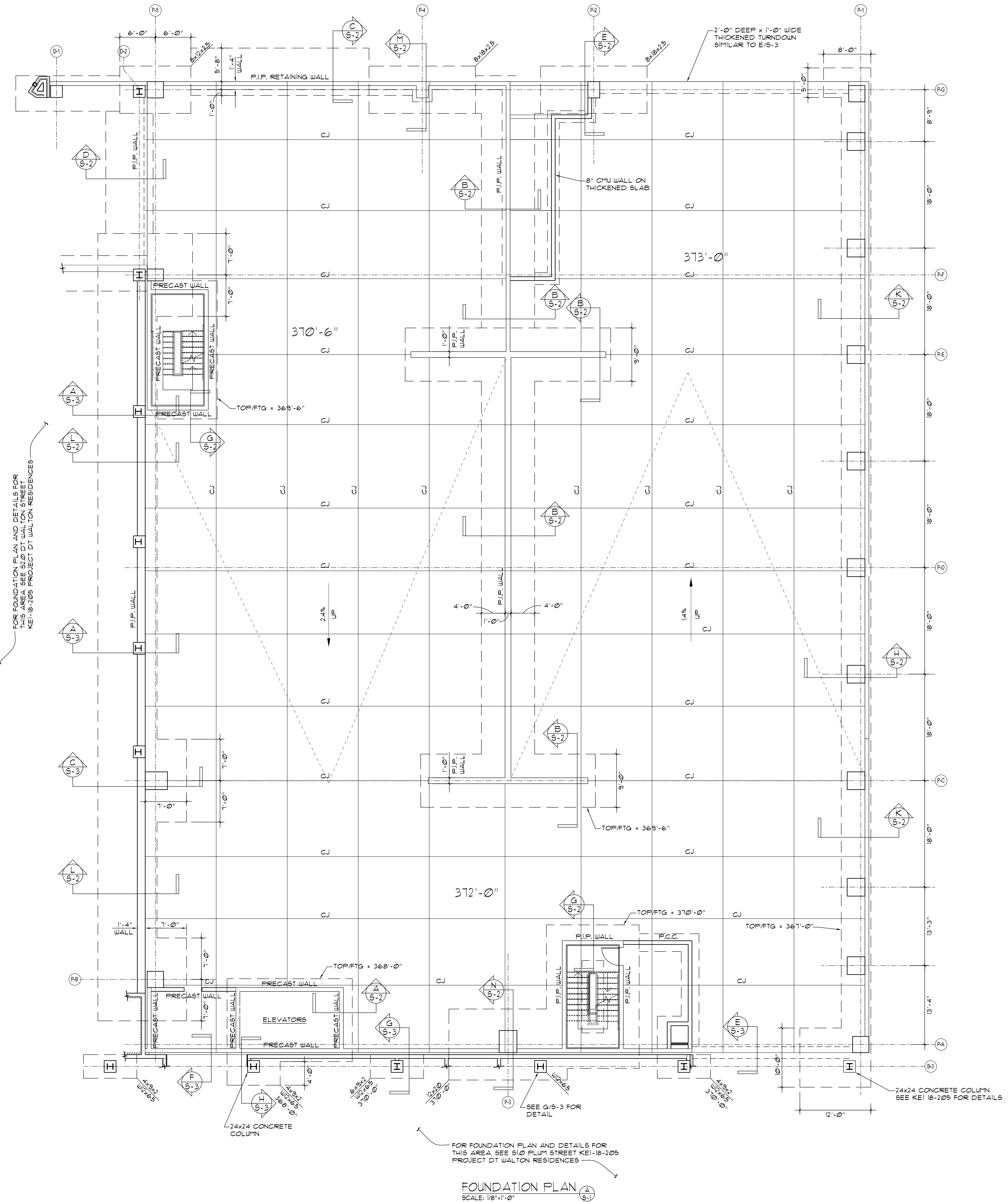
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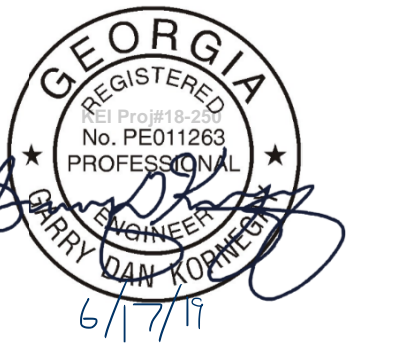
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Kornegay
Engineering
Inc.

Structural Consultant
363 Pierce Avenue
Suite 202
Macon, GA 31204
(478)745-6161 ph
kornegayengineering.com
Project No: 18-250

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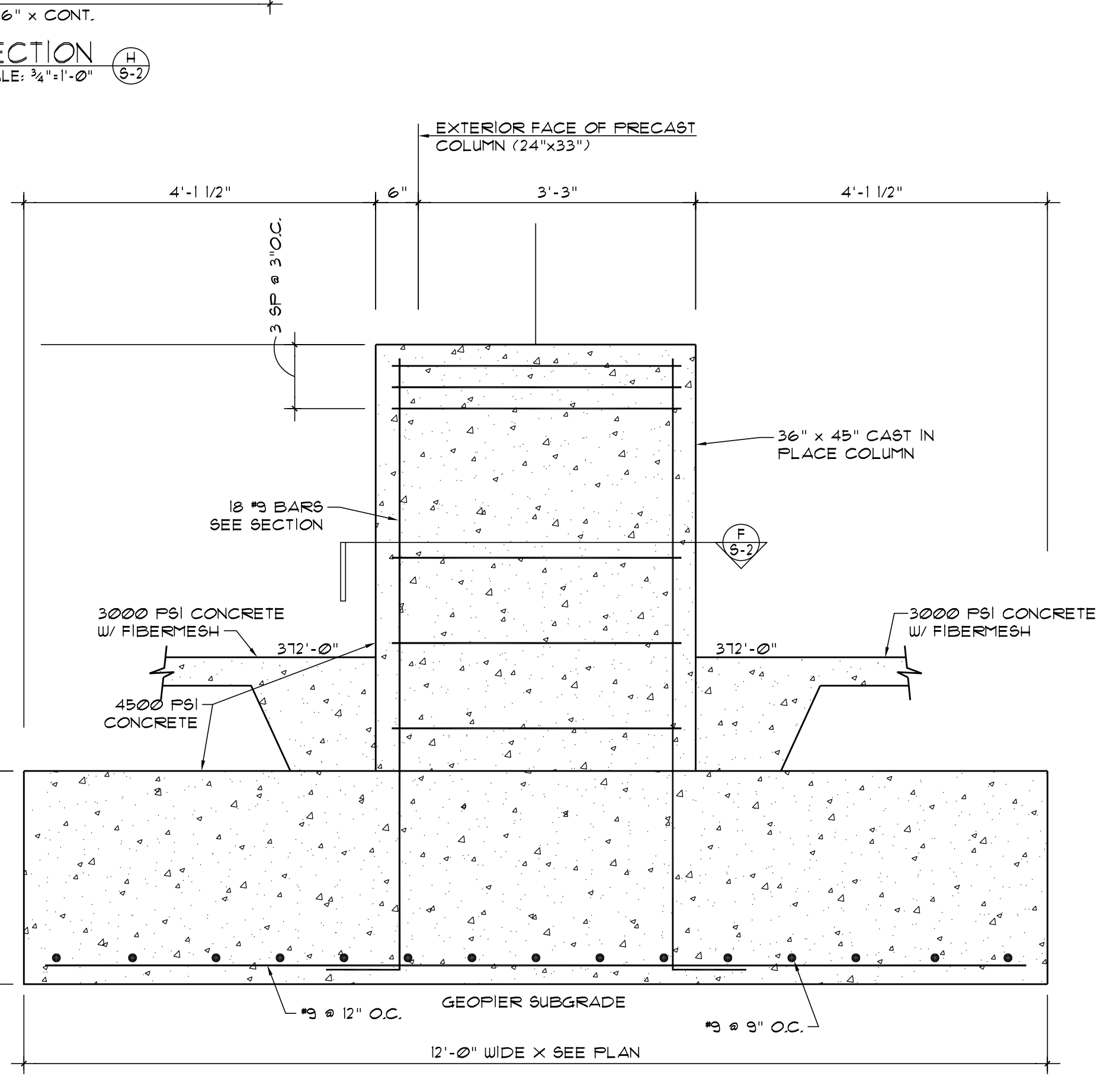
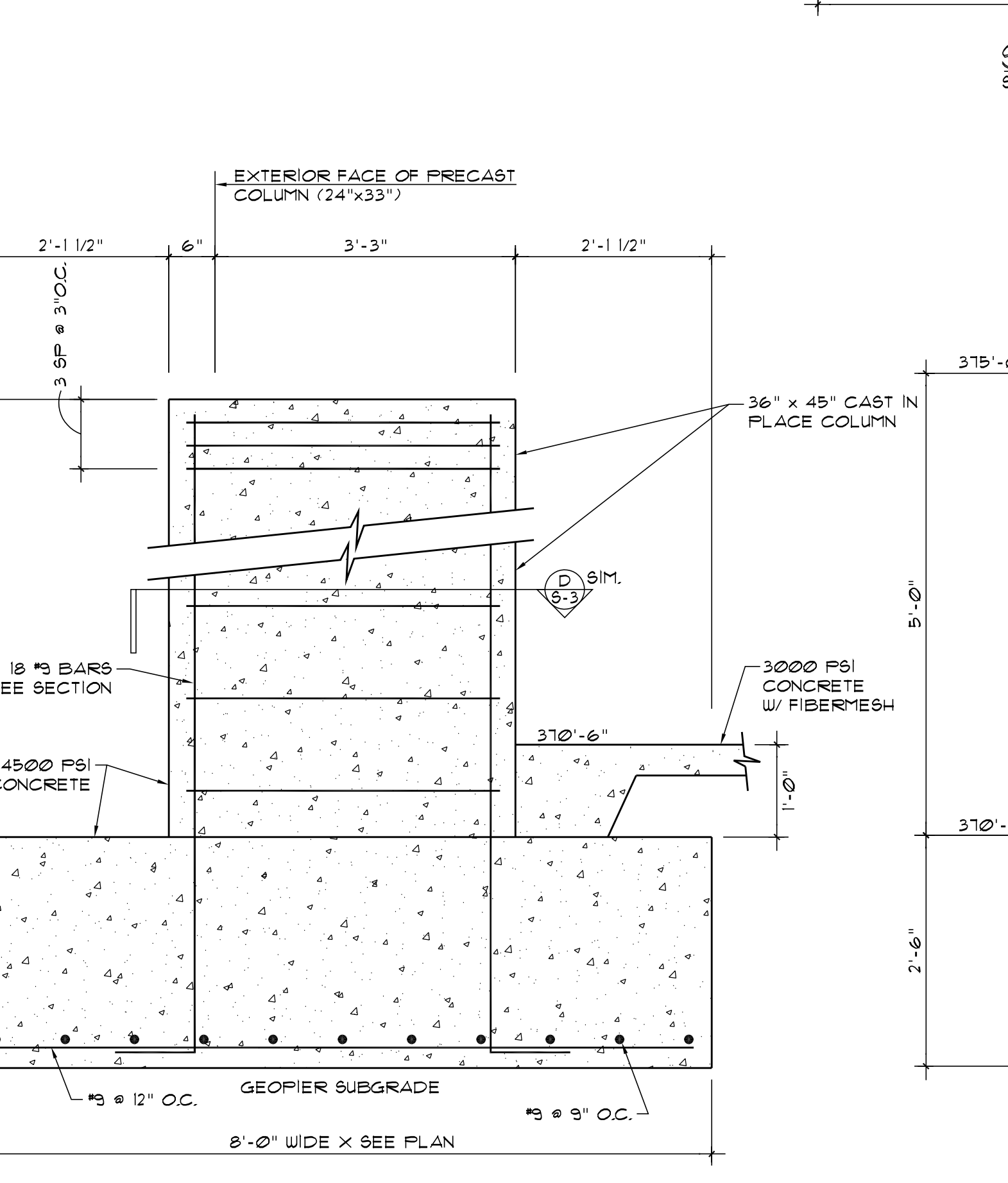
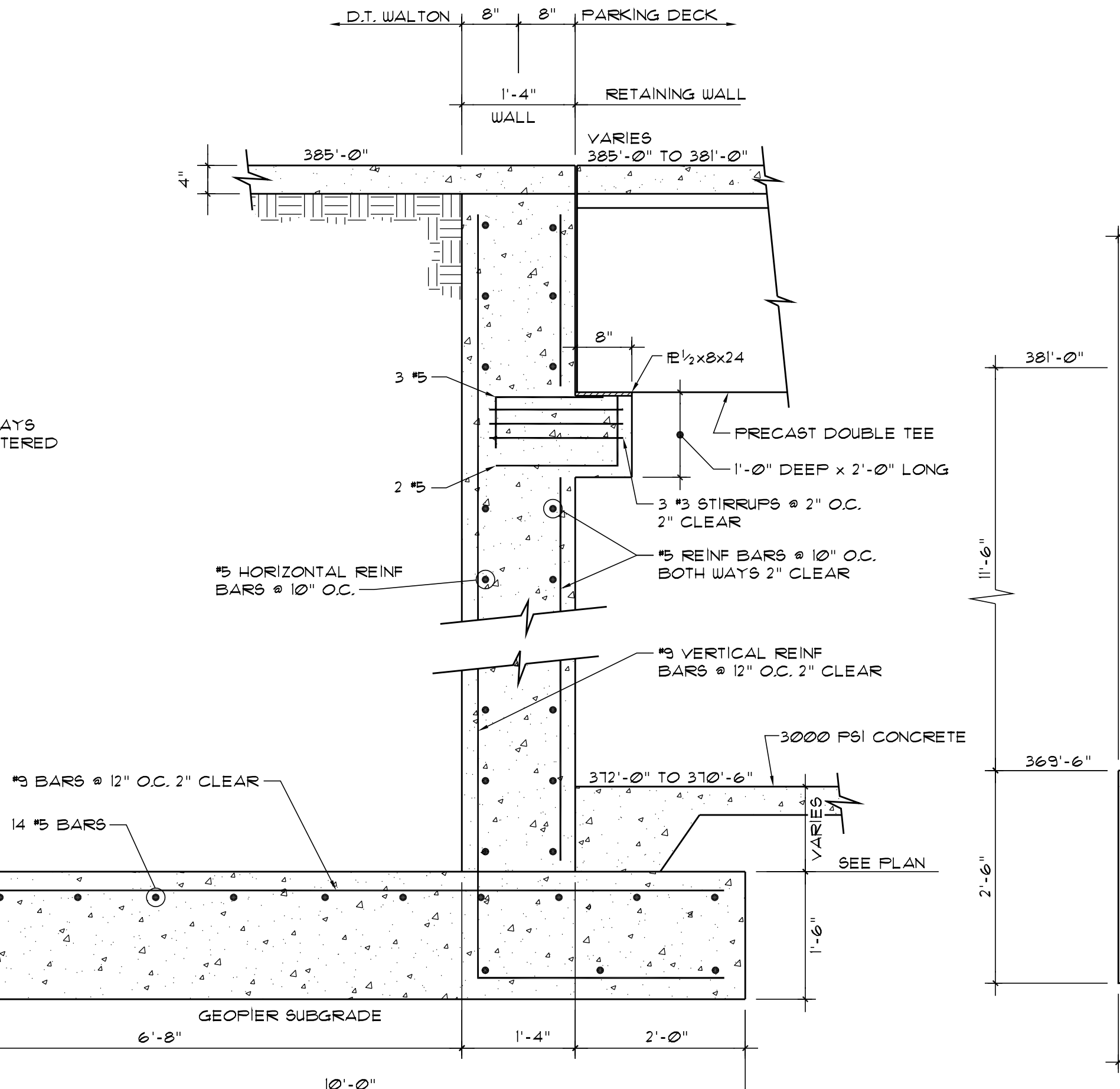
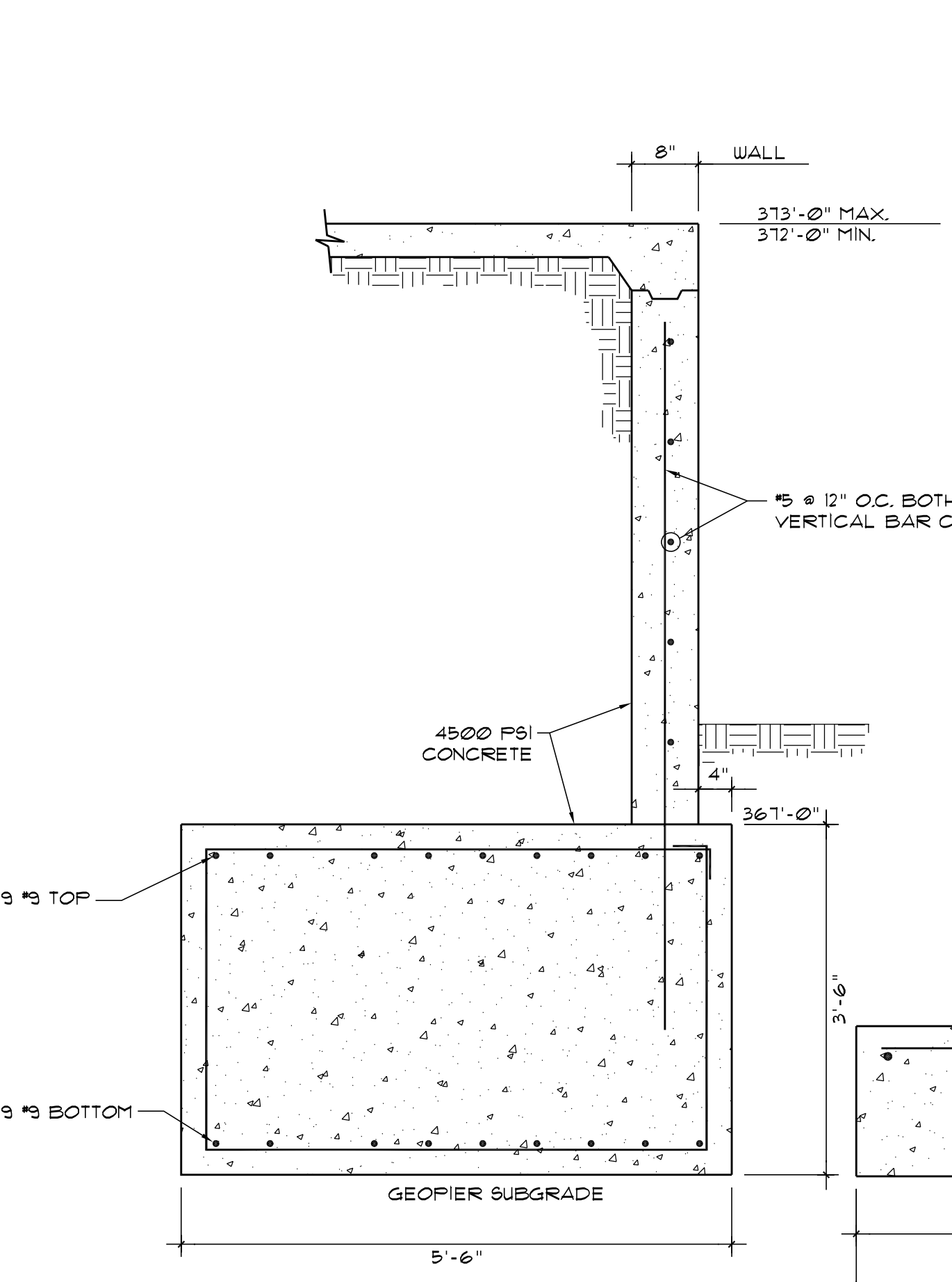
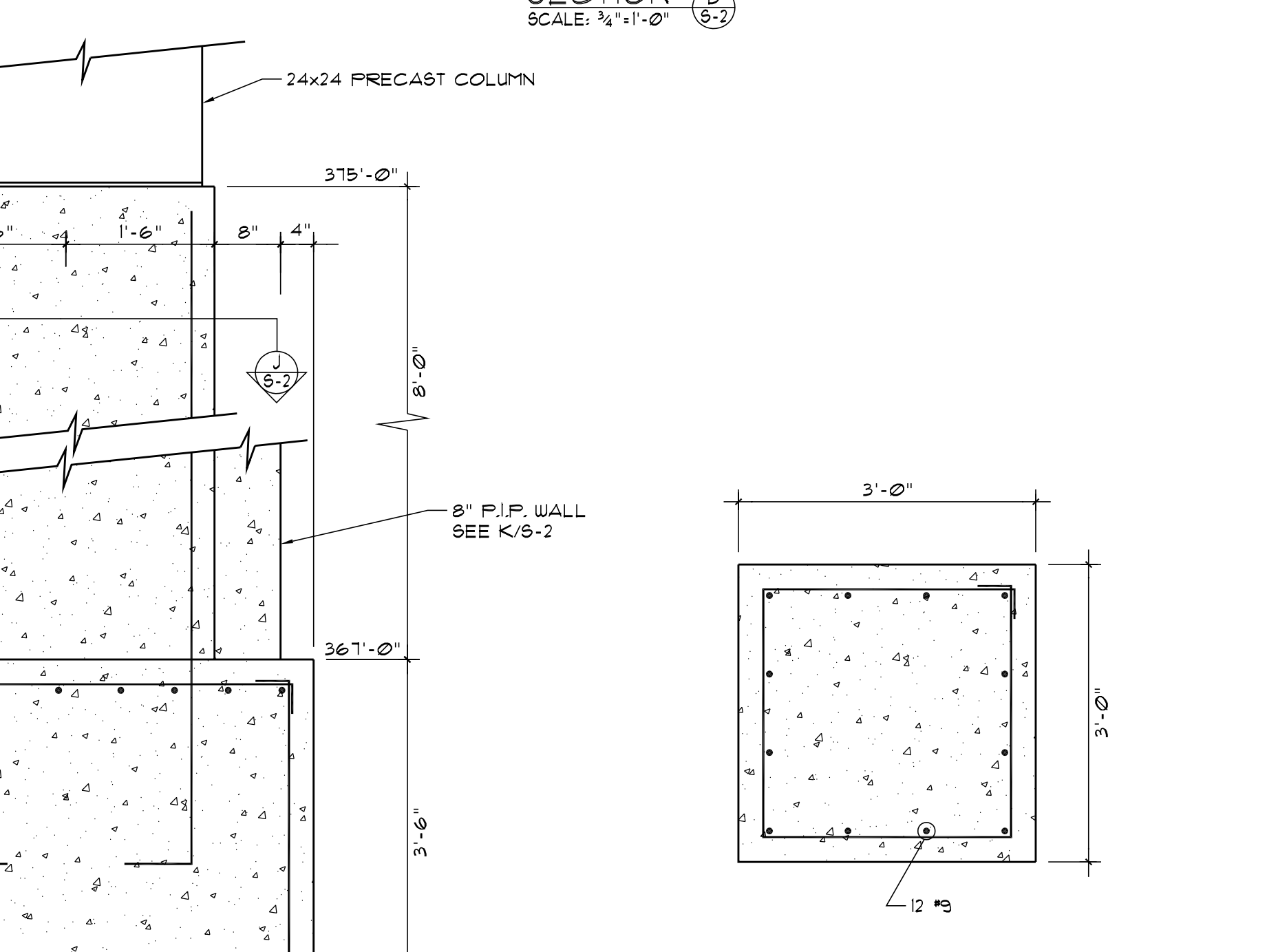
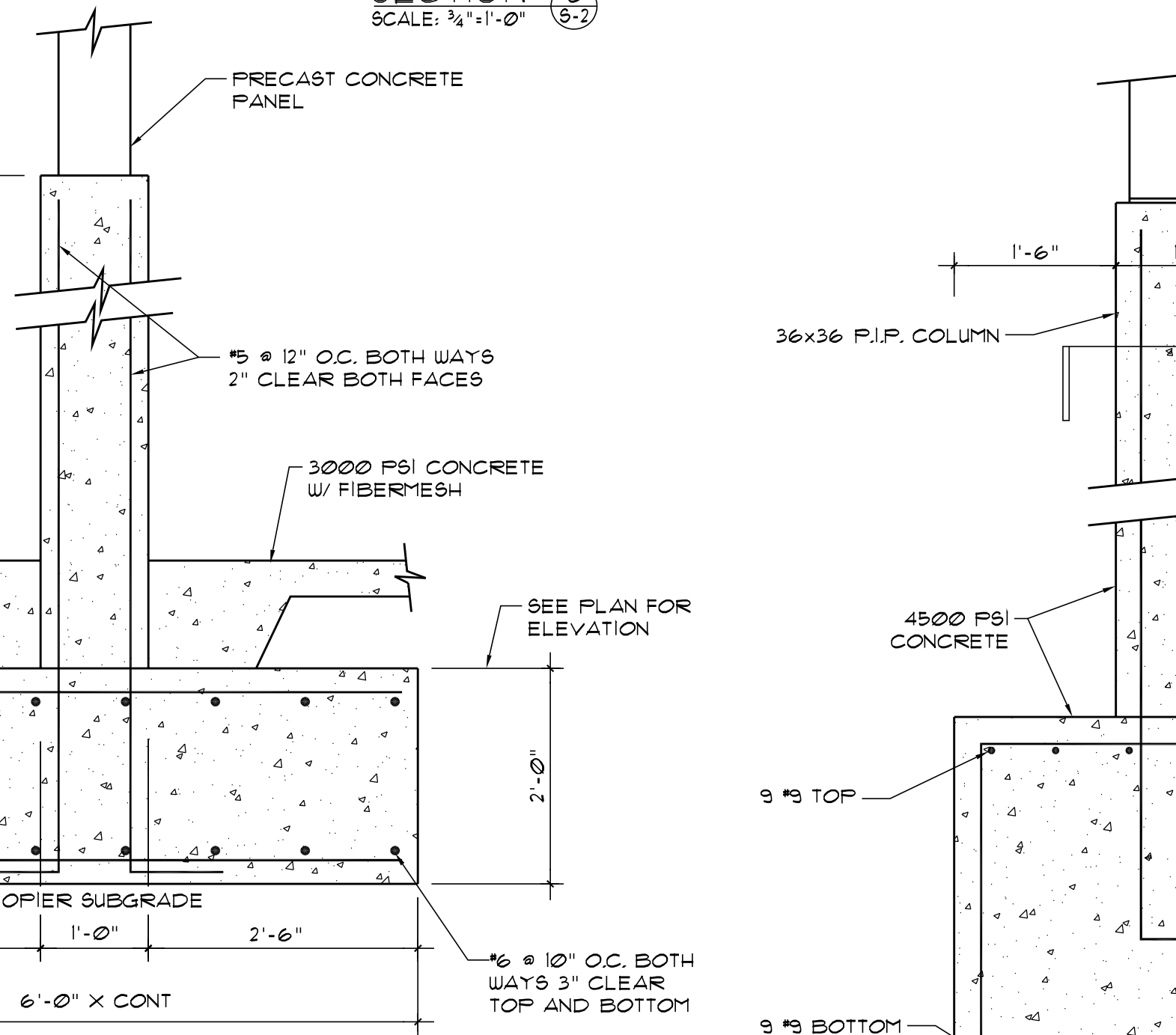
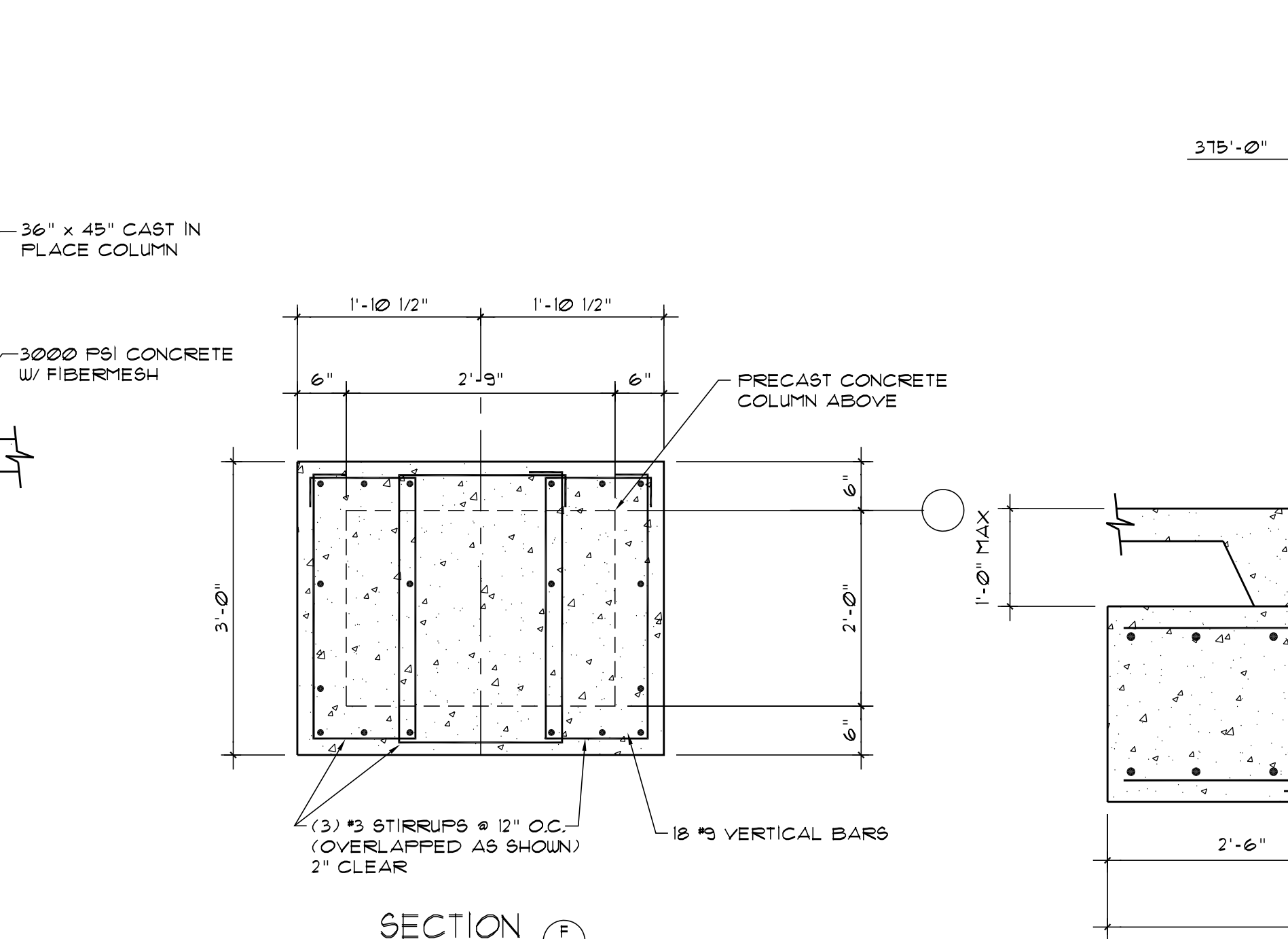
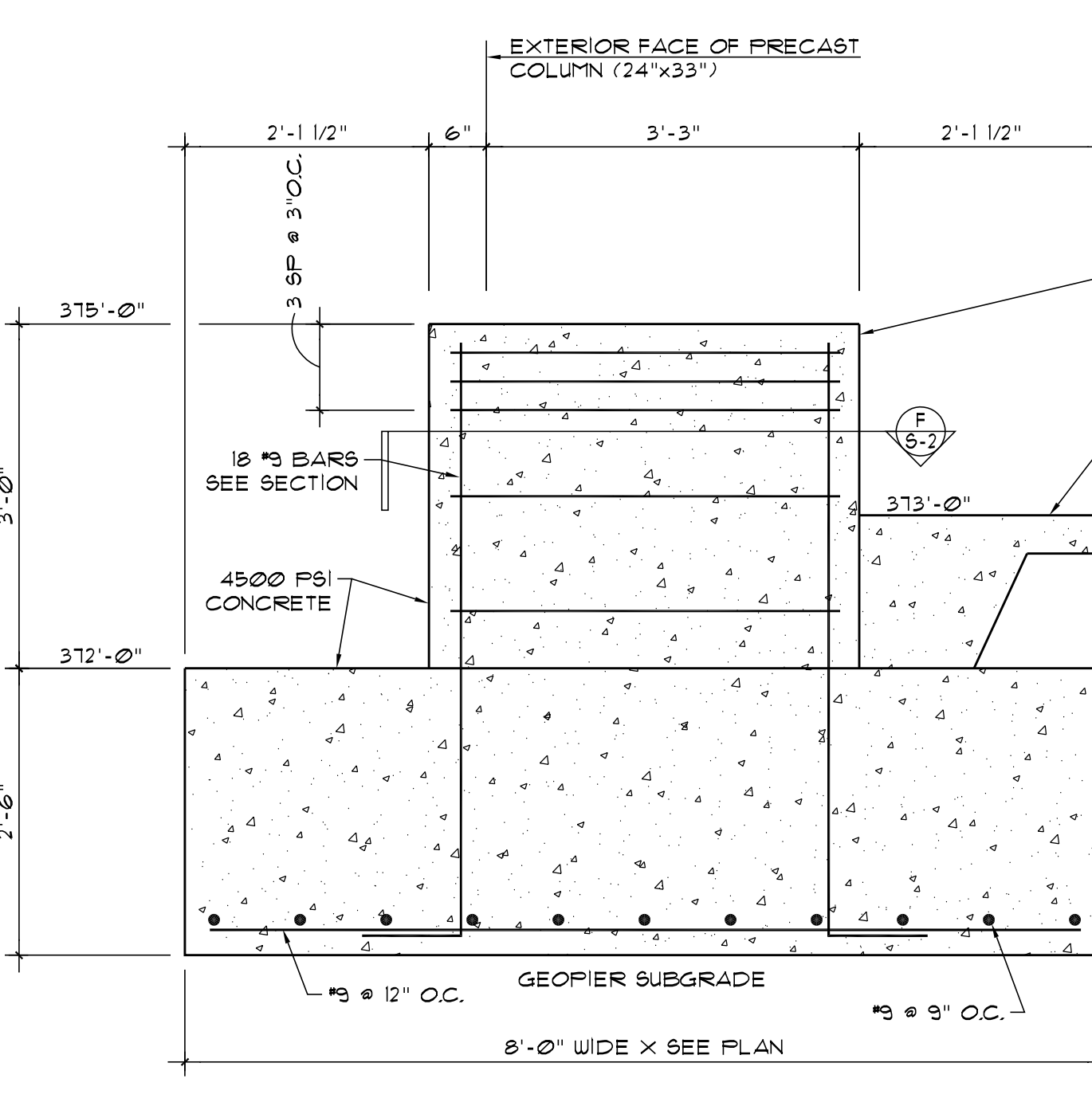
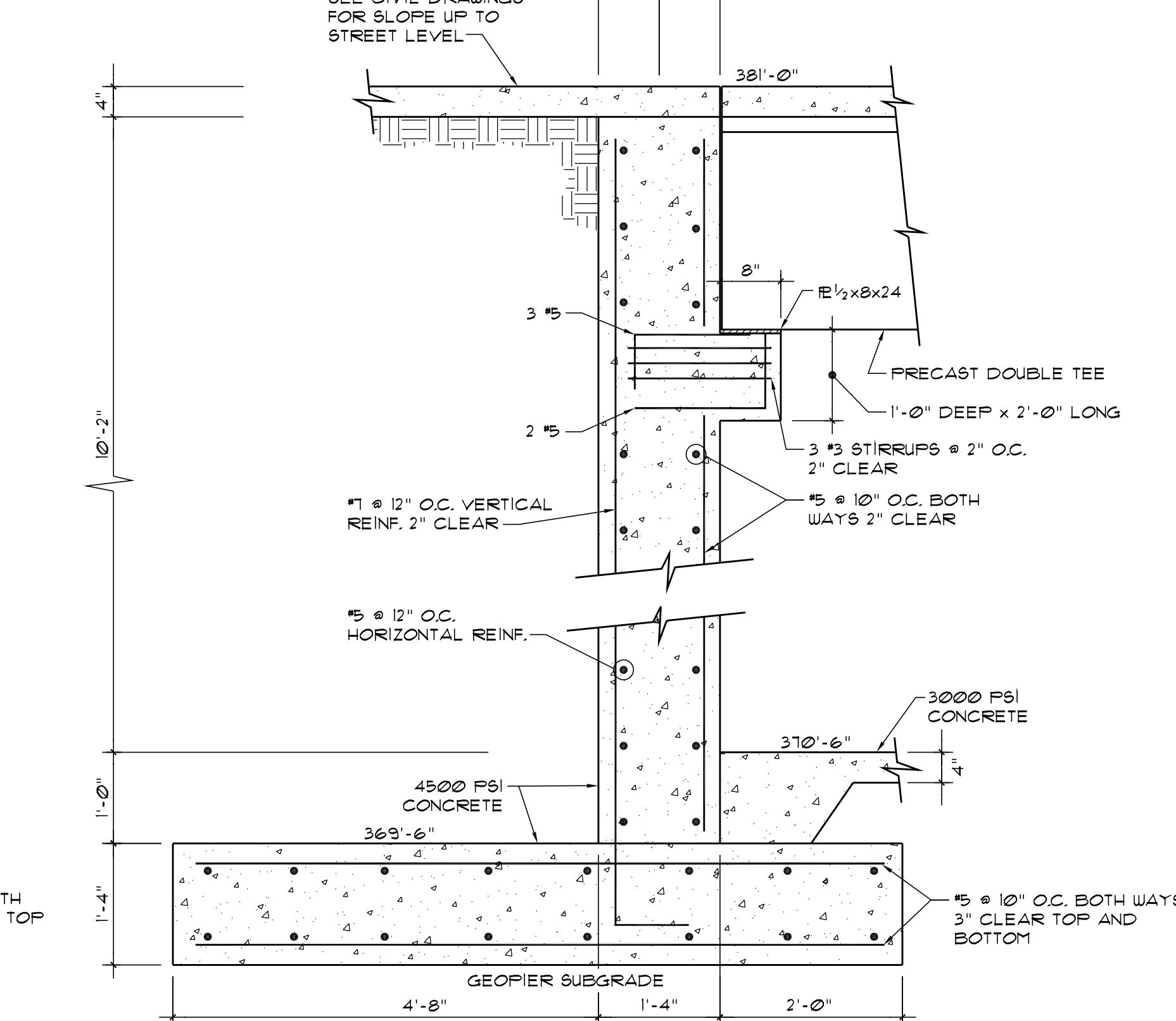
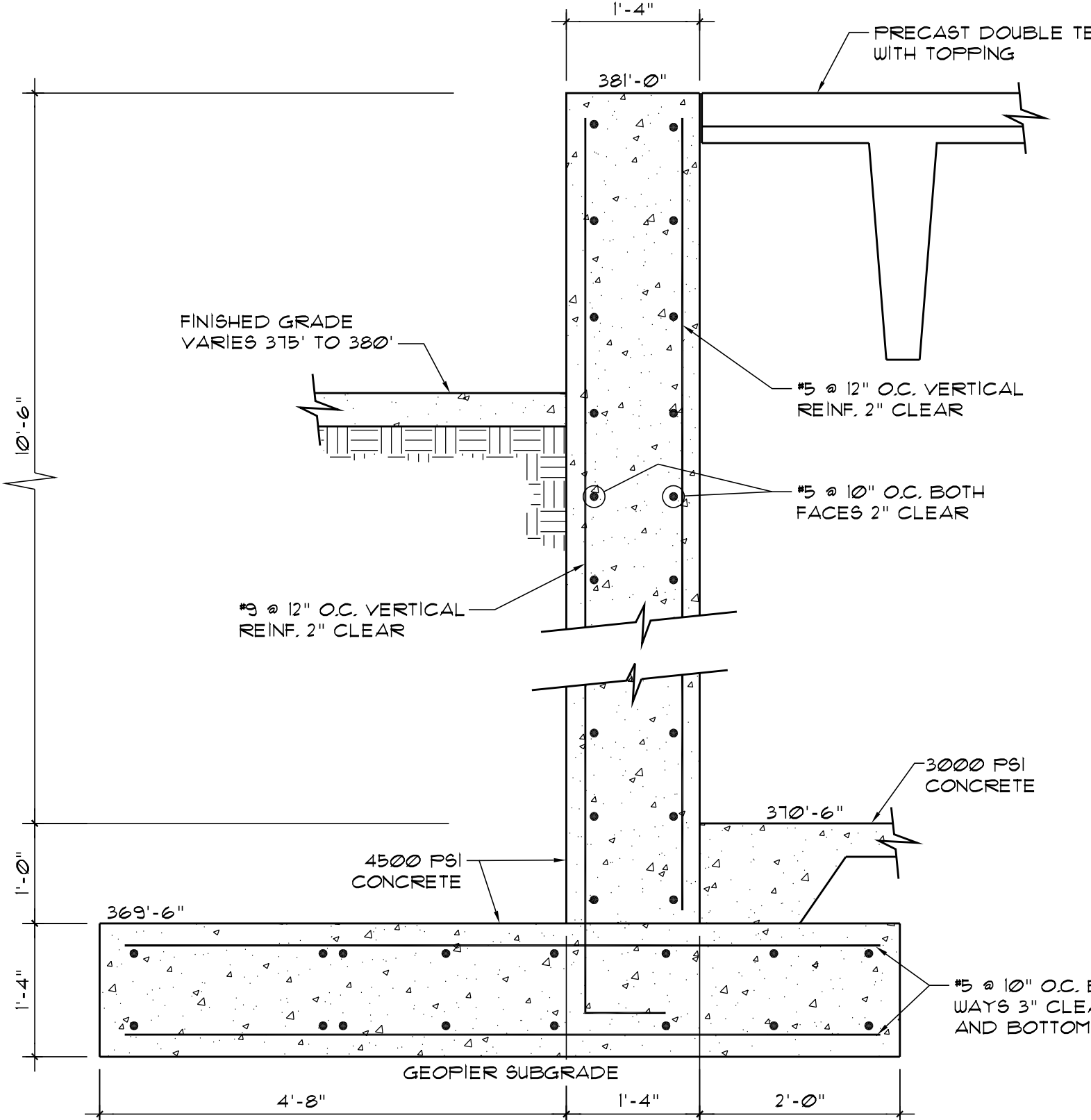
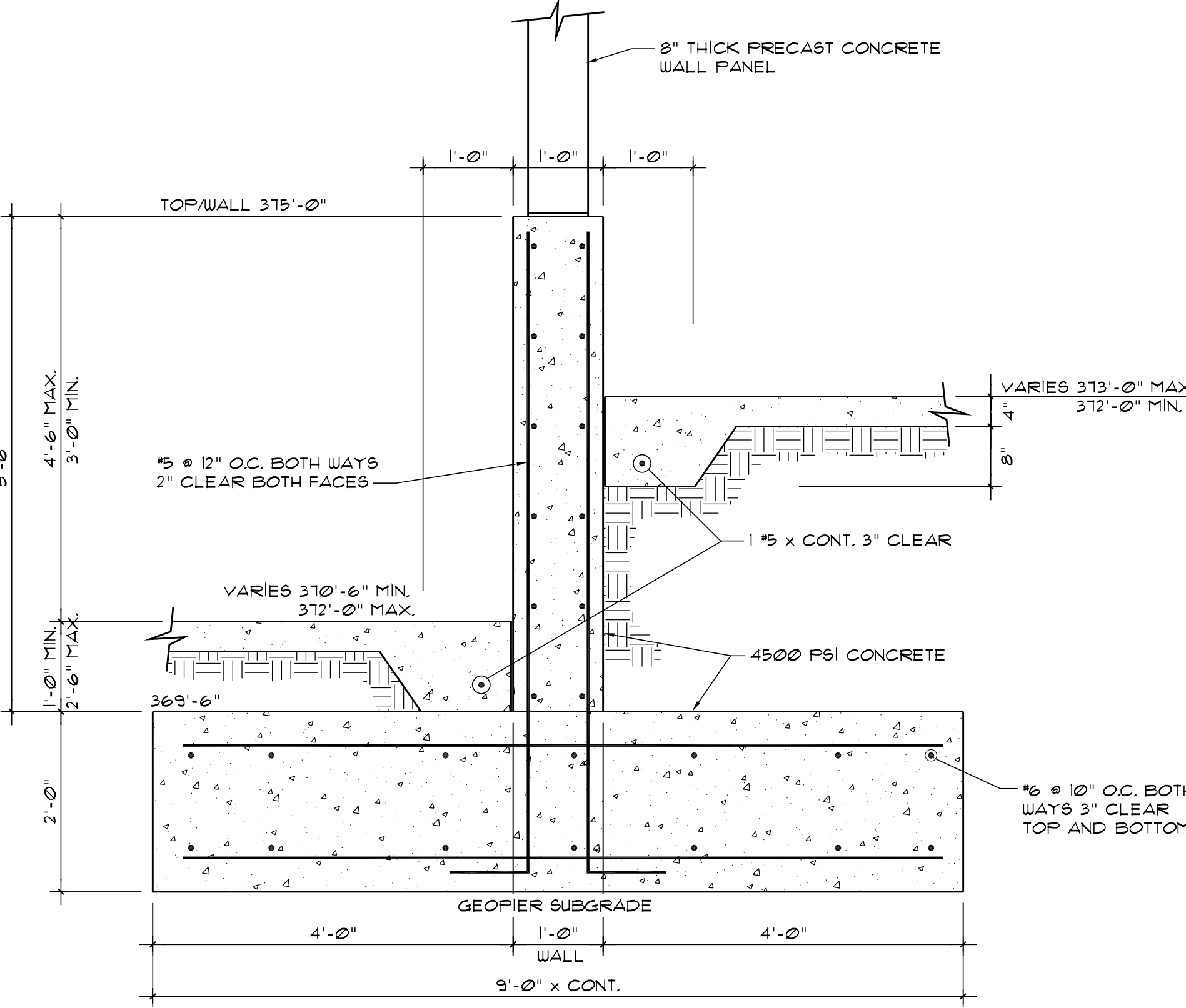
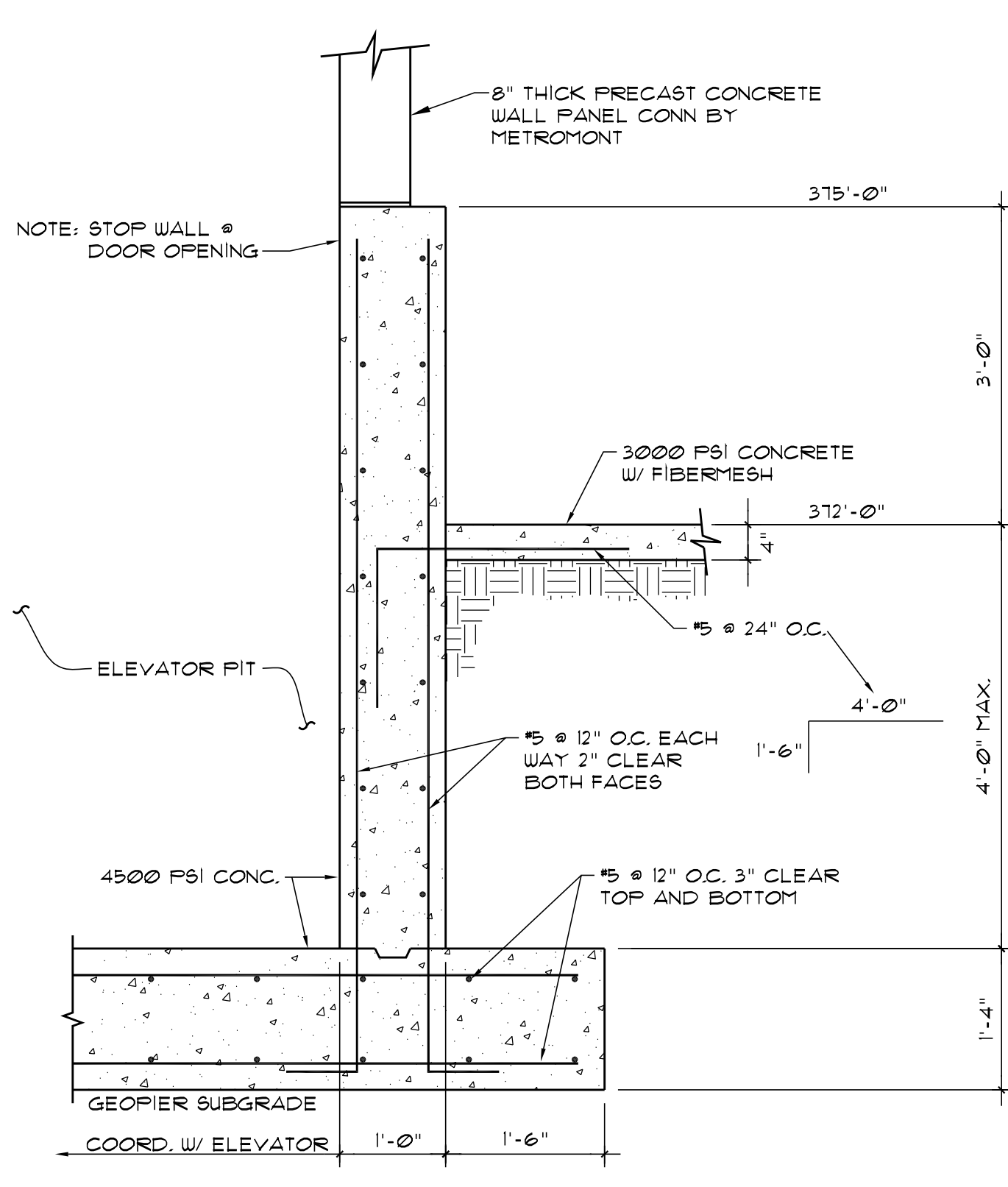
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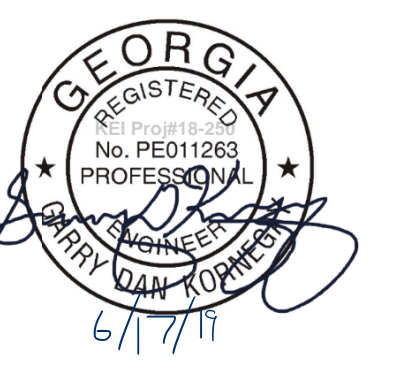
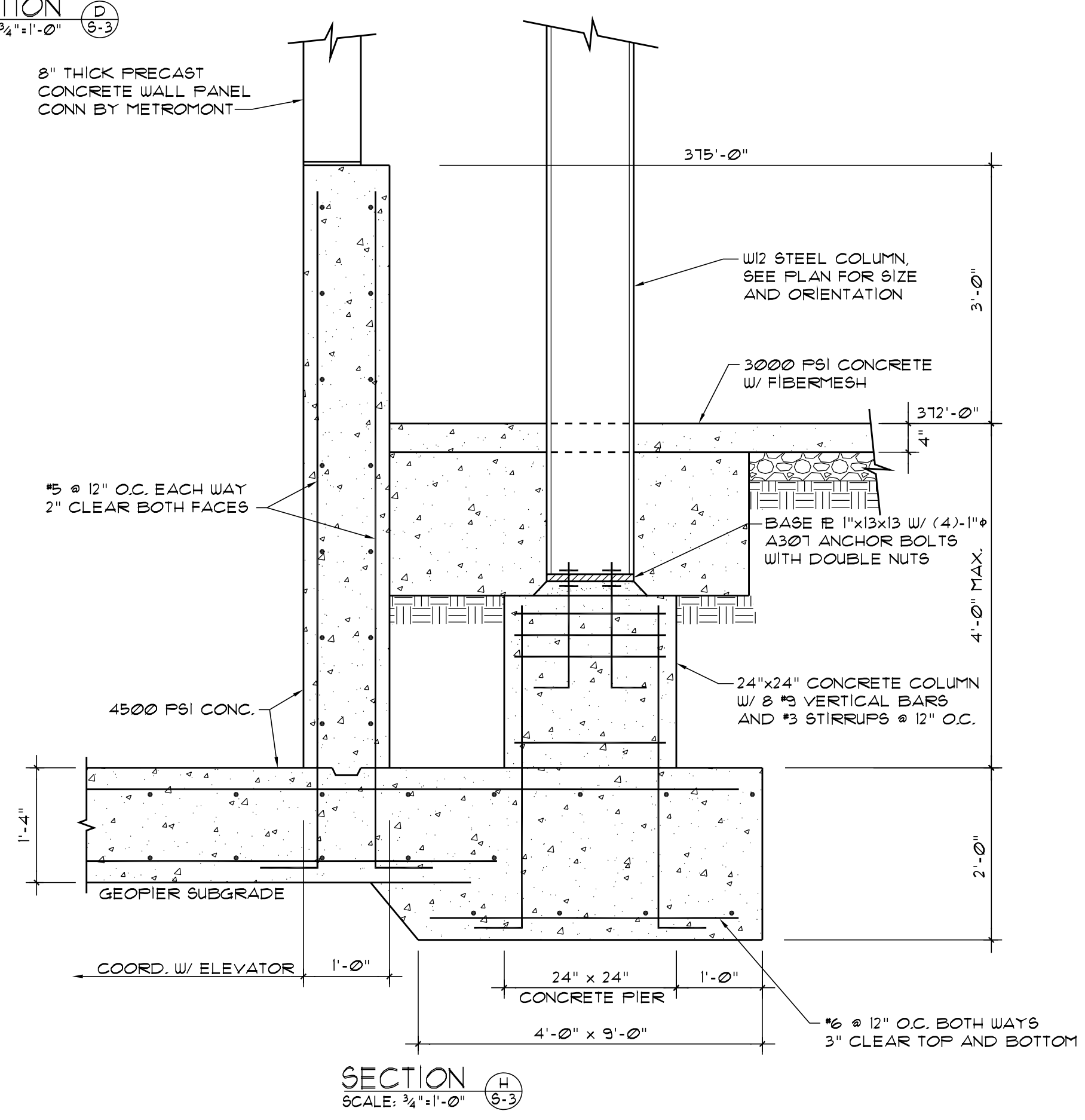
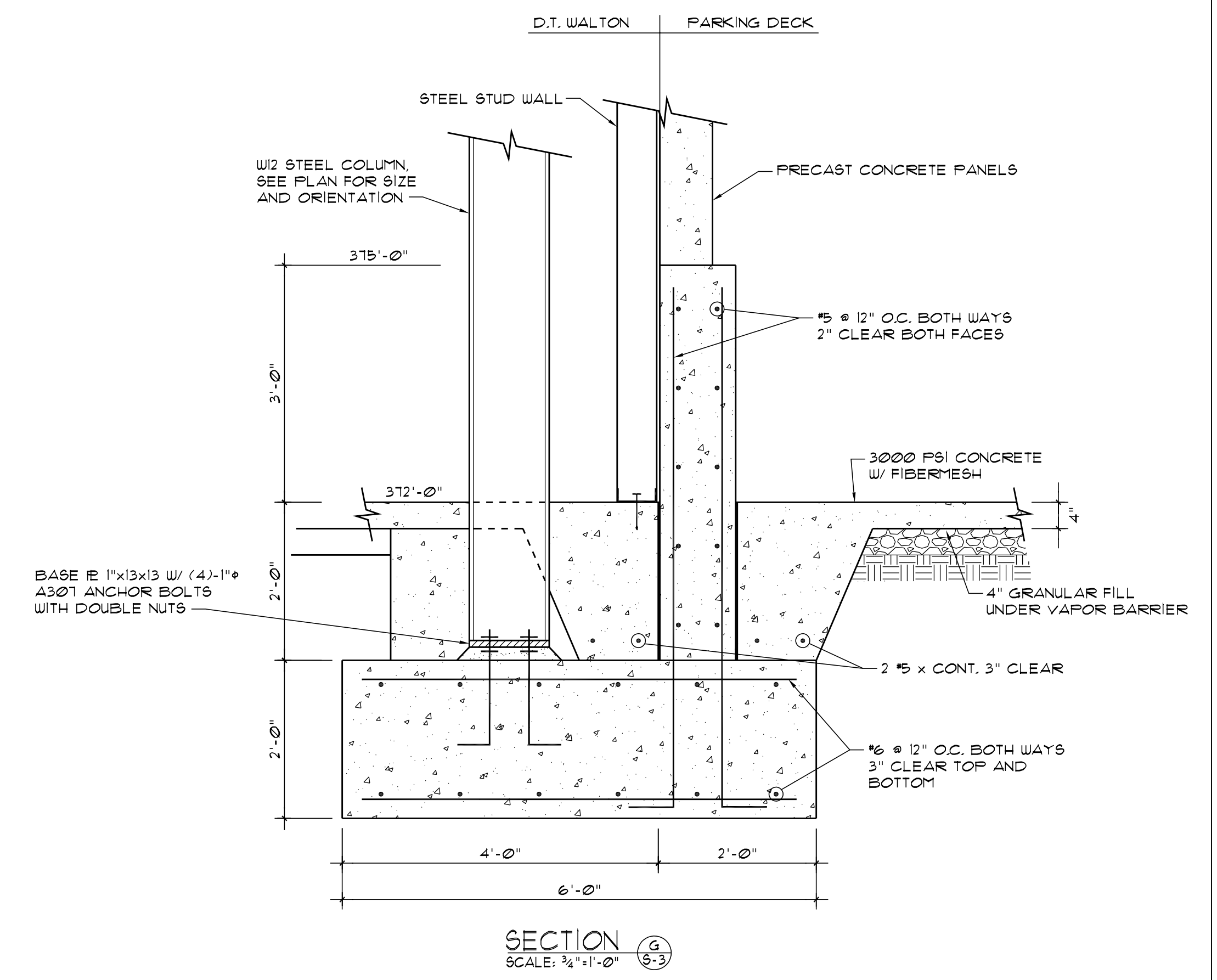
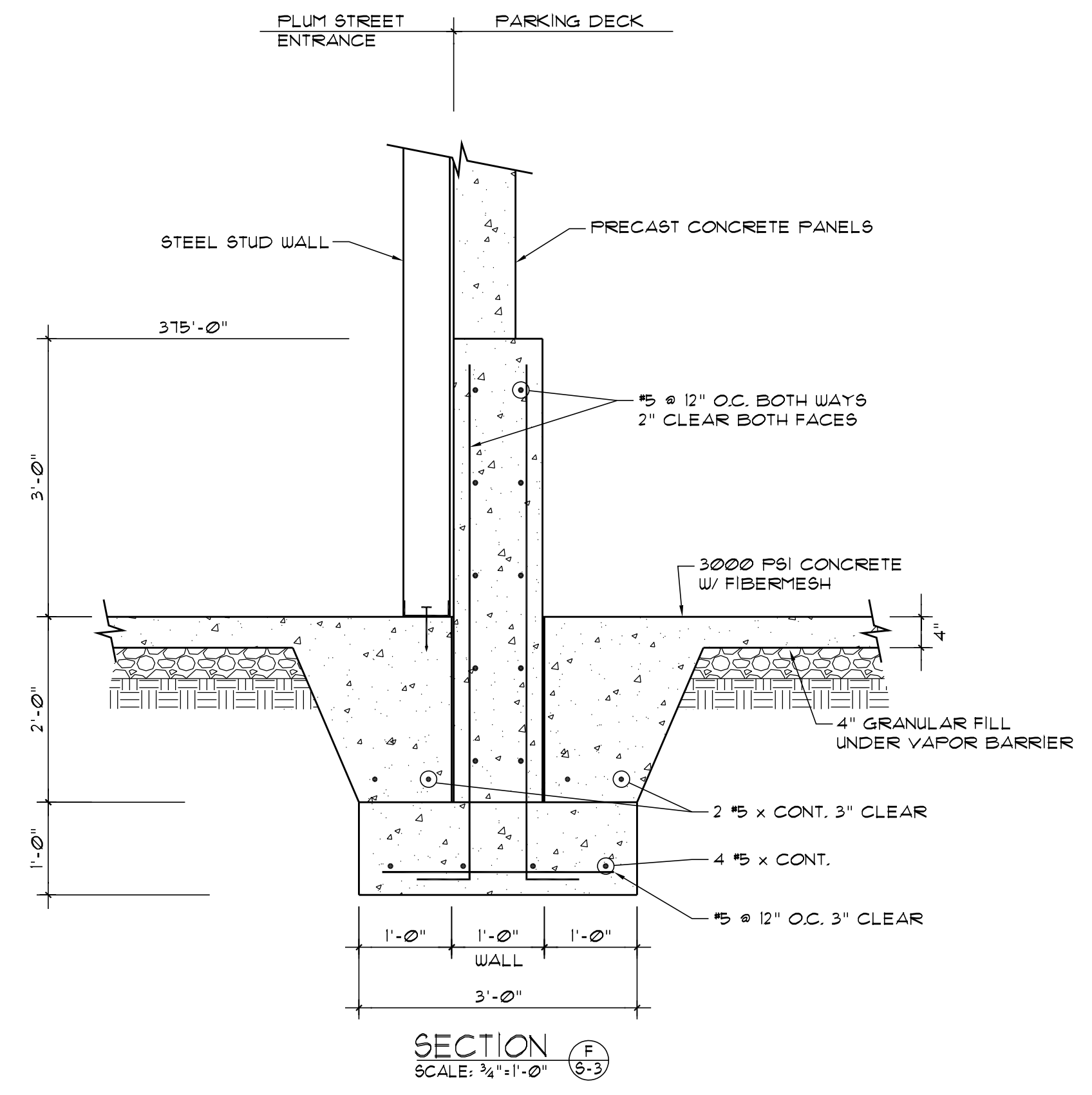
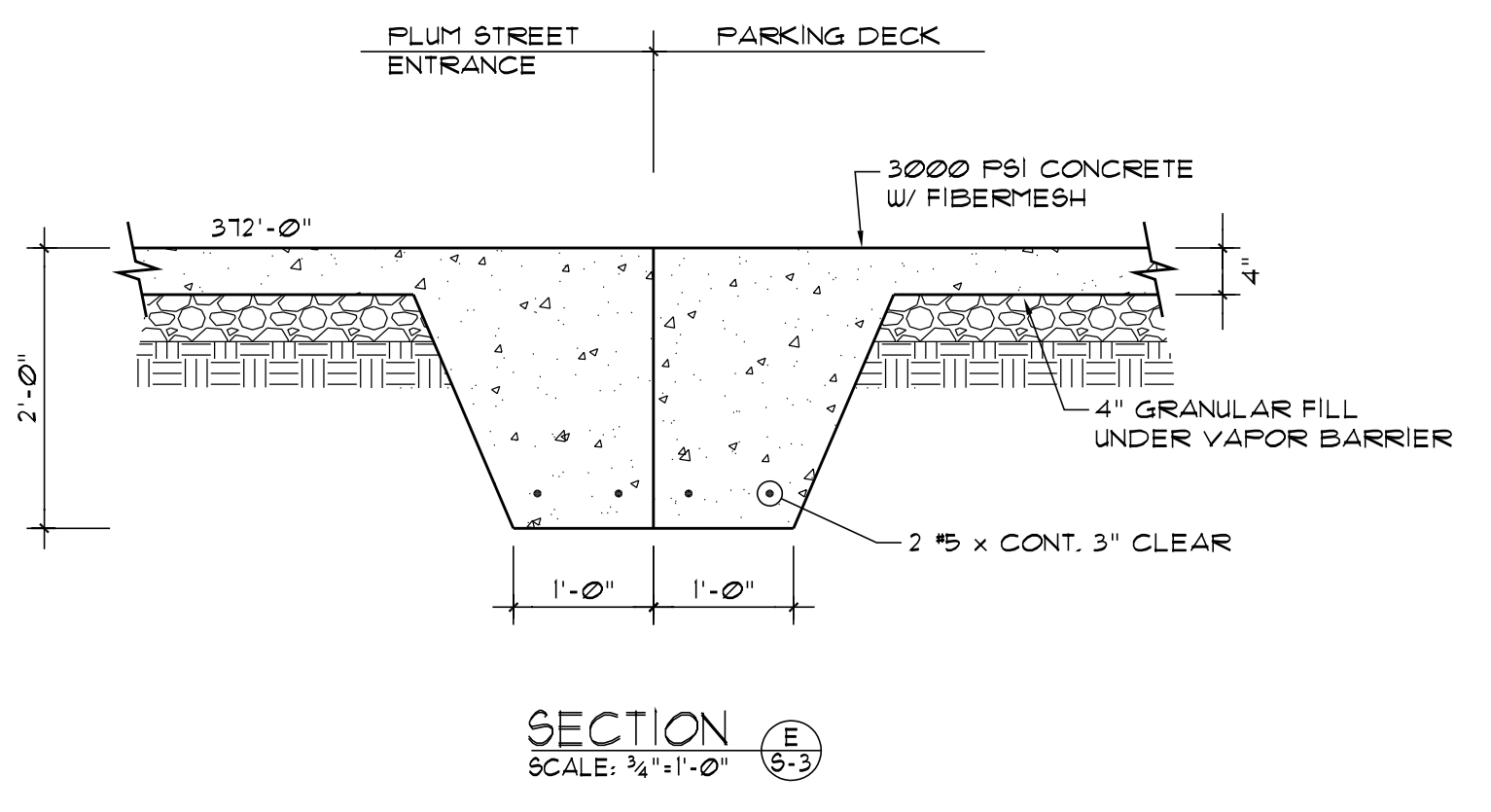
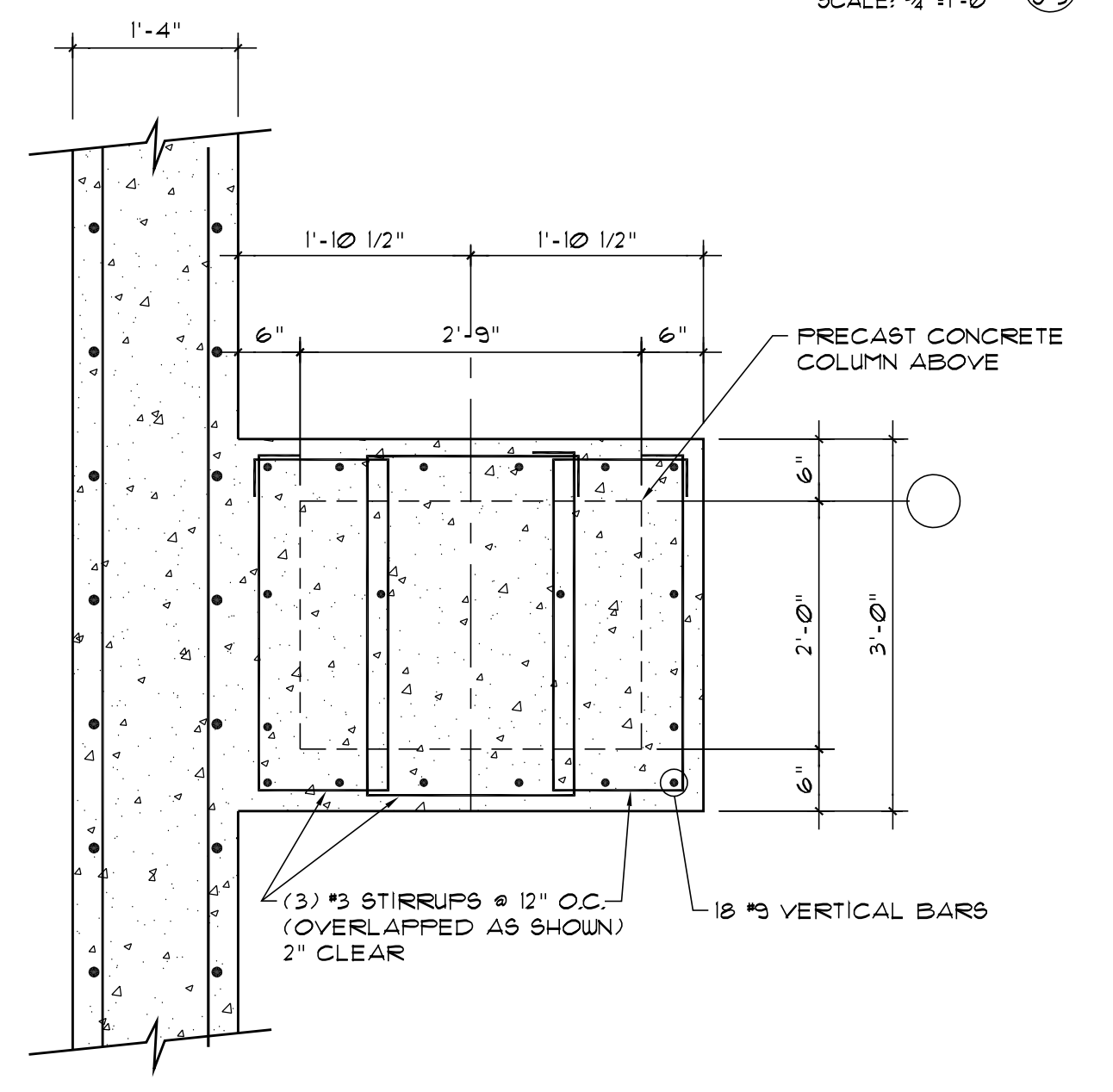
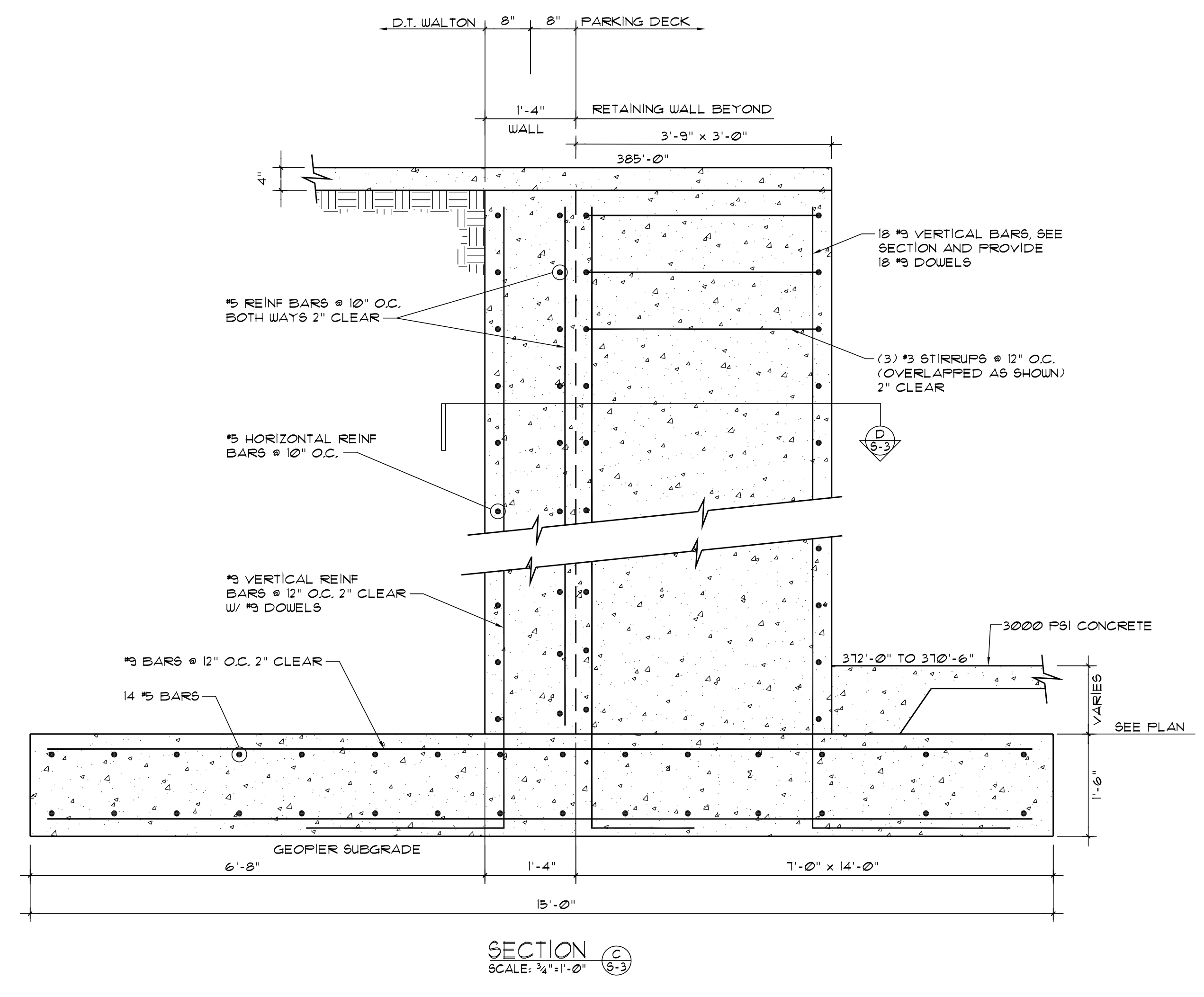
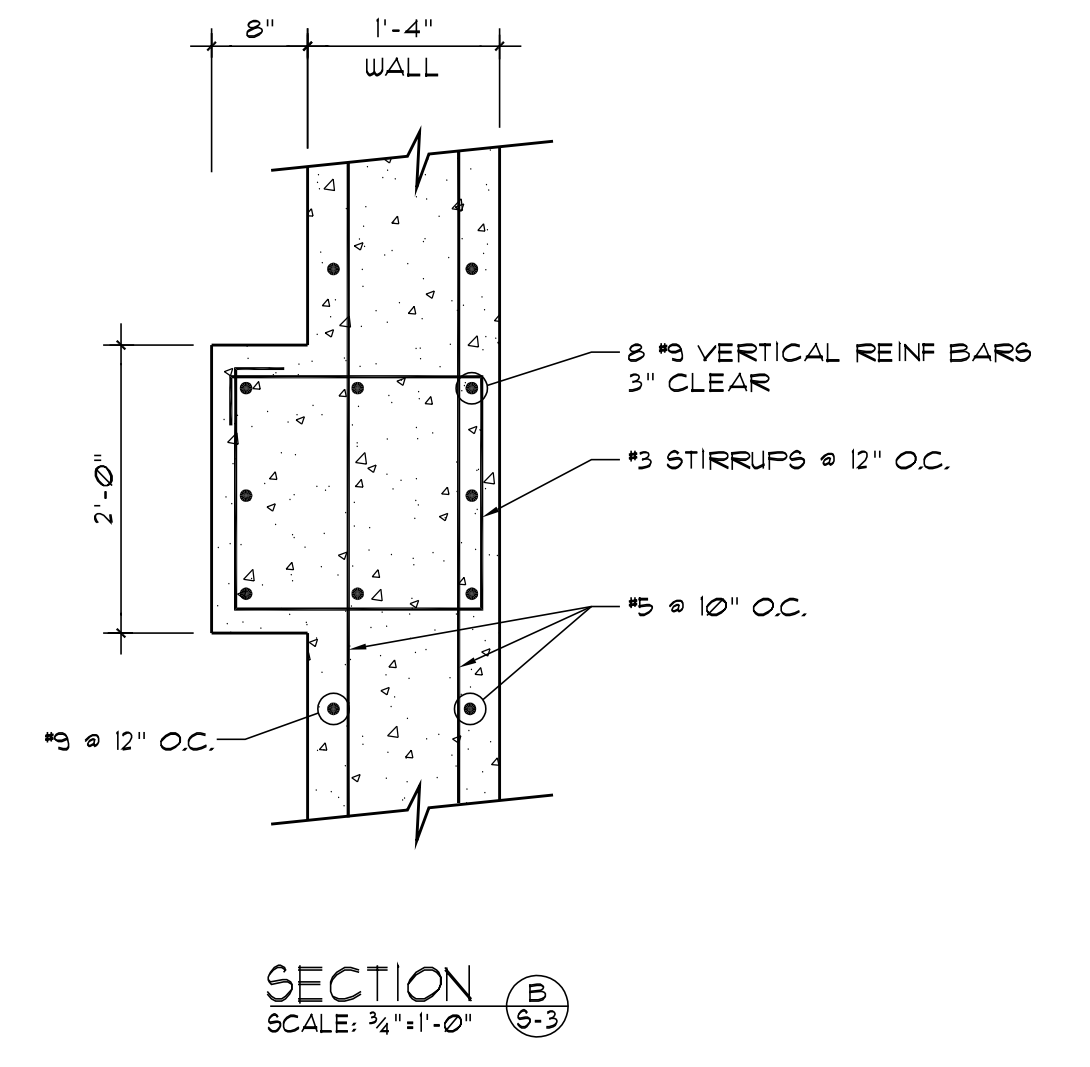
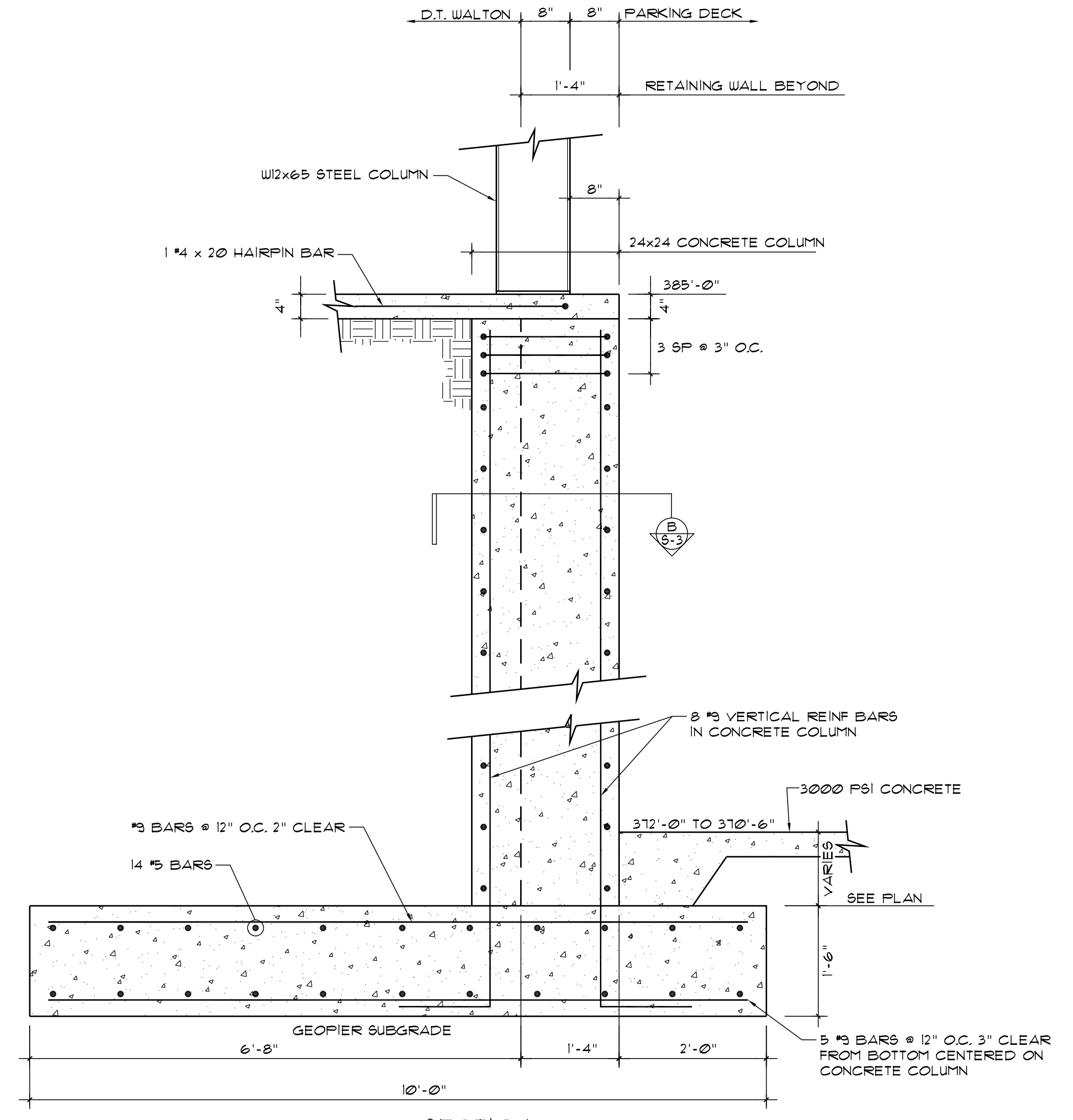
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743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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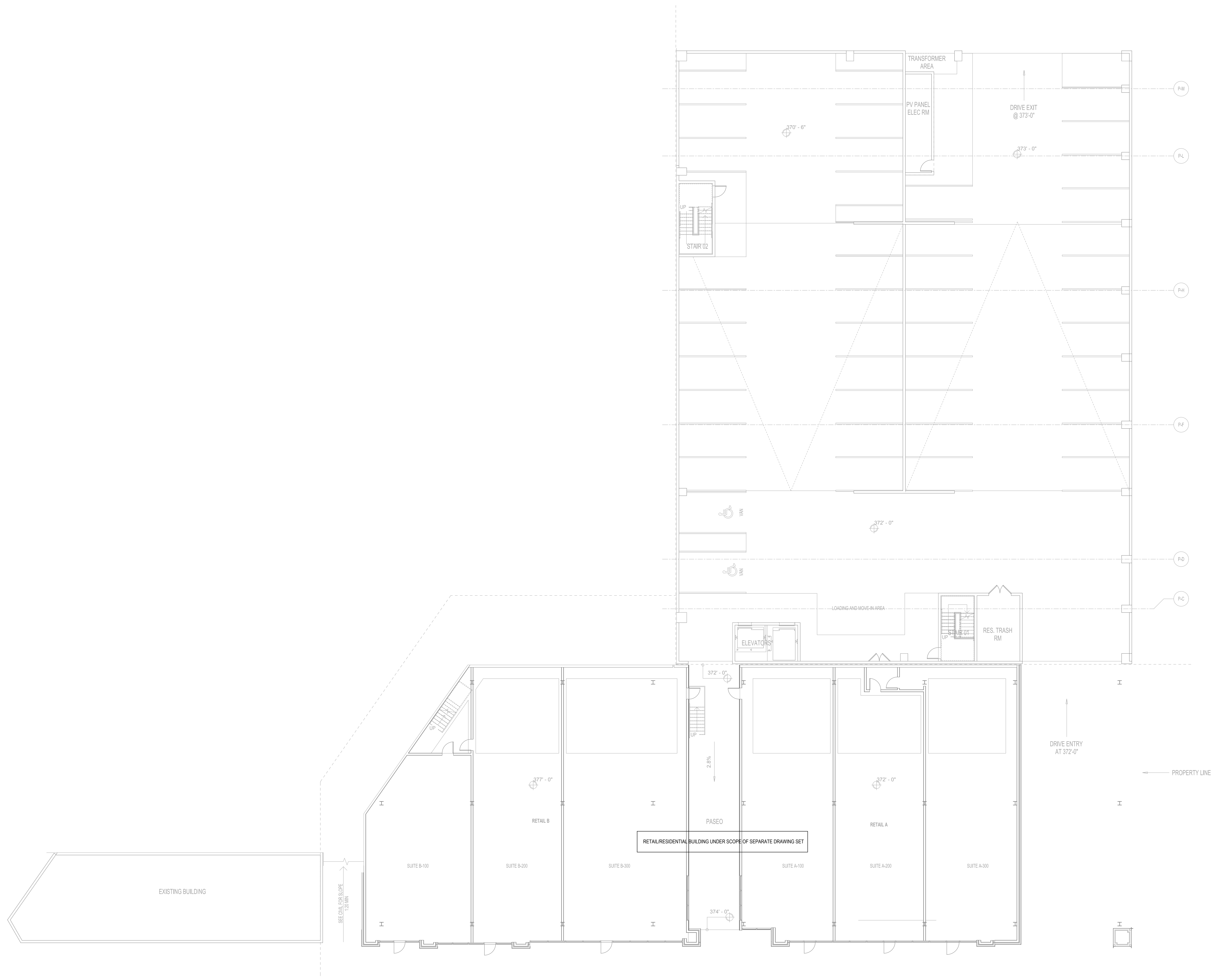
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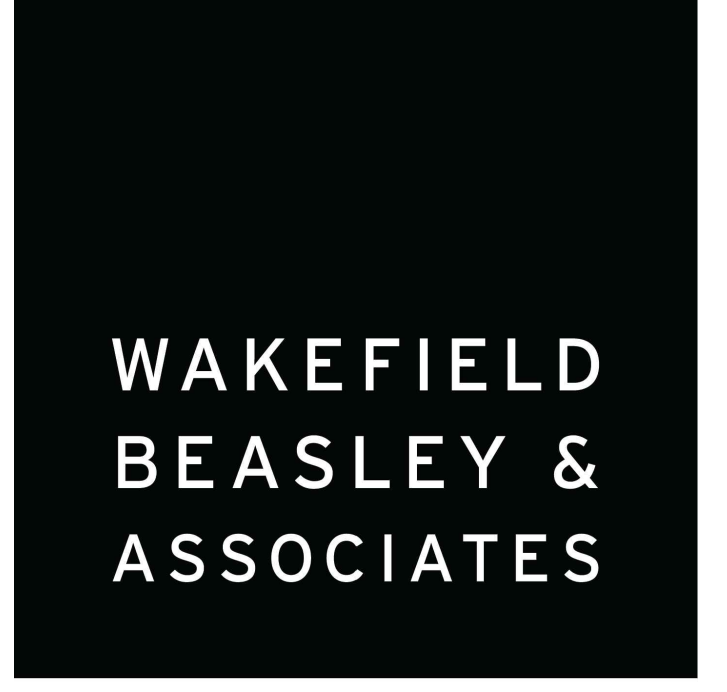
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1 LEVEL 01 - OVERALL - HVAC
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LEVEL 01 - OVERALL - HVAC

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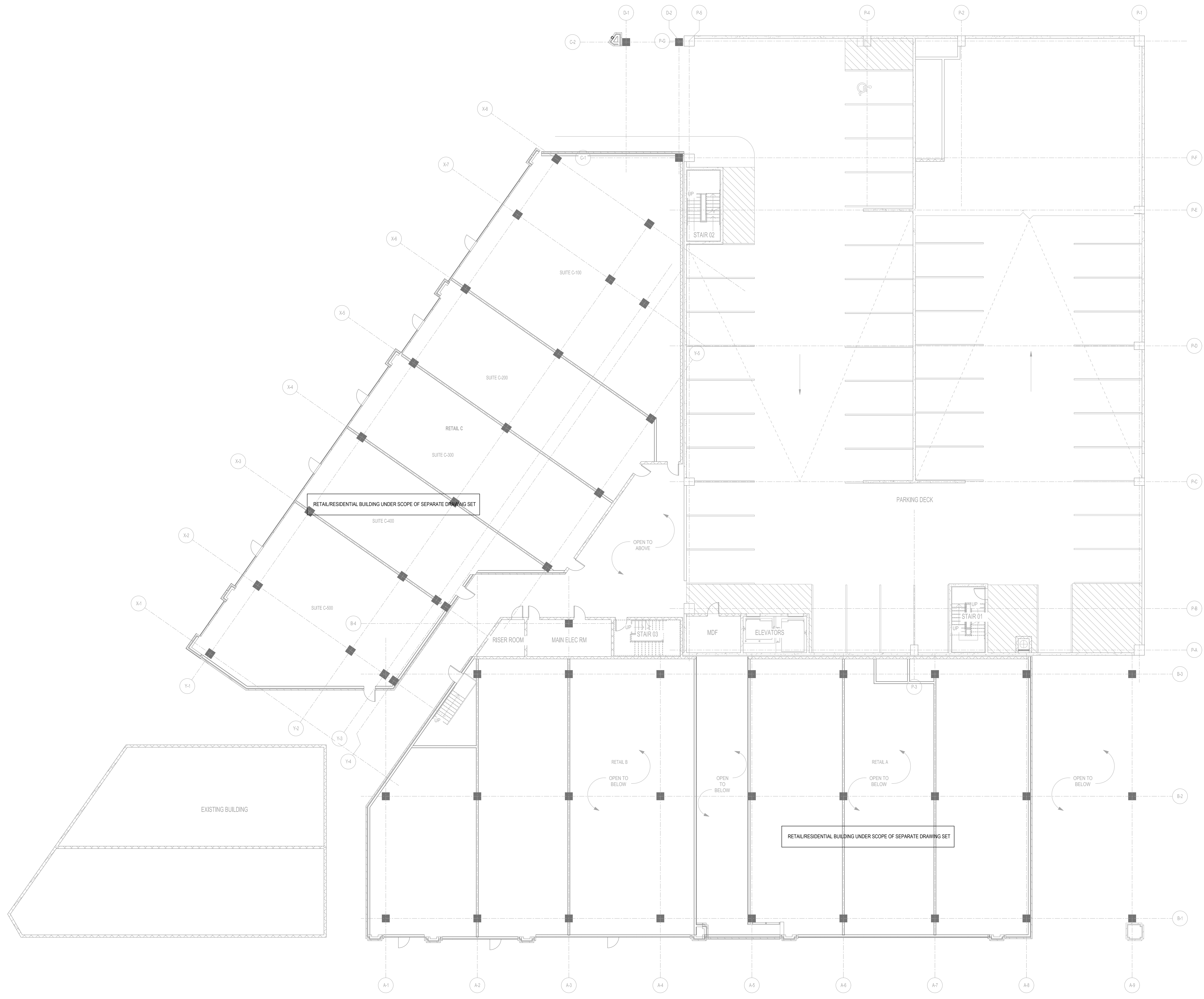
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1 LEVEL 02 - OVERALL - HVAC
SCALE: 3/32" = 1'-0"

JSE Jordan & Skala Engineers
4275 Shattuck Road, Suite 200
Norcross, GA 30093
Tel: (770) 447-5547 Fax: (770) 448-0262
Project Number - 1710426 Drawn By: CLG Checked By: RWL

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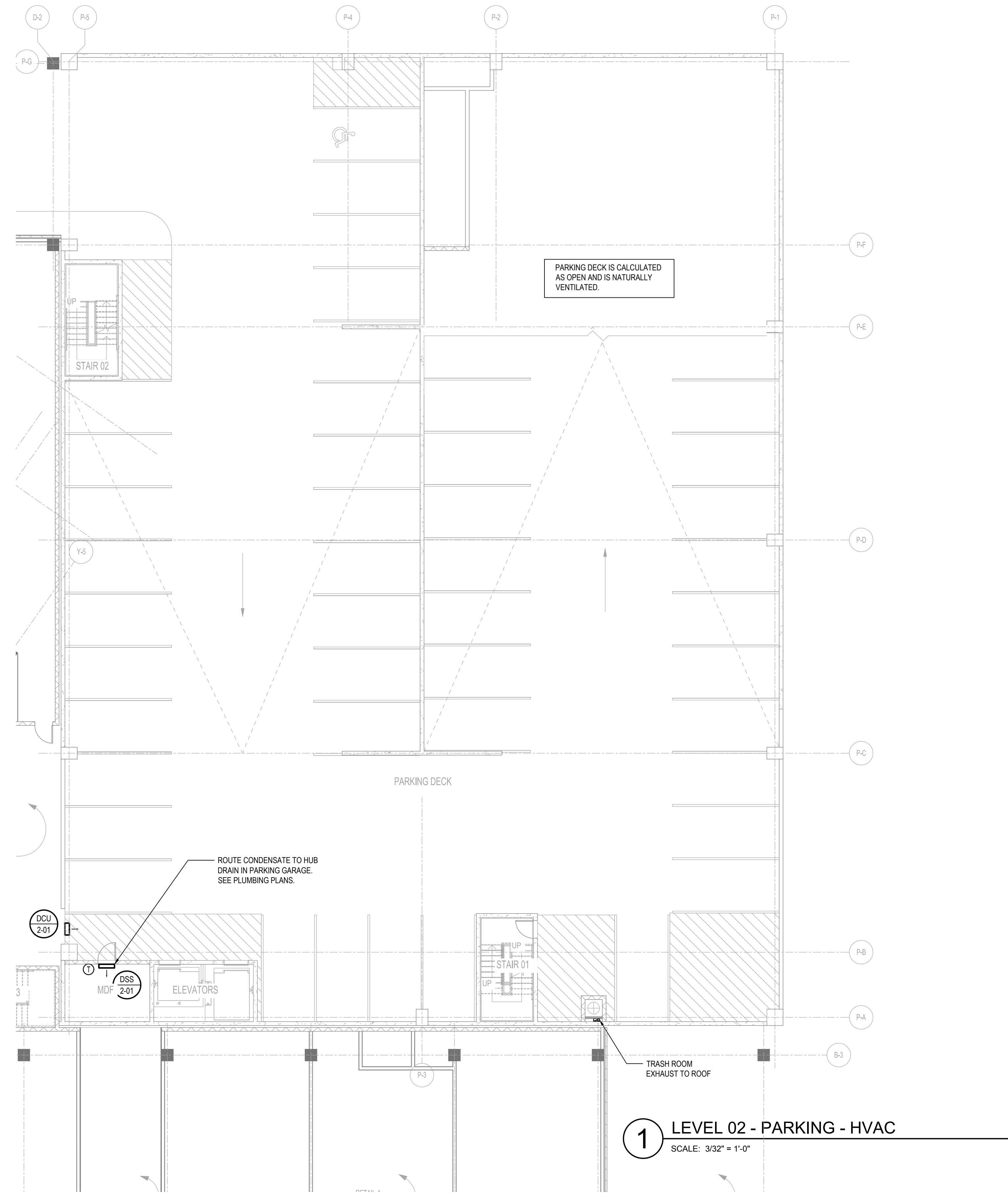
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08/31/2017	1603094.000

Sheet Title
LEVEL 02 - OVERALL - HVAC

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Date 08/31/2017 Job No. 1603094.000

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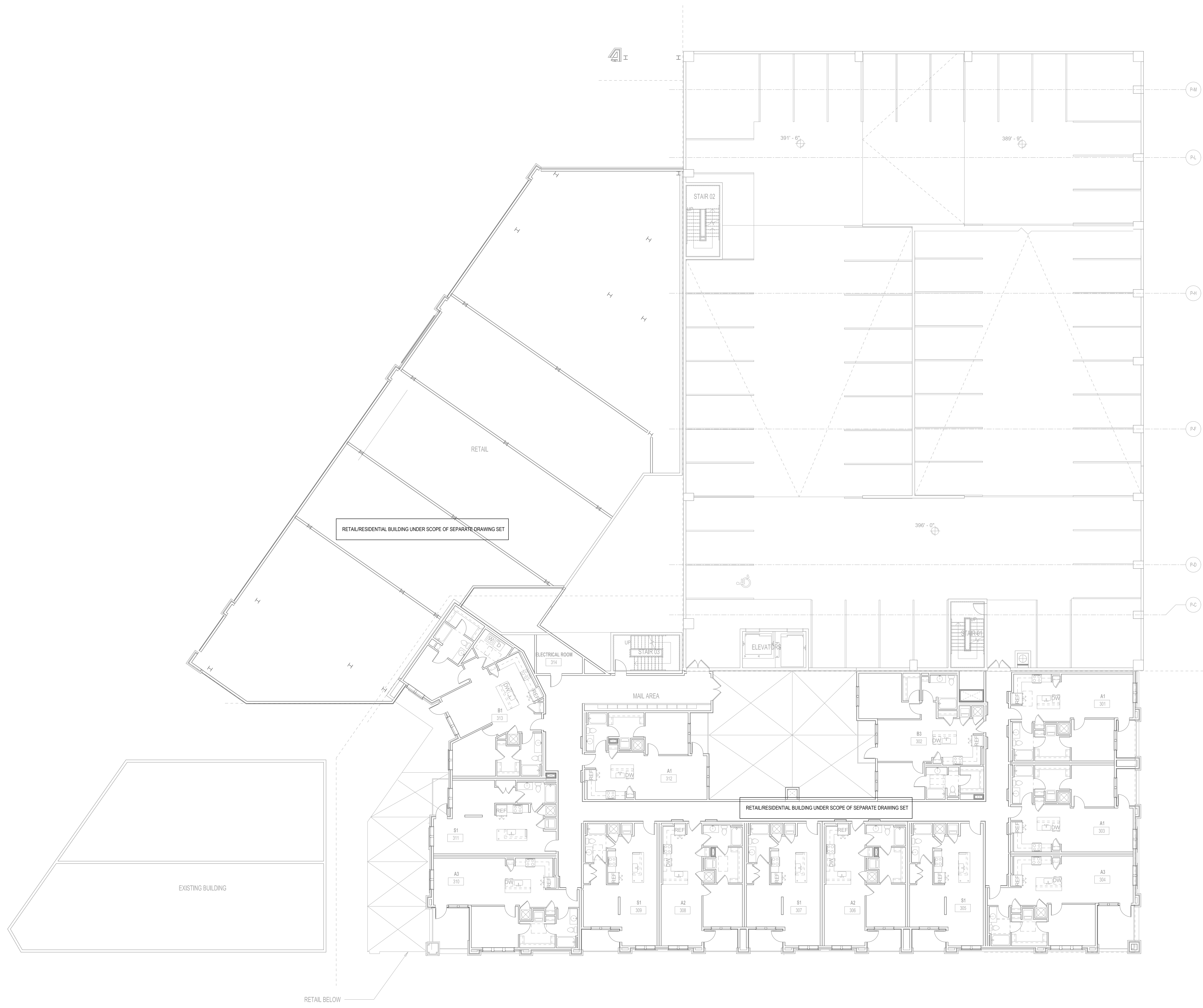
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1 LEVEL 03 - OVERALL - HVAC
 SCALE: 3/32" = 1'-0"

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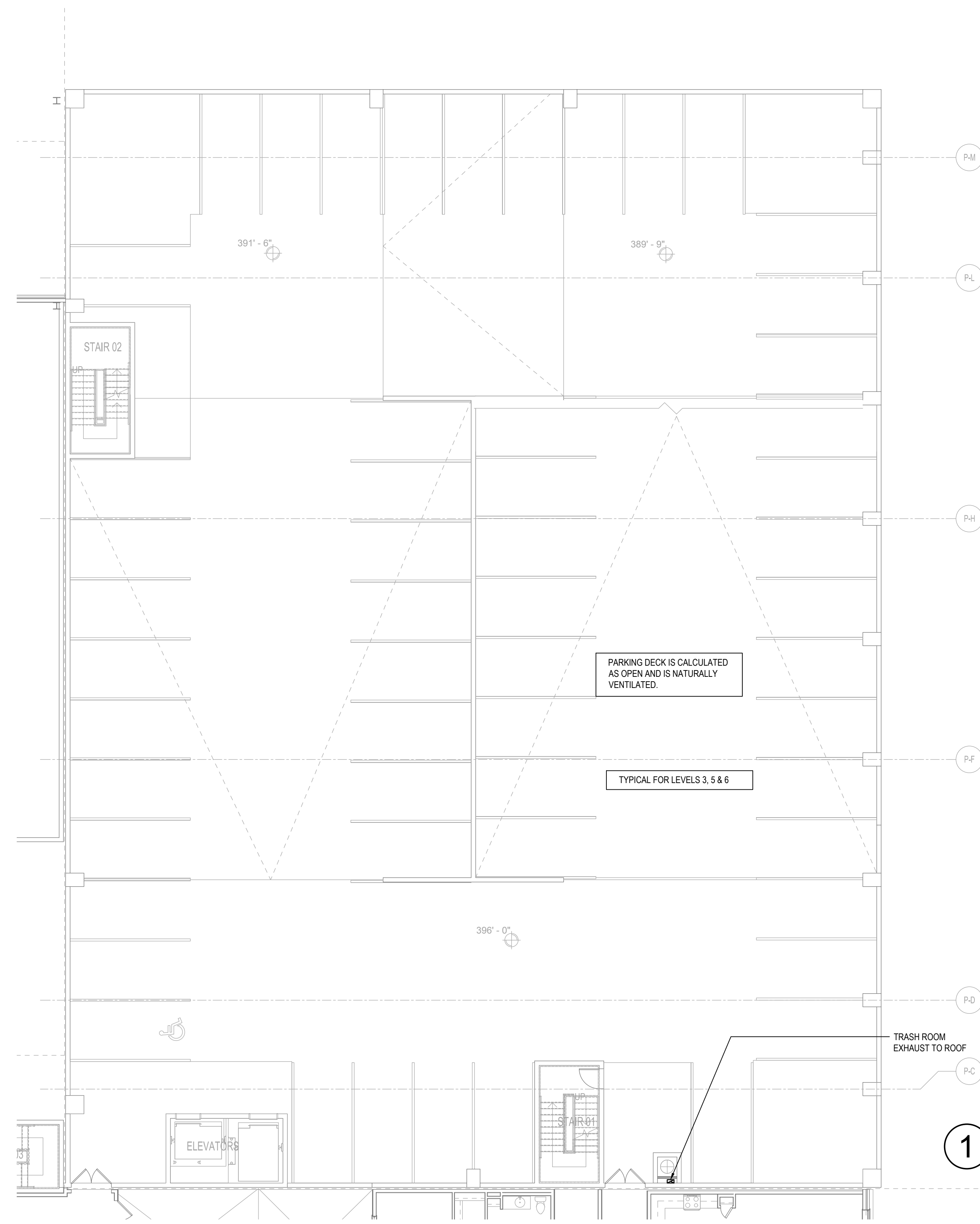
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LEVEL 03 - OVERALL - HVAC

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1 LEVEL 03 - PARKING - HVAC
 SCALE: 3/32" = 1'-0"

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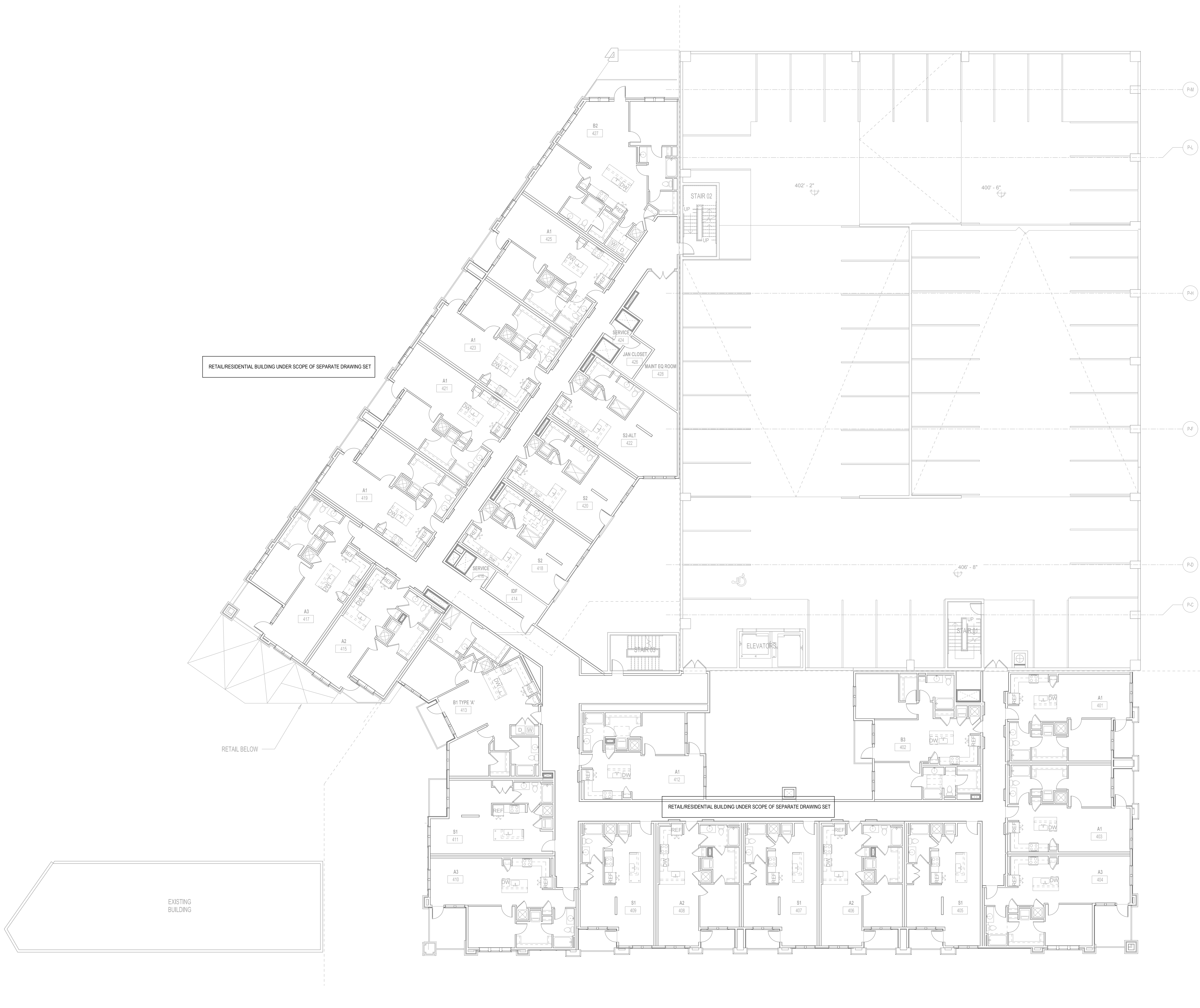
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1 LEVEL 04 - OVERALL - HVAC
SCALE: 3/32" = 1'-0"

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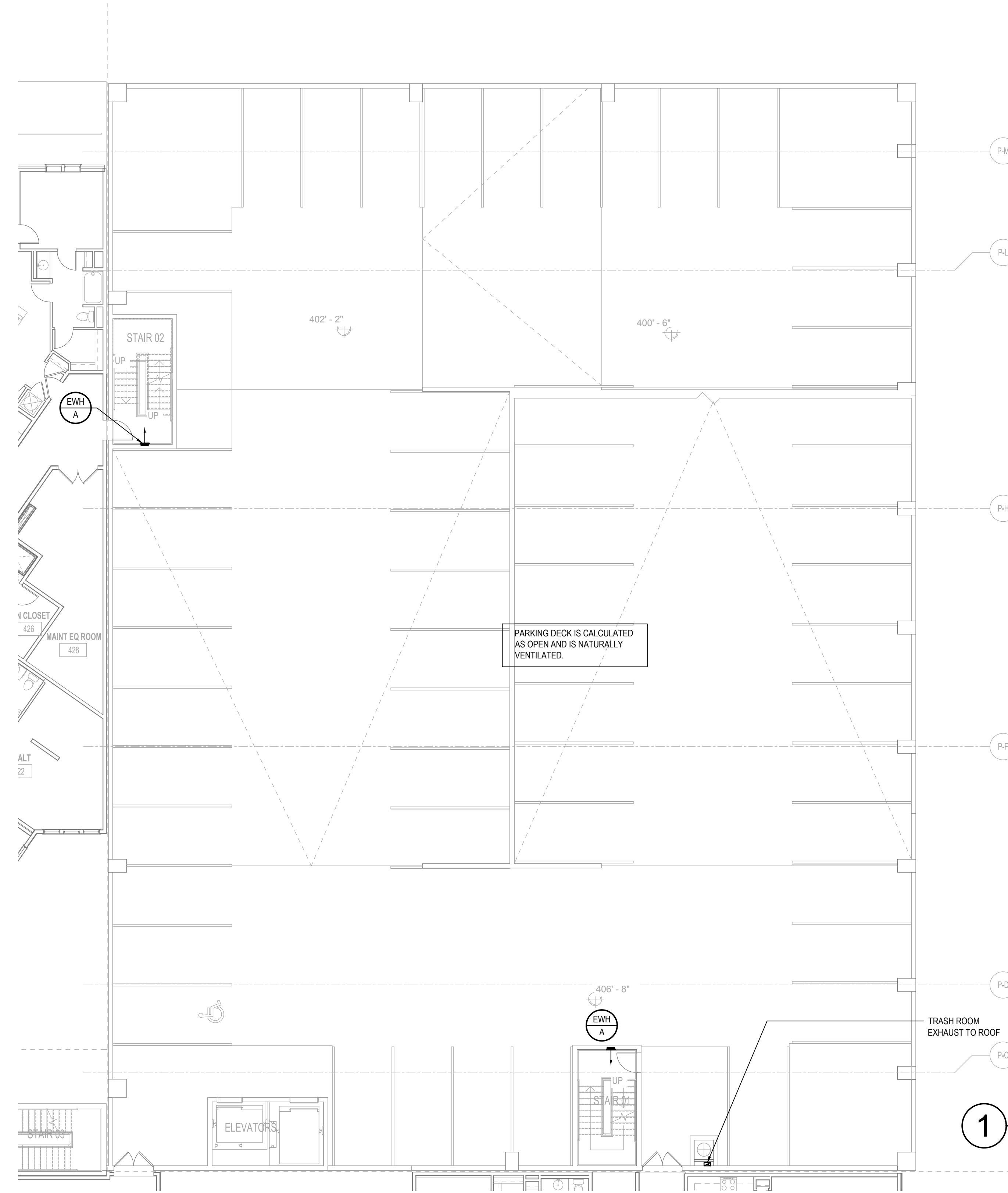
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1 LEVEL 04 - PARKING - HVAC
 SCALE: 3/32" = 1'-0"

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Sheet Title
LEVEL 04 - PARKING - HVAC

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M1-43

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1 LEVEL 07 - OVERALL - HVAC
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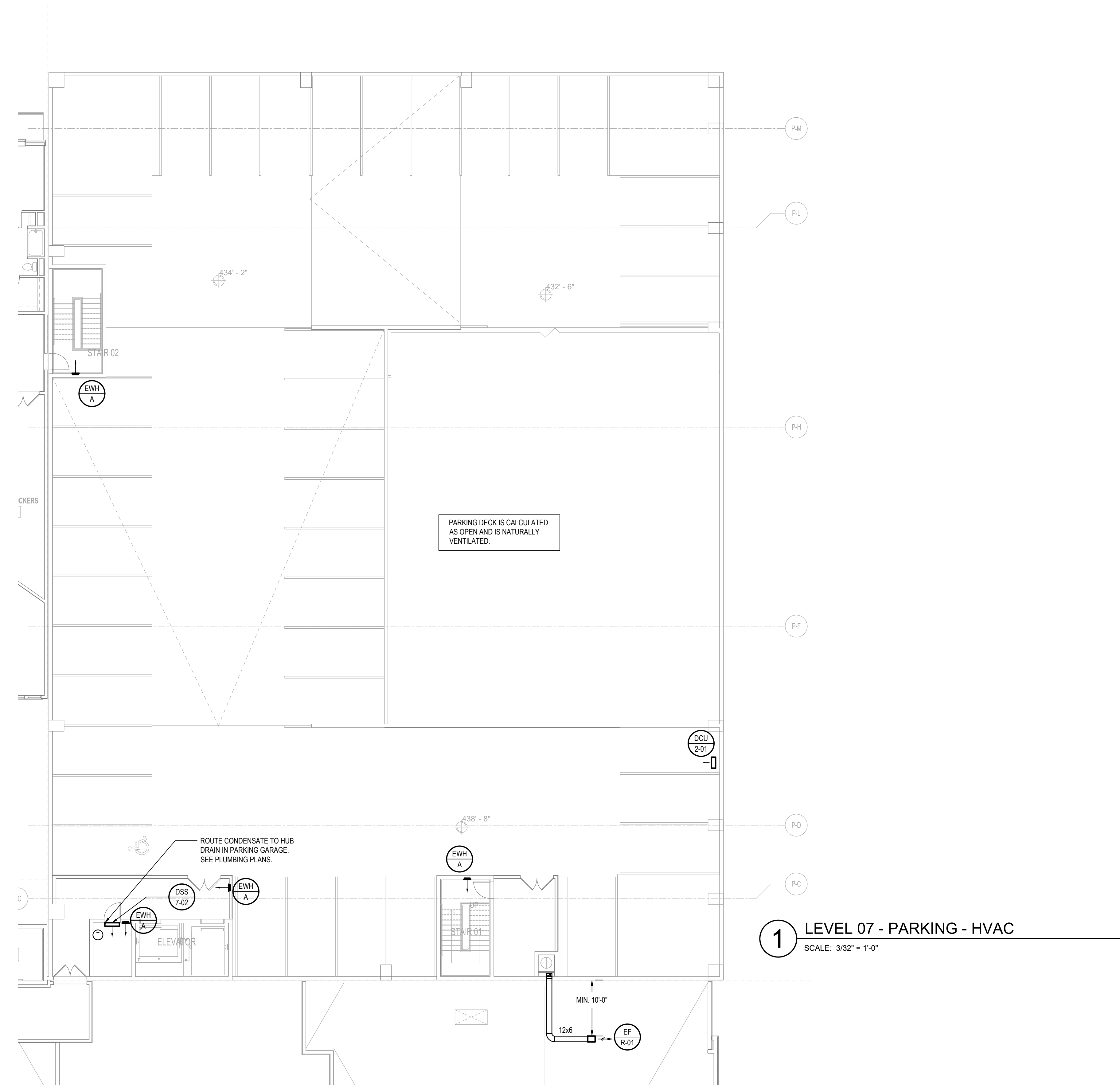
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LEVEL 07 - OVERALL -
 HVAC

Sheet No.

M1-70

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1 LEVEL 07 - PARKING - HVAC
SCALE: 3/32" = 1'-0"

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**LEVEL 07 - PARKING -
HVAC**

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M1-73

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3/26/2019 9:52:44 AM
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 EXTERIOR ELEVATIONS - PARKING DECK, SHEET NUMBER: A2-20, PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT
 SHEET NAME
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 FILENAME

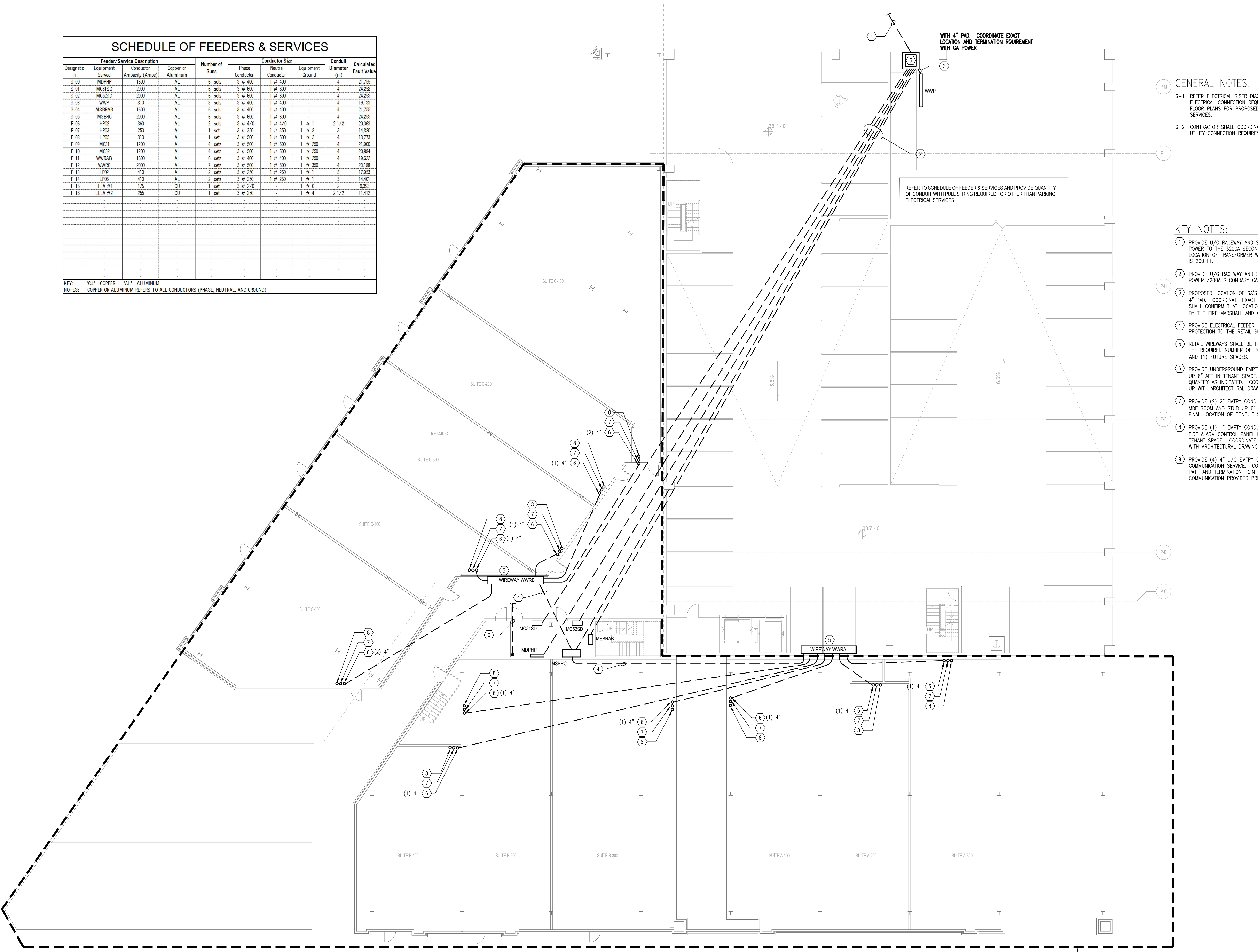


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SCHEDULE OF FEEDERS & SERVICES

Designation	Feeder/Service Description		Copper or Aluminum	Number of Runs	Conductor Size			Equipment Ground	Conduit Diameter (in)	Calculated Fault Value
	Equipment Served	Conductor Ampacity (Amps)			Phase Conductor	Neutral Conductor				
S 00	MDPHP	1600	AL	6 sets	3 # 400	1 # 400	-	4	21,755	
S 01	MC31SD	2000	AL	6 sets	3 # 600	1 # 600	-	4	24,238	
S 02	MC2SD	2000	AL	6 sets	3 # 500	1 # 500	-	4	24,238	
S 03	WWP	810	AL	3 sets	3 # 400	1 # 400	-	4	19,133	
S 04	MSBRAB	1600	AL	6 sets	3 # 400	1 # 400	-	4	21,755	
S 05	MSBRRC	2000	AL	6 sets	3 # 600	1 # 600	-	4	24,238	
F 06	HP02	360	AL	2 sets	3 # 4/0	1 # 4/0	1 # 1	2 1/2	20,063	
F 07	HP03	250	AL	1 set	3 # 350	1 # 350	1 # 2	3	14,820	
F 08	HP05	310	AL	1 set	3 # 500	1 # 500	1 # 2	4	13,773	
F 09	MC31	1200	AL	4 sets	3 # 500	1 # 250	4	21,800		
F 10	MS2	1200	AL	4 sets	3 # 500	1 # 250	4	20,884		
F 11	WWRAB	1600	AL	6 sets	3 # 400	1 # 250	4	19,822		
F 12	WWRRC	2000	AL	7 sets	3 # 500	1 # 350	4	23,188		
F 13	LP02	410	AL	2 sets	3 # 250	1 # 1	3	17,953		
F 14	LP05	410	AL	2 sets	3 # 250	1 # 1	3	14,400		
F 15	ELEV #1	175	CU	1 set	3 # 2/0	-	1 # 6	2	9,393	
F 16	ELEV #2	255	CU	1 set	3 # 250	-	1 # 4	2 1/2	11,412	

KEY: "CU" - COPPER "AL" - ALUMINUM
 NOTES: COPPER OR ALUMINUM REFERS TO ALL CONDUCTORS (PHASE, NEUTRAL, AND GROUND)



- GENERAL NOTES:**
- G-1 REFER ELECTRICAL RISER DIAGRAM, DRAWING E5-01, FOR ADDITIONAL ELECTRICAL CONNECTION REQUIREMENTS. REFER TO ELECTRICAL FLOOR PLANS FOR PROPOSED LOCATION OF BUILDING ELECTRICAL SERVICES.
 - G-2 CONTRACTOR SHALL COORDINATE WITH GA POWER AND PROVIDE ALL UTILITY CONNECTION REQUIREMENTS.

- KEY NOTES:**
- 1 PROVIDE U/G RACEWAY AND SERVICE ENTRANCE CONDUCTORS FROM GA POWER TO THE 3200A SECONDARY CABINET. COORDINATE EXACT LOCATION OF TRANSFORMER WITH GA POWER. APPROXIMATE DISTANCE IS 200 FT.
 - 2 PROVIDE U/G RACEWAY AND SERVICE ENTRANCE CONDUCTORS FROM GA POWER 3200A SECONDARY CABINET TO BUILDING ELECTRICAL SERVICES.
 - 3 PROPOSED LOCATION OF GA'S POWER 3200A SECONDARY CABINET, WITH 4" PAD. COORDINATE EXACT LOCATION WITH GA POWER. CONTRACTOR SHALL CONFIRM THAT LOCATION OF SECONDARY CABINET IS APPROVED BY THE FIRE MARSHALL AND GA'S POWER.
 - 4 PROVIDE ELECTRICAL FEEDER FROM RETAIL SERVICE OVERCURRENT PROTECTION TO THE RETAIL SERVICE WIREWAY.
 - 5 RETAIL WIREWAYS SHALL BE PROVIDED WITH POLARIS CONNECTORS WITH THE REQUIRED NUMBER OF PORTS FOR ALLOCATED TENANT SPACES AND (1) FUTURE SPACES.
 - 6 PROVIDE UNDERGROUND EMPTY CONDUIT WITH PULL STRING AND STUB UP 6" AFF IN TENANT SPACE. MINIMUM CONDUIT SIZE SHALL BE 4", QUANTITY AS INDICATED. COORDINATE FINAL LOCATION CONDUIT STUB UP WITH ARCHITECTURAL DRAWINGS.
 - 7 PROVIDE (2) 2" EMPTY CONDUIT WITH PULL STRING FROM THE BUILDING MDF ROOM AND STUB UP 6" AFF IN TENANT SPACE. COORDINATE FINAL LOCATION OF CONDUIT STUB UP WITH ARCHITECTURAL DRAWINGS.
 - 8 PROVIDE (1) 1" EMPTY CONDUIT WITH PULL STRING FROM THE BUILDING FIRE ALARM CONTROL PANEL LOCATION AND STUB UP 6" AFF IN TENANT SPACE. COORDINATE FINAL LOCATION OF CONDUIT STUB UP WITH ARCHITECTURAL DRAWINGS.
 - 9 PROVIDE (4) 4" U/G EMPTY CONDUIT WITH PULL STRING FOR BUILDING COMMUNICATION SERVICE. COORDINATE EXACT LOCATION OF CONDUITS PATH AND TERMINATION POINT WITH LOW VOLTAGE CONSULTANT AND COMMUNICATION PROVIDER PRIOR TO ROUGH-IN.

1 SITE PLAN - ELECTRICAL PARKING
 SCALE: 3/32" = 1'-0"

RETAIL/RESIDENTIAL BUILDING UNDER SCOPE OF SEPARATE DRAWING SET

DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET &
 586 DT WALTON SR WAY
 MACON, GA

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Revisions

Date 08/31/2017 Job No. 1603094-000

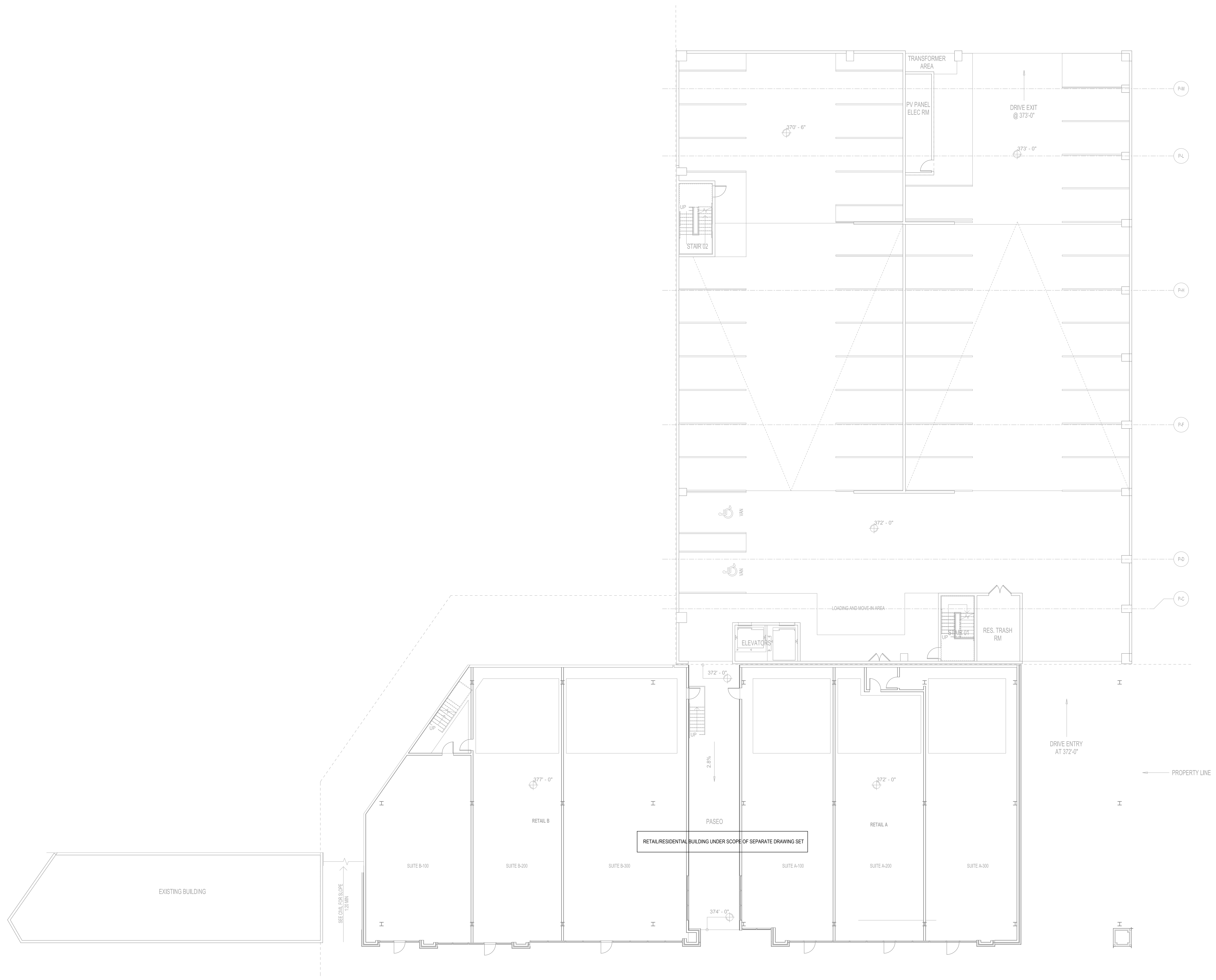
SHEET TITLE
SITE PLAN - ELECTRICAL PAKING

Sheet No.

E1-00P

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3/26/2019 9:52:44 AM
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 FILENAME: C:\Users\jordan\Documents\My Recent Projects\2017\16.02094.000_DT Walton Residences_MJF1602094000_DT Walton Residences_MJF1602094000.dwg



1 LEVEL 01 - OVERALL - ELECTRICAL
 SCALE: 3/32" = 1'-0"

DESIGNING ARCHITECT

WAKEFIELD BEASLEY & ASSOCIATES

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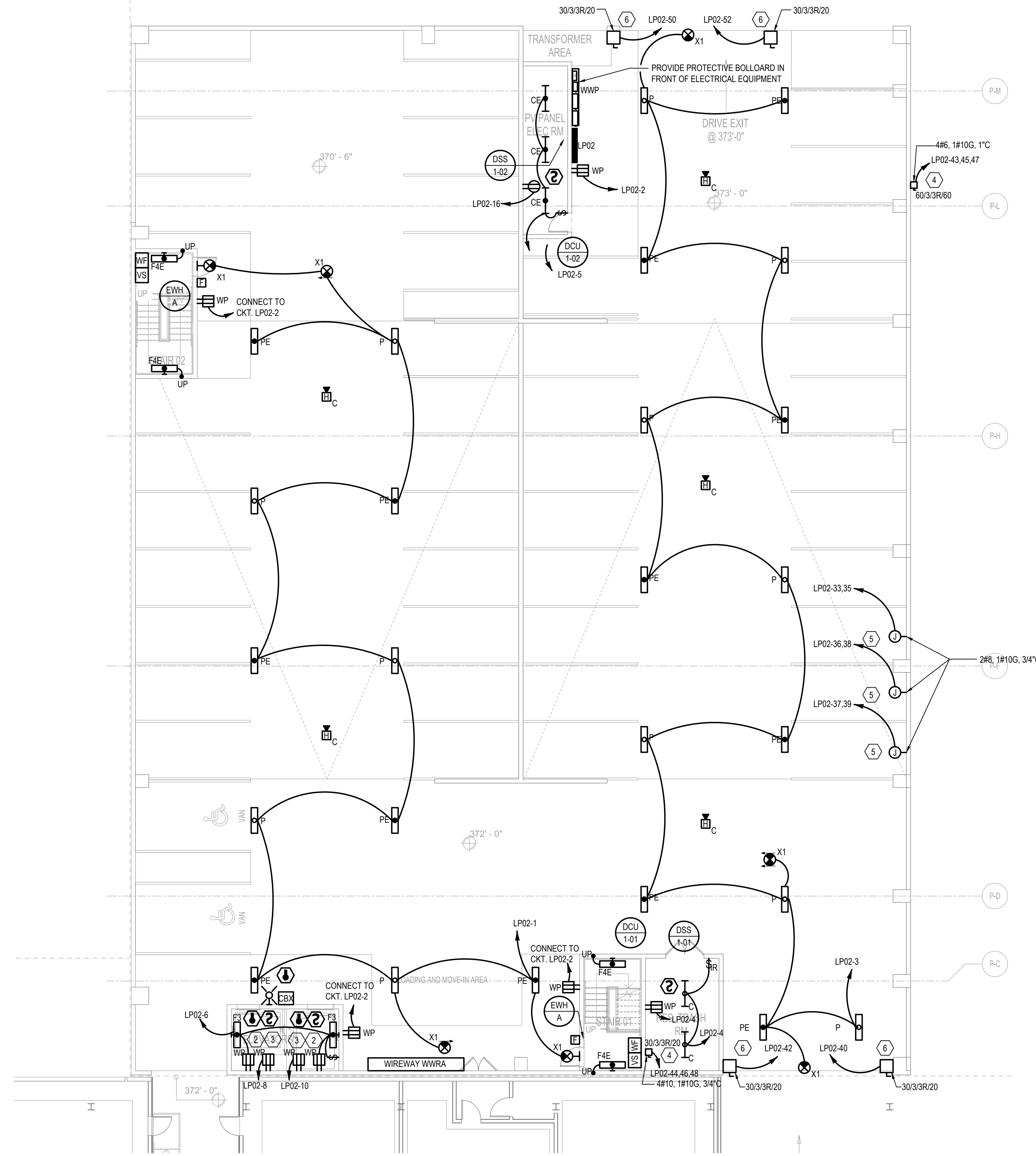
Date	Job No.
08/31/2017	1603094.000

Sheet Title
LEVEL 01 - OVERALL - ELECTRICAL

Sheet No.
E1-10

JSE Jordan & Skala Engineers
 4275 Shakerford Road, Suite 200
 Norcross, GA 30093
 V. (770) 487-5547 F. (770) 488-0262
 Project Number - 1710426 Drawn By: CLG Checked By: RWL

NOT ISSUED FOR CONSTRUCTION



GENERAL NOTES:

- G-1 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
- G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
- G-3 REFER TO DRAWING ES-01 FOR LIGHTING FIXTURE SCHEDULES.
- G-4 REFER TO DRAWING ES-01 FOR ELECTRICAL RISER DIAGRAM.
- G-5 REFER TO DRAWING SERIES EE-01, FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
- G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING GARAGE, ETC. SHALL BE WEATHER RESISTANCE TYPE, UNLESS OTHERWISE NOTED.
- G-7 LIGHTING FIXTURE IN CORRIDOR AND PARKING ARE TO BE ON 24/7 UNLESS OTHERWISE BY THE ARCHITECT/OWNER

KEY NOTES:

- 1 PROVIDE 120V CONNECTION TO SMOKE DAMPER LOCATED IN MECHANICAL CHASE. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM. PROVIDE FIRE ALARM SMOKE DETECTOR WITHIN 5'-0" OF LOWER. COORDINATE EXACT LOCATIONS, QUANTITIES AND REQUIREMENTS PRIOR TO ROUGH-IN.
- 2 COORDINATE EXACT LOCATIONS AND REQUIREMENTS OF ALL EQUIPMENT LOCATED IN BOTH THE ELEVATOR PIT AND ELEVATOR SHAFT WITH THE EQUIPMENT PROVIDER, STRUCTURE, AND OTHER TRADES PRIOR TO ROUGH-IN.
- 3 PROVIDE CONNECTION TO ELEVATOR PIT'S SUMP PUMP. PROVIDE #10 WIRE FOR THE ENTIRE LENGTH OF CIRCUIT.
- 4 PROVIDE DISCONNECT FOR TRASH COMPACTOR. COORDINATE CONNECTION REQUIREMENTS AND EXACT LOCATION WITH PROVIDER PRIOR TO ROUGH-IN.
- 5 PROVIDE WEATHERPROOF JUNCTION BOX VEHICLE CHARGING STATION. COORDINATE EXACT LOCATION AND CONNECTION REQUIREMENT WITH MANUFACTURER'S WIRING DIAGRAMS, STRUCTURE AND OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- 6 POWER CONNECTION FOR PARKING DECK ENTRY SYSTEM. COORDINATE EXACT REQUIREMENTS AND LOCATION OF DOOR/GATE SYSTEM WITH MANUFACTURER'S WIRING DIAGRAMS, STRUCTURE AND OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- 7 PROVIDE WEATHERPROOF FOR RETAIL SIGN, 3/4" EMPTY CONDUIT WITH FILL STRING FROM JUNCTION BOX TO TENANT SPACE. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWING PRIOR TO ROUGHING.
- 8 PROVIDE WEATHERPROOF JUNCTION BOX FOR HEAT TRACE. COORDINATE EXACT CONNECTION OF HEAT TRACE DEVICE WITH PLUMBING DRAWING. PROVIDE GFC CIRCUIT BREAKER FOR HEAT TRACE CIRCUIT.

1 LEVEL 01 - PARKING - ELECTRICAL
SCALE: 3/32" = 1'-0"

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LEVEL 01 - PARKING - ELECTRICAL

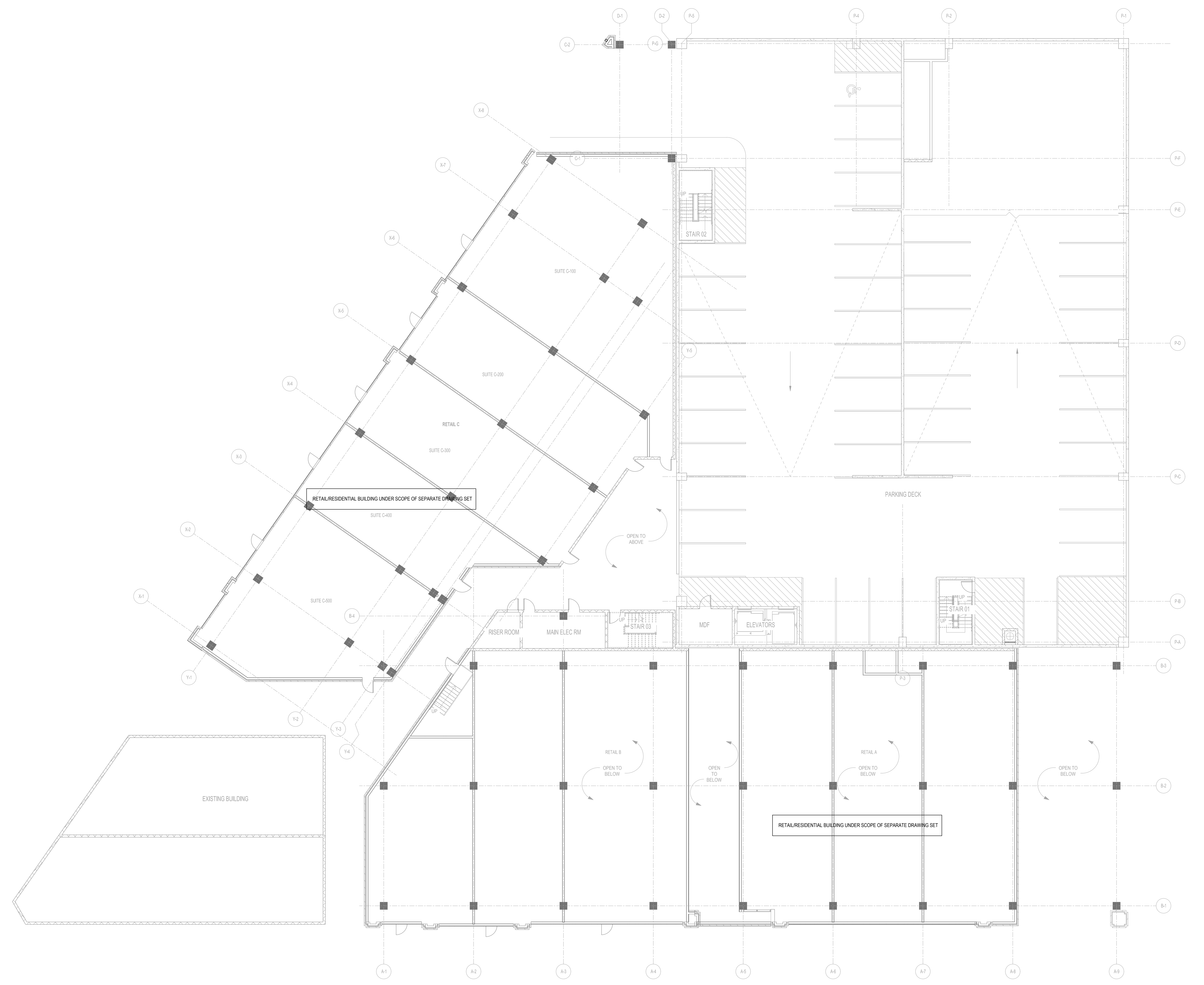
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E1-13

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JSE Jordan & Skala Engineers
4275 Sheldahl Road, Suite 200
Norcross, GA 30093
N 1770 687-5347 F 1770 448-6262
Project Number - 171026 Drawn By: CLG Checked By: RWL

FILENAME C:\Users\jordan\Documents\My Recent Projects\2017\116.00294.000_DT Walton Residences_MFH1602094000_DT Walton Residences_MFH1602094000_DT Walton EXTERIOR ELEVATIONS - PARKING DECK, SHEET NUMBER: A2-20 PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT PLOTED: 3/26/2019 9:52:44 AM SHEET NAME



1 LEVEL 02 - OVERALL - ELECTRICAL
SCALE: 3/32" = 1'-0"

JSE Jordan & Skala Engineers
4275 Shakerford Road, Suite 200
Norcross, GA 30093
V: (770) 487-5547 F: (770) 488-0362
Project Number - 1710426 Drawn By: CLG Checked By: RWL

DESIGNING ARCHITECT

WAKEFIELD BEASLEY & ASSOCIATES

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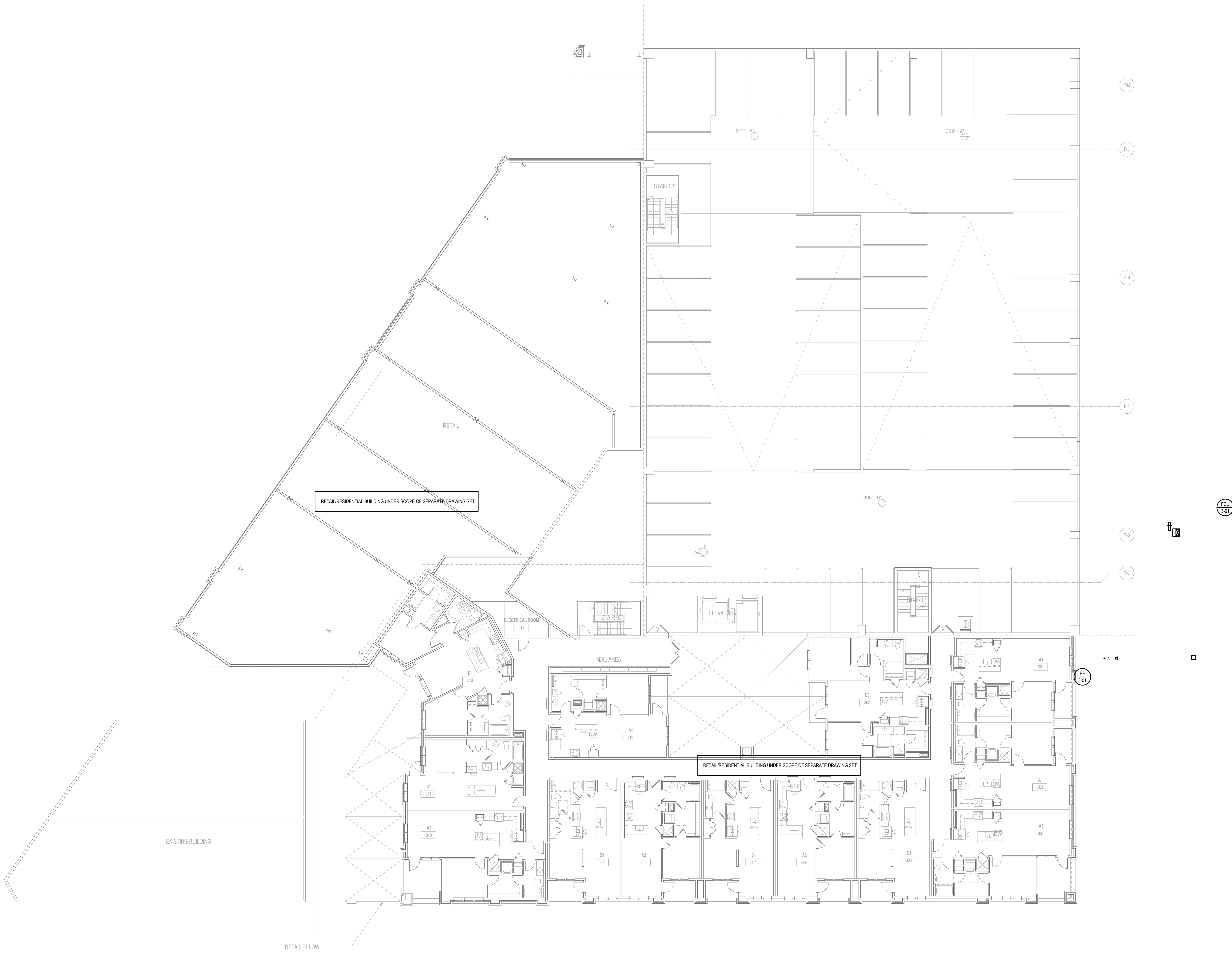
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Date 08/31/2017 Job No. 1603094.000

Sheet Title
LEVEL 02 - OVERALL - ELECTRICAL

Sheet No.
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FILENAME: C:\Users\jordan\Documents\My Recent Projects\2017\16.02094.000_DT Walton Residences_MPF\1602094000_DT Walton Residences_MPF\A2-20.dwg



1 LEVEL 03 - OVERALL - ELECTRICAL

SCALE: 3/32" = 1'-0"

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4275 Shepleford Road, Suite 200
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N: (770) 447-5347 F: (770) 448-6262
Project Number - 1710426 Drawn By: CLG Checked By: RWL

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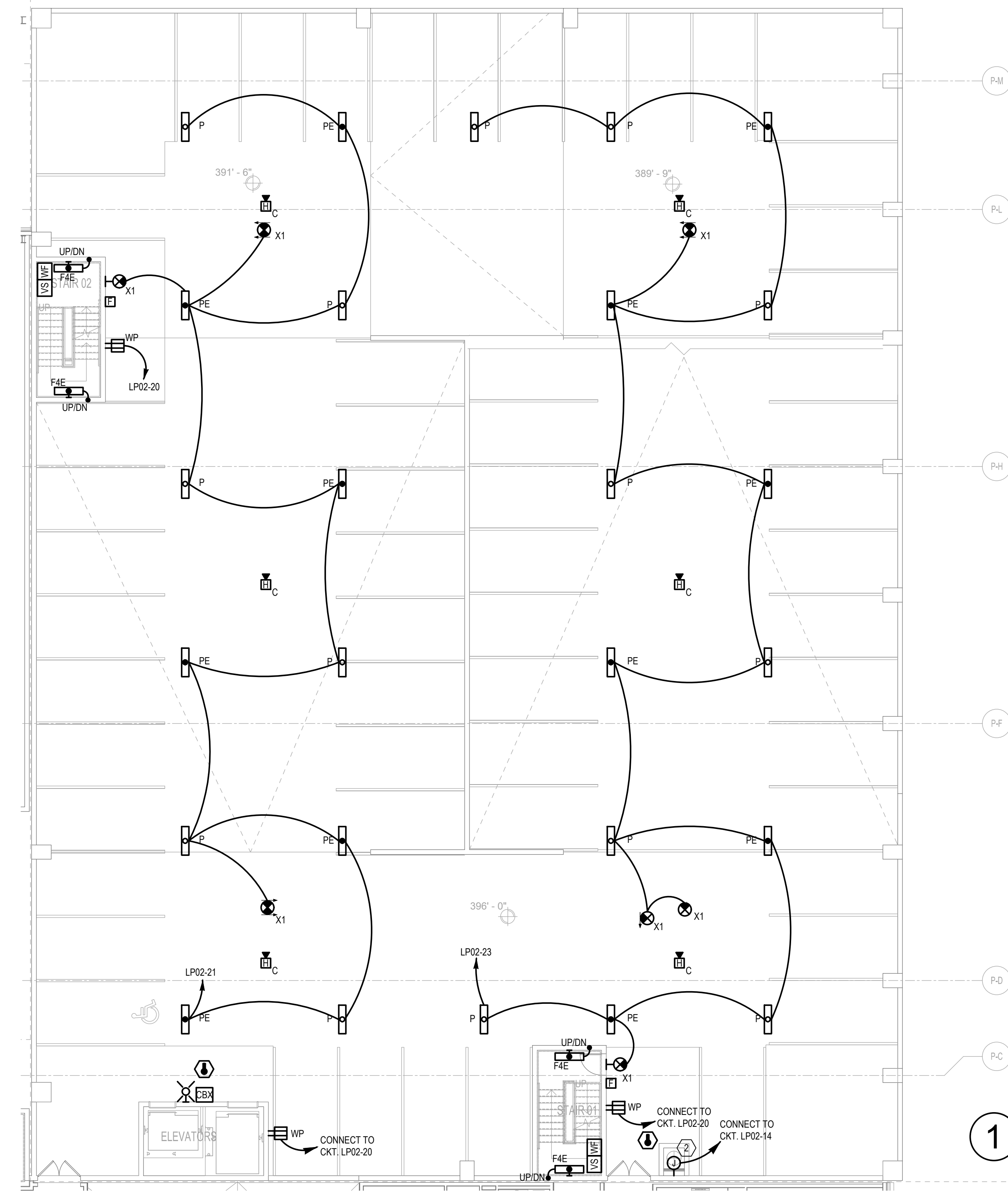
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Date: 08/31/2017 Job No.: 1603094.000

Sheet Title: **LEVEL 03 - OVERALL - ELECTRICAL**

Sheet No. **E1-30**

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- GENERAL NOTES:**
- G-1 ALL EMERGENCY LIGHTS () SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
 - G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
 - G-3 REFER TO DRAWING E0-01 FOR LIGHTING FIXTURE SCHEDULES.
 - G-4 REFER TO DRAWING E5-01 FOR ELECTRICAL RISER DIAGRAM.
 - G-5 REFER TO DRAWING SERIES, E6-01, FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
 - G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING GARAGE, ETC., SHALL BE WEATHER RESISTANCE TYPE, UNLESS OTHERWISE NOTED.
- KEY:**
- (1) PROVIDE 120V CIRCUIT FOR TRASH CHUTE INTAKE BOX. ELECTRICALLY INTERLOCK INTERBOXES ON EACH LEVEL. REFER TO CHUTE MANUFACTURER FOR EXACT LOCATION AND CONNECTION REQUIREMENTS.
 - (2) PROVIDE 120V CIRCUIT FOR TRASH CHUTE INTAKE BOX. ELECTRICALLY INTERLOCK INTERBOXES ON EACH LEVEL. REFER TO CHUTE MANUFACTURER FOR EXACT LOCATION AND CONNECTION REQUIREMENTS.

1 LEVEL 03 - PARKING - ELECTRICAL
SCALE: 3/32" = 1'-0"



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LEVEL 03 - PARKING - ELECTRICAL
Sheet No.



E1-33



1 LEVEL 04 - OVERALL - ELECTRICAL
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08/31/2017 1603094.000

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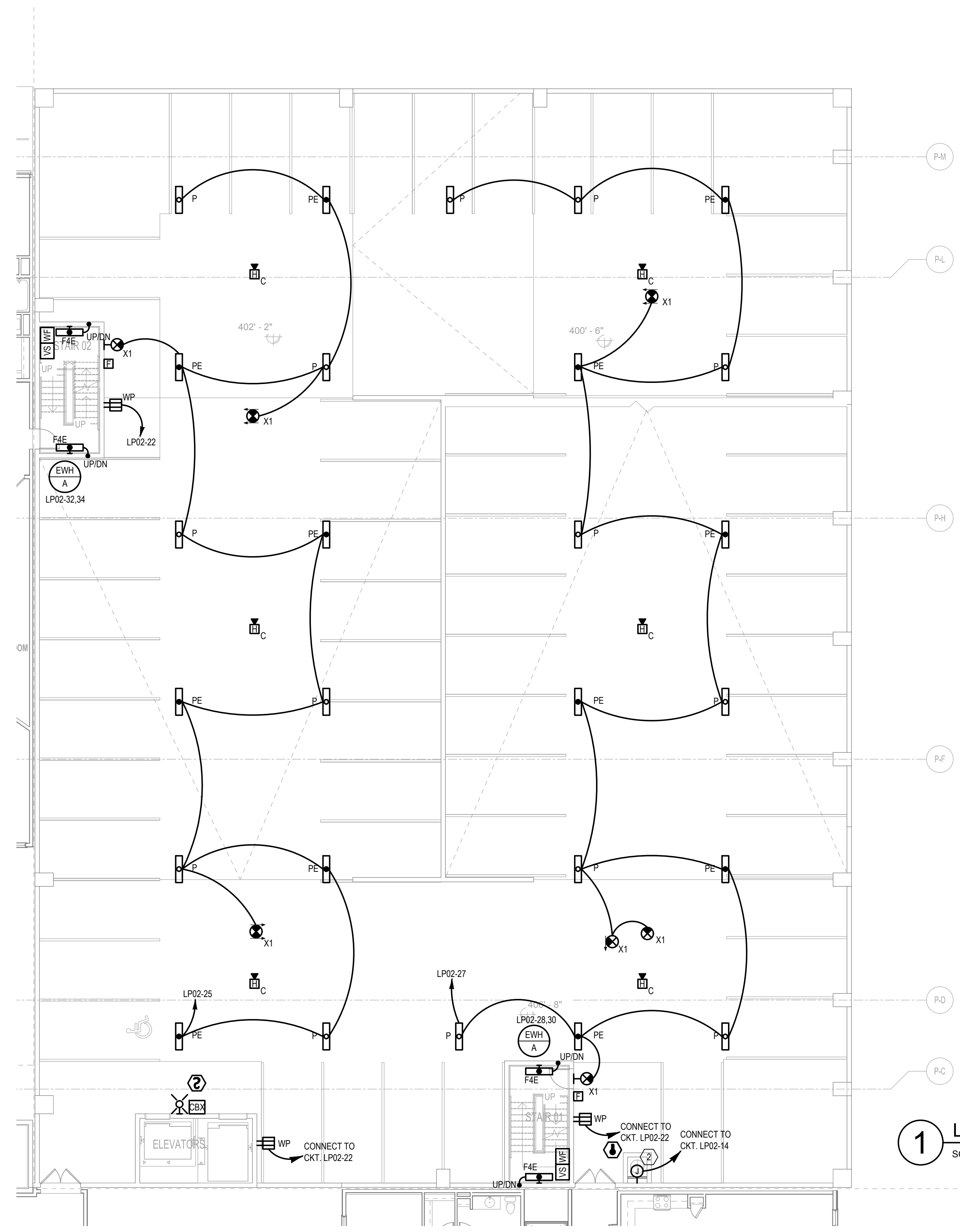
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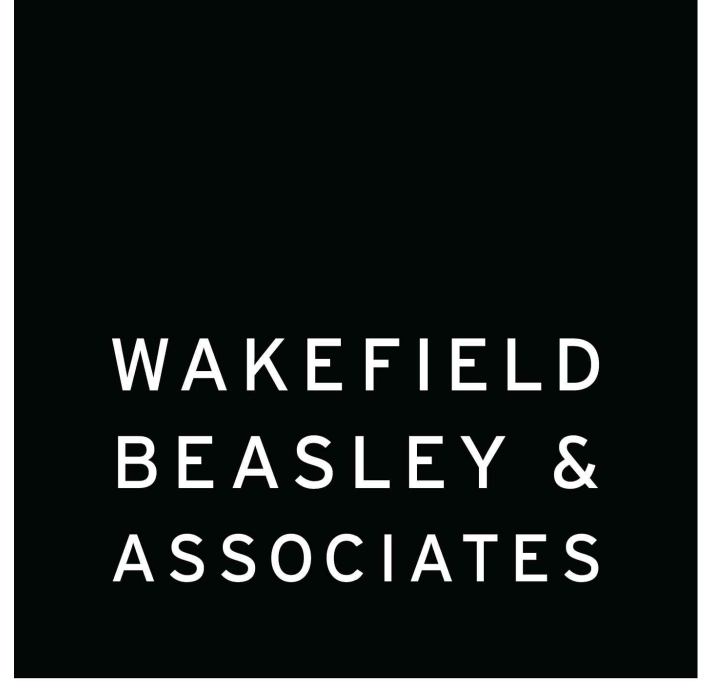
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- GENERAL NOTES:**
- G-1 ALL EMERGENCY LIGHTS (X1) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
 - G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING, GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
 - G-3 REFER TO DRAWING ES-01 FOR LIGHTING FIXTURE SCHEDULES.
 - G-4 REFER TO DRAWING ES-01 FOR ELECTRICAL RISER DIAGRAM.
 - G-5 REFER TO DRAWING SERIES, ES-01, FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
 - G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING GARAGE, ETC., SHALL BE WEATHER RESISTANCE TYPE, UNLESS OTHERWISE NOTED.
 - G-7 LIGHTING FIXTURE IN CORRIDOR AND PARKING ARE TO BE ON 24/7 UNLESS OTHERWISE BY THE ARCHITECT/OWNER.
- KEY NOTES:**
- 1 PROVIDE 120V CONNECTION TO SMOKE DAMPER LOCATED IN MECHANICAL CHASE. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM. PROVIDE FIRE ALARM SMOKE DETECTOR WITHIN 5'-0" OF LOWER. COORDINATE EXACT LOCATIONS, QUANTITIES AND REQUIREMENTS PRIOR TO ROUGH-IN.
 - 2 PROVIDE 120V CIRCUIT FOR TRASH CHUTE WASTE BOX. ELECTRICALLY INTERLOCK WASTEBINS ON EACH LEVEL. REFER TO CHUTE MANUFACTURER FOR EXACT LOCATION AND CONNECTION REQUIREMENTS.

1 LEVEL 04 - PARKING - ELECTRICAL
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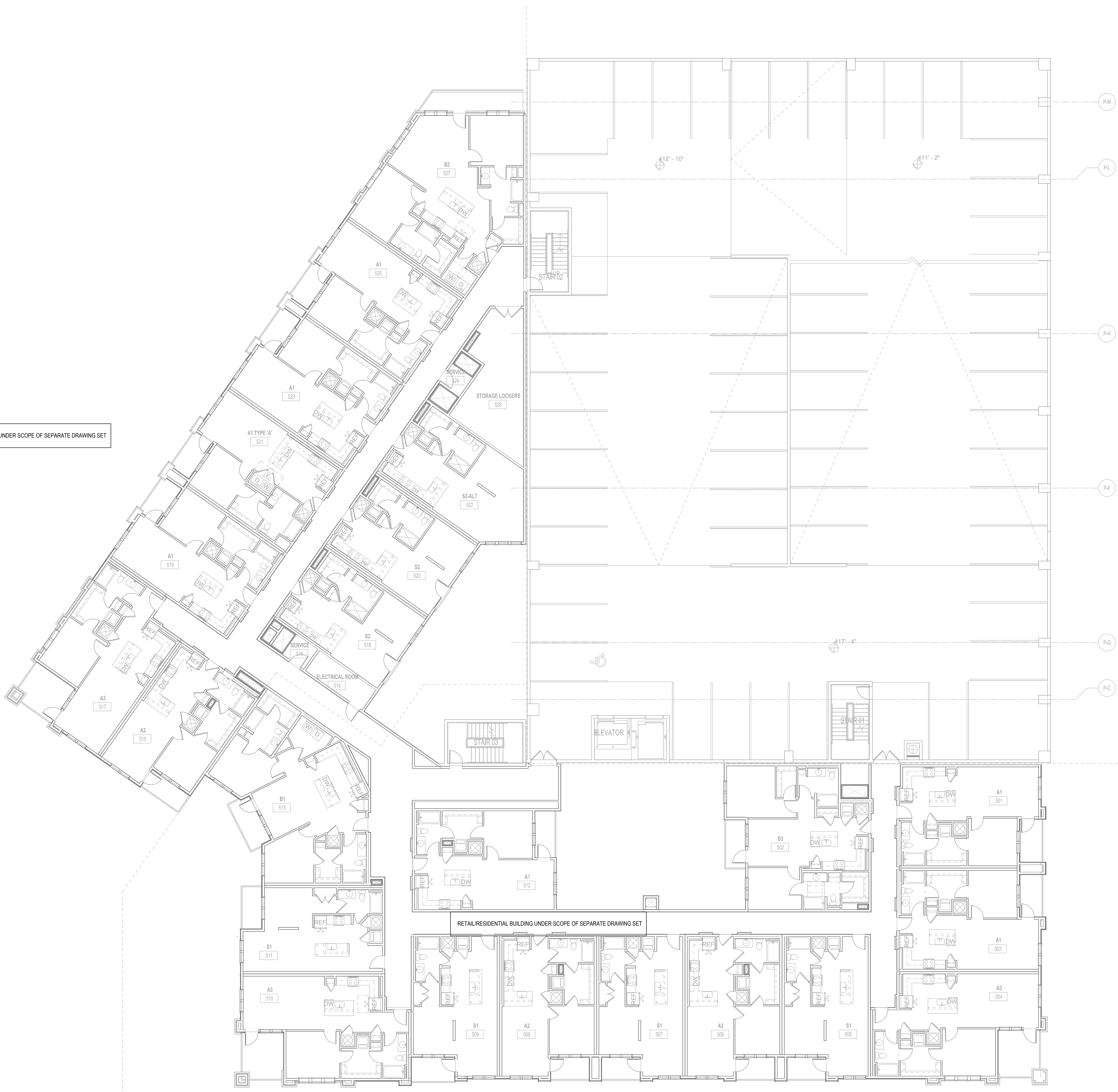
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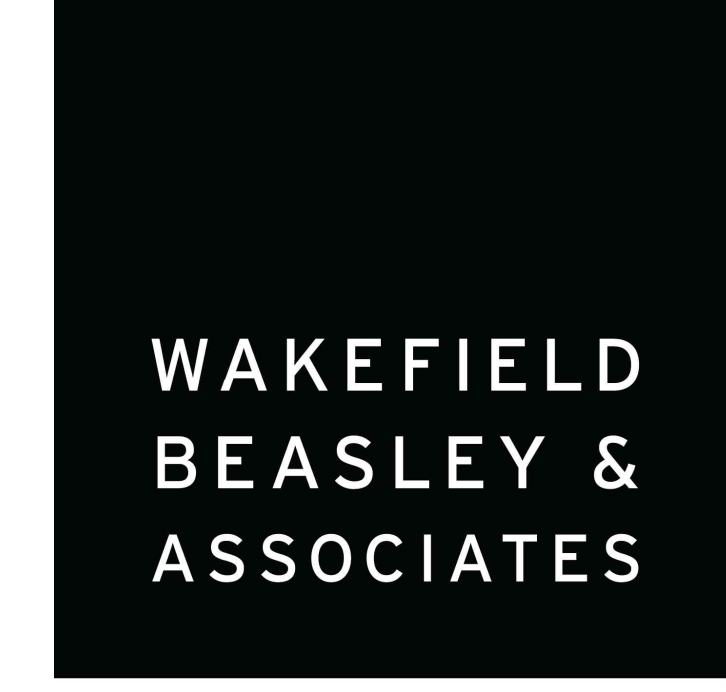


Project Number - 1710426 Drawn By: CLG Checked By: RWL

RETAIL/RESIDENTIAL BUILDING UNDER SCOPE OF SEPARATE DRAWING SET



1 LEVEL 05 - OVERALL - ELECTRICAL
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No.	Description	Date

Date: 08/31/2017 Job No.: 1603094.000

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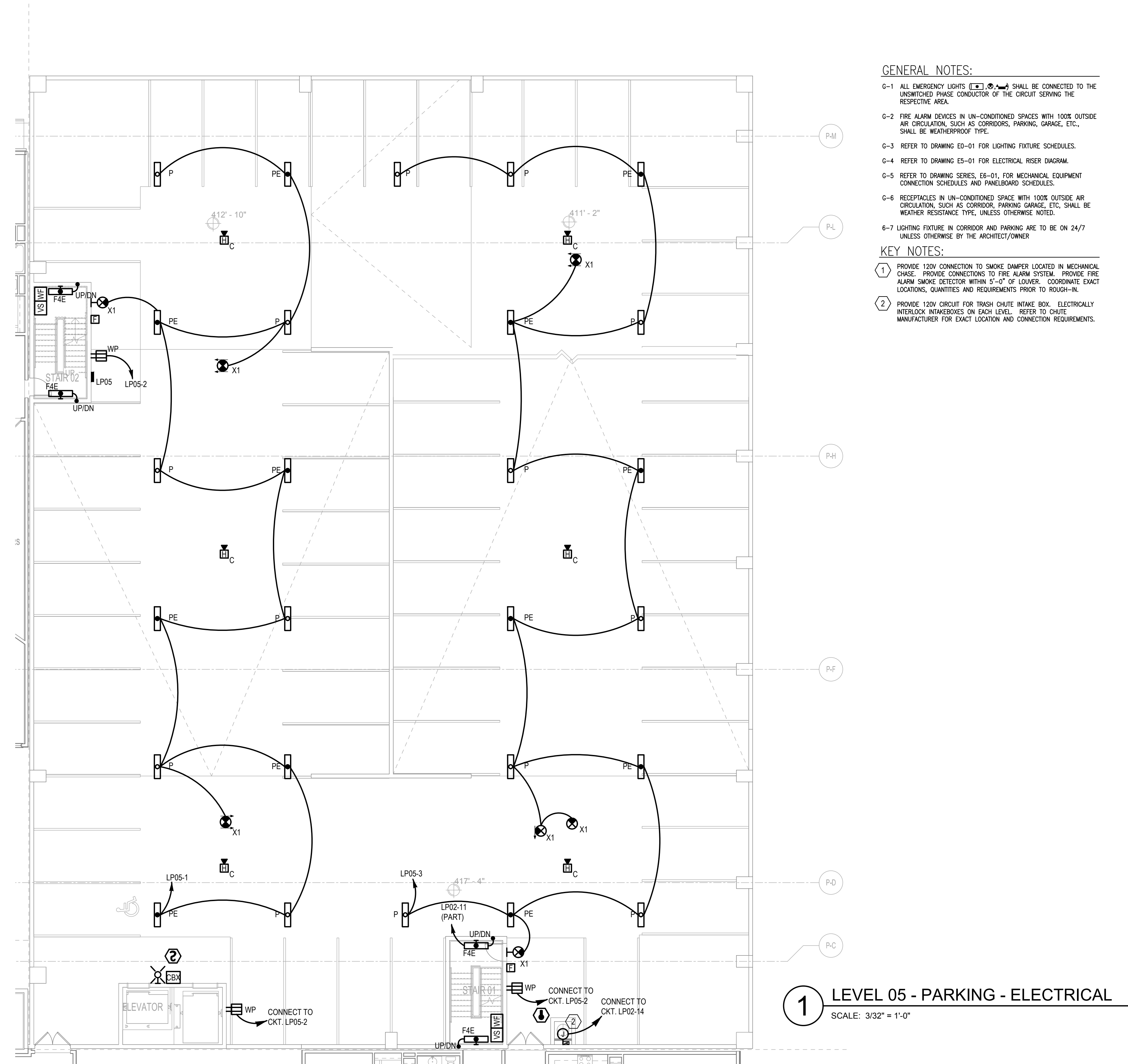
LEVEL 05 - OVERALL - ELECTRICAL

Sheet No.

E1-50

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JSE Jordan & Skala Engineers
4275 Shuckford Road, Suite 200
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V: (770) 487-5347 F: (770) 488-0262
Project Number - 1710428 Drawn By: JH Checked By: EE



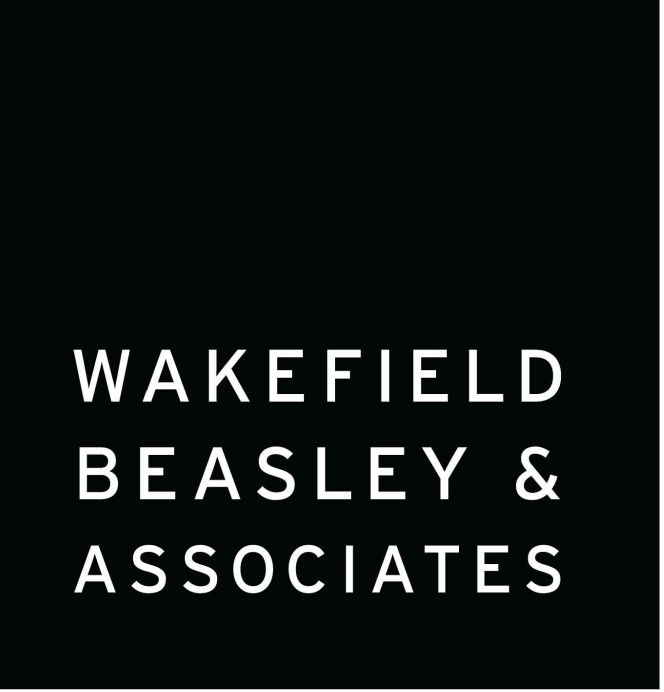
GENERAL NOTES:

- G-1 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
- G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING, GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
- G-3 REFER TO DRAWING ES-01 FOR LIGHTING FIXTURE SCHEDULES.
- G-4 REFER TO DRAWING ES-01 FOR ELECTRICAL RISER DIAGRAM.
- G-5 REFER TO DRAWING SERIES, ES-01, FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
- G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING GARAGE, ETC., SHALL BE WEATHER RESISTANCE TYPE, UNLESS OTHERWISE NOTED.
- G-7 LIGHTING FIXTURE IN CORRIDOR AND PARKING ARE TO BE ON 24/7 UNLESS OTHERWISE BY THE ARCHITECT/OWNER.

KEY NOTES:

- 1 PROVIDE 120V CONNECTION TO SMOKE DAMPER LOCATED IN MECHANICAL CHASE. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM. PROVIDE FIRE ALARM SMOKE DETECTOR WITHIN 5'-0" OF LOWER. COORDINATE EXACT LOCATIONS, QUANTITIES AND REQUIREMENTS PRIOR TO 100% I-R.
- 2 PROVIDE 120V CIRCUIT FOR TRASH CHUTE INTAKE BOX. ELECTRICALLY INTERLOCK INTAKEBOXES ON EACH LEVEL. REFER TO CHUTE MANUFACTURER FOR EXACT LOCATION AND CONNECTION REQUIREMENTS.

1 LEVEL 05 - PARKING - ELECTRICAL
 SCALE: 3/32" = 1'-0"



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Date	Job No.
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Sheet Title

LEVEL 05 - PARKING - ELECTRICAL

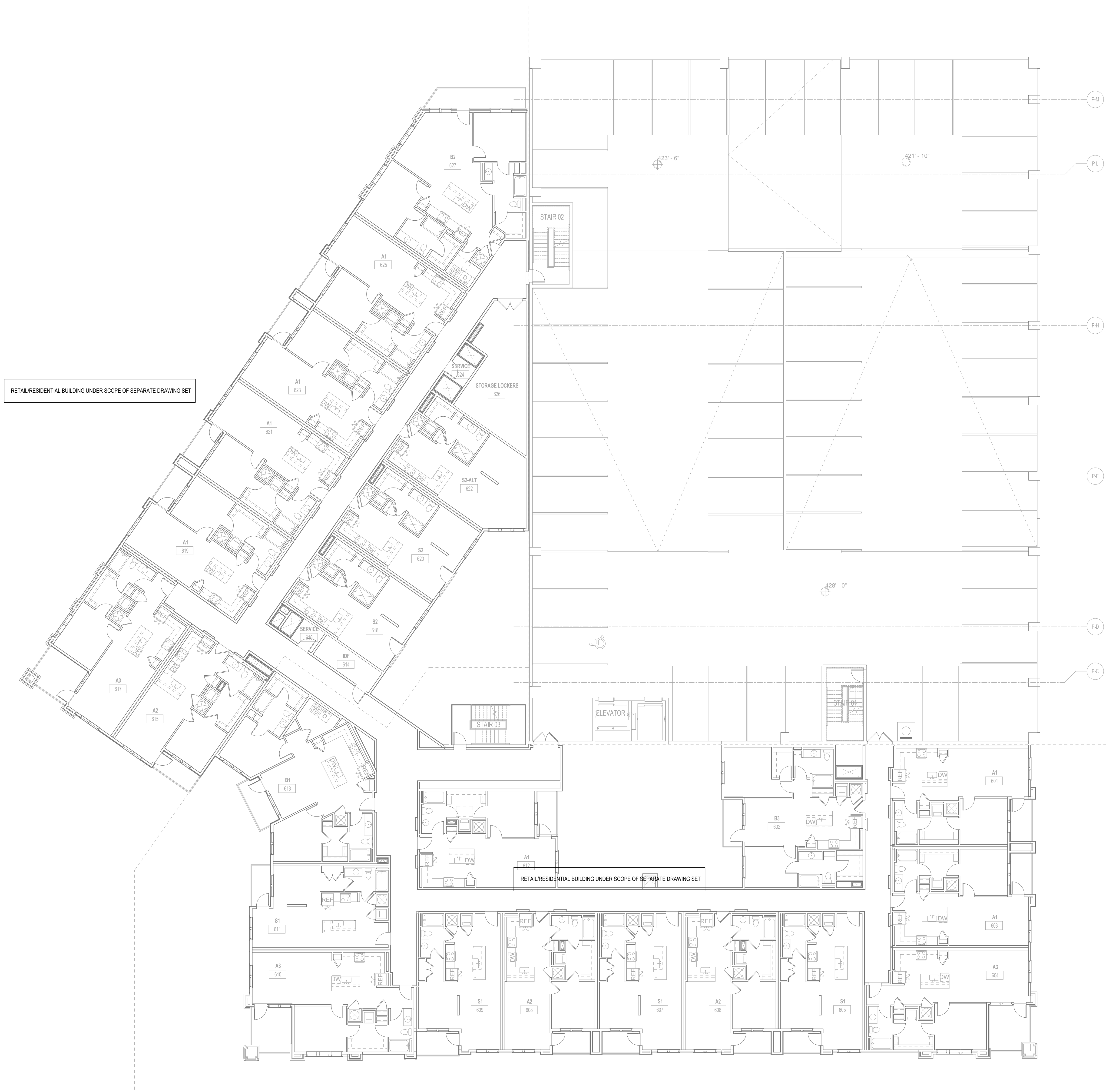
Sheet No.

E1-53

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Project Number - 171026 Drawn By: JH Checked By: EE



1 LEVEL 06 - OVERALL - ELECTRICAL
SCALE: 3/32" = 1'-0"

**DT WALTON MIXED USE
DEVELOPMENT**

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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Revisions

Date: 08/31/2017 Job No.: 1603094.000

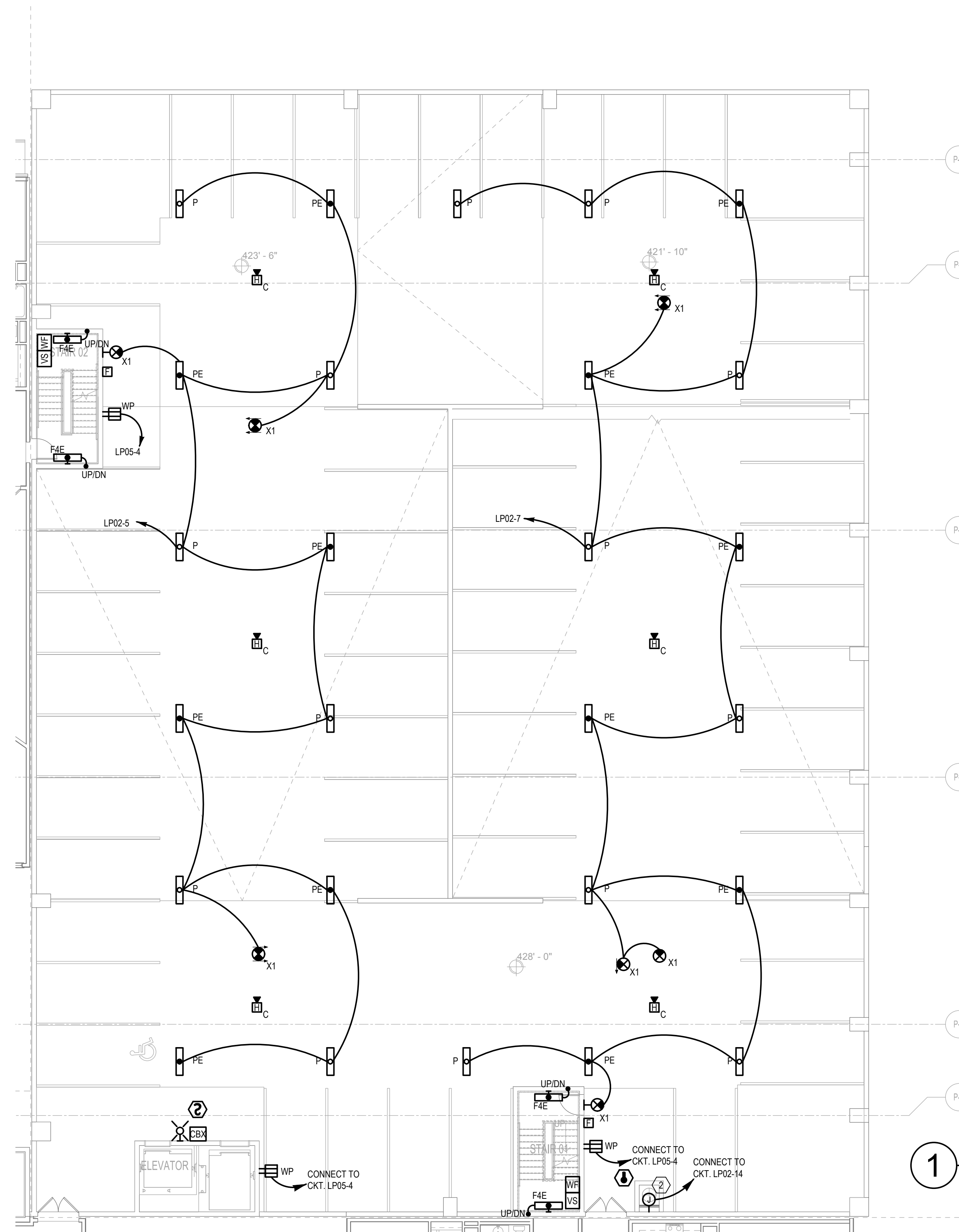
Sheet Title

**LEVEL 06 - OVERALL -
ELECTRICAL**

Sheet No.

E1-60

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GENERAL NOTES:

- G-1 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
- G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING, GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
- G-3 REFER TO DRAWING ES-01 FOR LIGHTING FIXTURE SCHEDULES.
- G-4 REFER TO DRAWING ES-01 FOR ELECTRICAL RISER DIAGRAM.
- G-5 REFER TO DRAWING SERIES EB-01 FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
- G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING, GARAGE, ETC., SHALL BE WEATHER RESISTANT TYPE, UNLESS OTHERWISE NOTED.
- G-7 LIGHTING FIXTURE IN CORRIDOR AND PARKING ARE TO BE ON 24/7 UNLESS OTHERWISE BY THE ARCHITECT/OWNER.

KEY NOTES:

- 1 PROVIDE 120V CONNECTION TO SMOKE DAMPER LOCATED IN MECHANICAL CHASE. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM. PROVIDE FIRE ALARM SMOKE DETECTOR WITHIN 5'-0\"/>

1 LEVEL 06 - PARKING - ELECTRICAL
SCALE: 3/32" = 1'-0"

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Sheet Title

LEVEL 06 - PARKING -
ELECTRICAL

Sheet No.

E1-63

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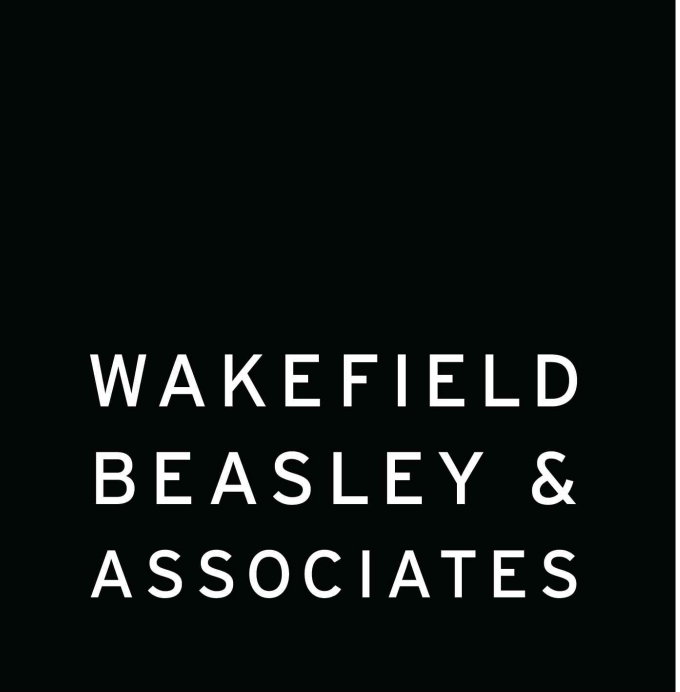
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Project Number - 171026 Drawn By: JH Checked By: EE

RETAIL/RESIDENTIAL BUILDING UNDER SCOPE OF SEPARATE DRAWING SET

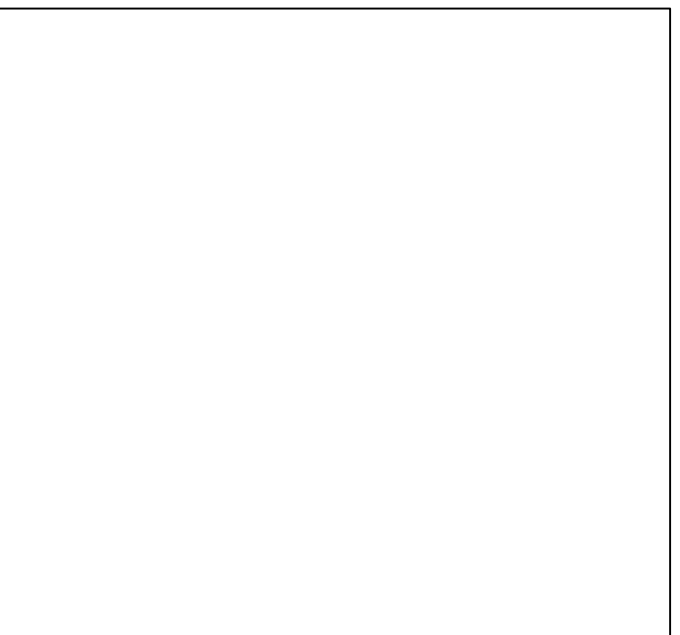
RETAIL/RESIDENTIAL BUILDING UNDER SCOPE OF SEPARATE DRAWING SET



1 LEVEL 07 - OVERALL - ELECTRICAL
 SCALE: 3/32" = 1'-0"



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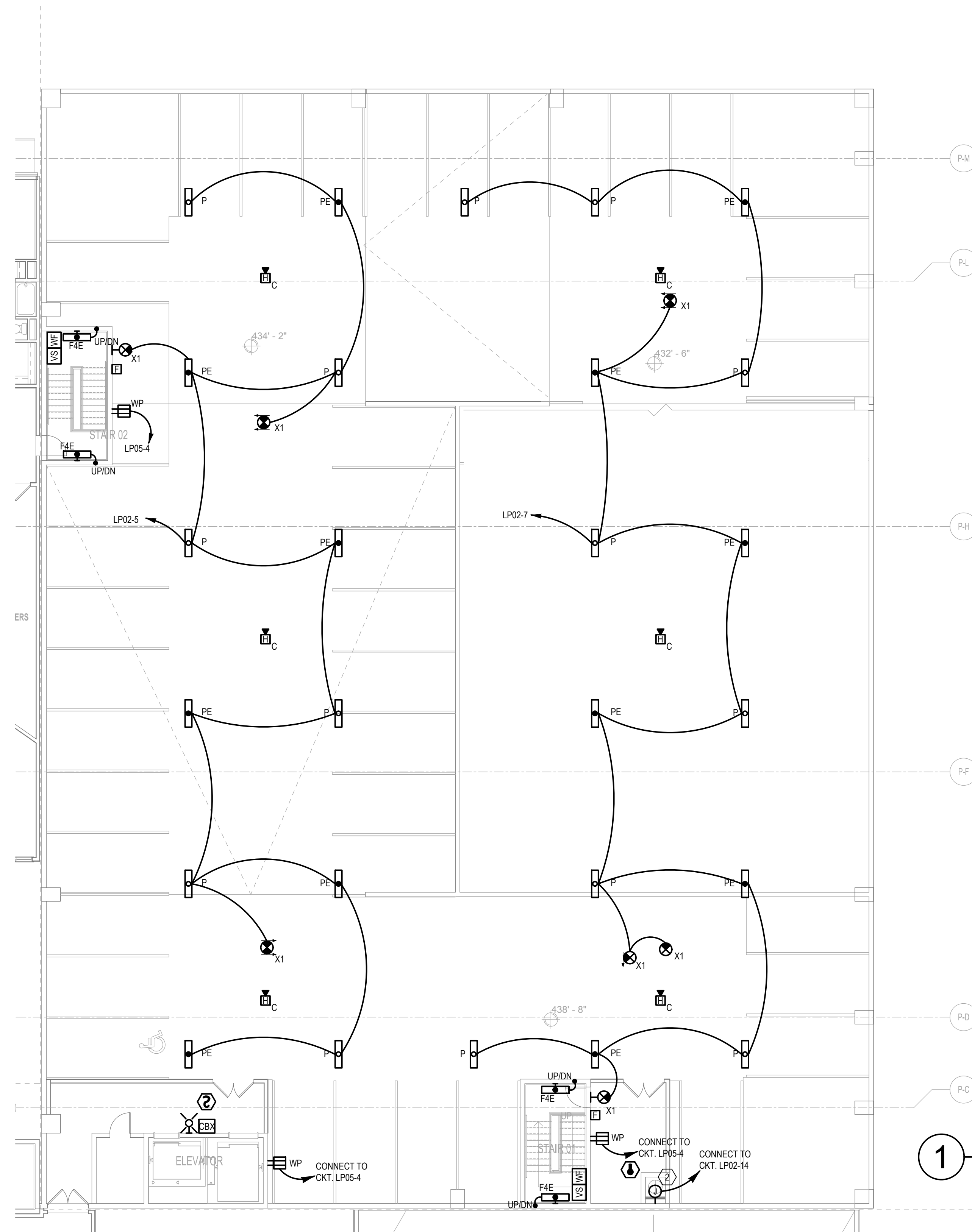
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Sheet Title
LEVEL 07 - OVERALL - ELECTRICAL

Sheet No.
E1-70
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- GENERAL NOTES:**
- G-1 ALL EMERGENCY LIGHTS () SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
 - G-2 FIRE ALARM DEVICES IN UN-CONDITIONED SPACES WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDORS, PARKING, GARAGE, ETC., SHALL BE WEATHERPROOF TYPE.
 - G-3 REFER TO DRAWING E0-01 FOR LIGHTING FIXTURE SCHEDULES.
 - G-4 REFER TO DRAWING E0-01 FOR ELECTRICAL RISER DIAGRAM.
 - G-5 REFER TO DRAWING SERIES, E0-01, FOR MECHANICAL EQUIPMENT CONNECTION SCHEDULES AND PANELBOARD SCHEDULES.
 - G-6 RECEPTACLES IN UN-CONDITIONED SPACE WITH 100% OUTSIDE AIR CIRCULATION, SUCH AS CORRIDOR, PARKING, GARAGE, ETC. SHALL BE WEATHER RESISTANCE TYPE, UNLESS OTHERWISE NOTED.
 - G-7 LIGHTING FIXTURE IN CORRIDOR AND PARKING ARE TO BE ON 24/7 UNLESS OTHERWISE BY THE ARCHITECT/OWNER.
- KEY NOTES:**
- 1 PROVIDE 120V CONNECTION TO SMOKE DAMPER LOCATED IN MECHANICAL SHAFT. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM. PROVIDE FIRE ALARM SMOKE DETECTOR WITHIN 5'-0\"/>
 - 2 PROVIDE 120V CIRCUIT FOR TRASH CHUTE REUSE BOX. ELECTRICALLY INTERLOCK INTERLOCKS ON EACH LEVEL. REFER TO CHUTE MANUFACTURER FOR EXACT LOCATION AND CONNECTION REQUIREMENTS.

1 LEVEL 07 - PARKING - ELECTRICAL
SCALE: 3/32" = 1'-0"

DESIGNING ARCHITECT

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08/31/2017	1603094.000

LEVEL 07 - PARKING - ELECTRICAL

Sheet Title

Sheet No.

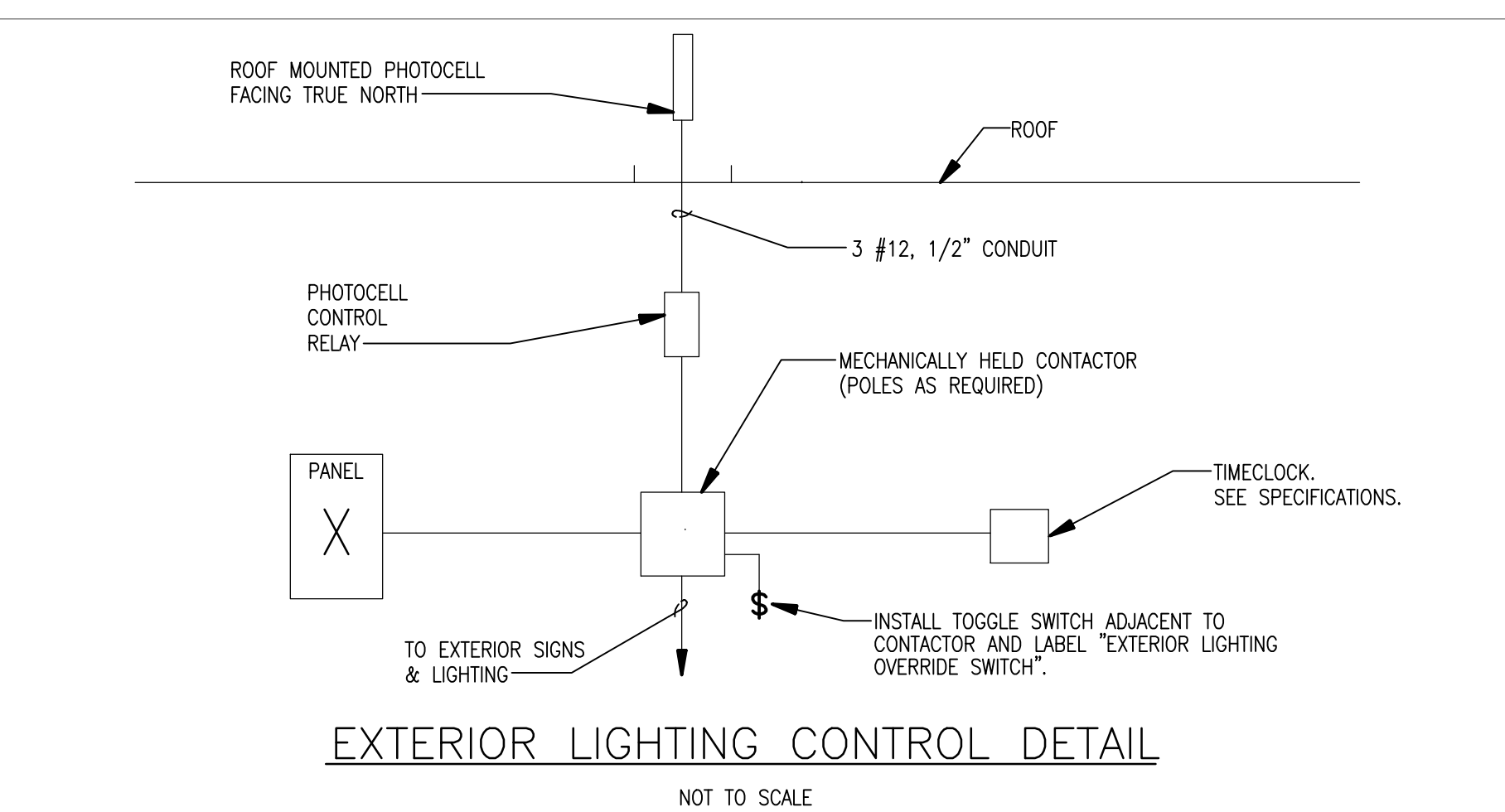
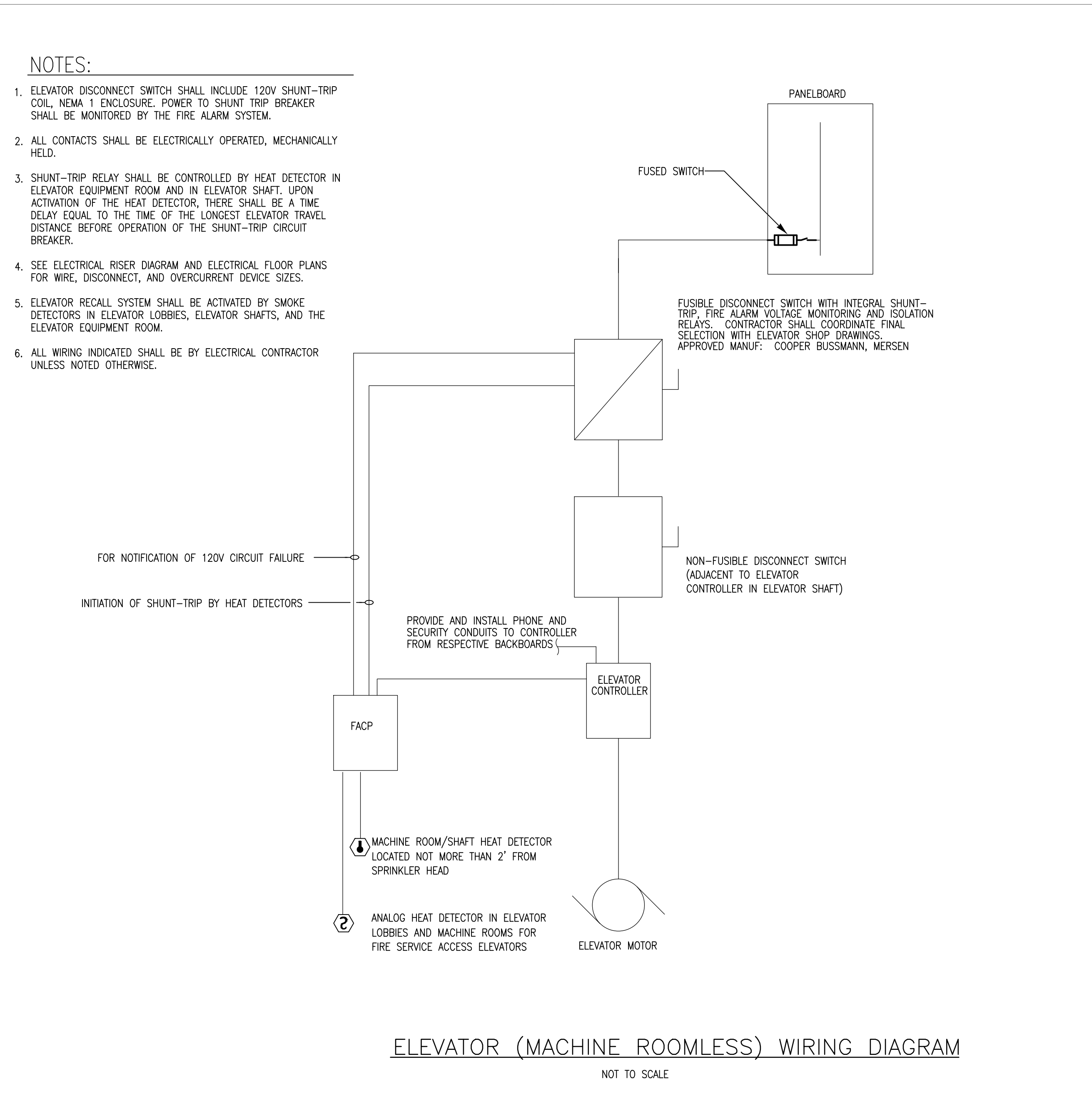
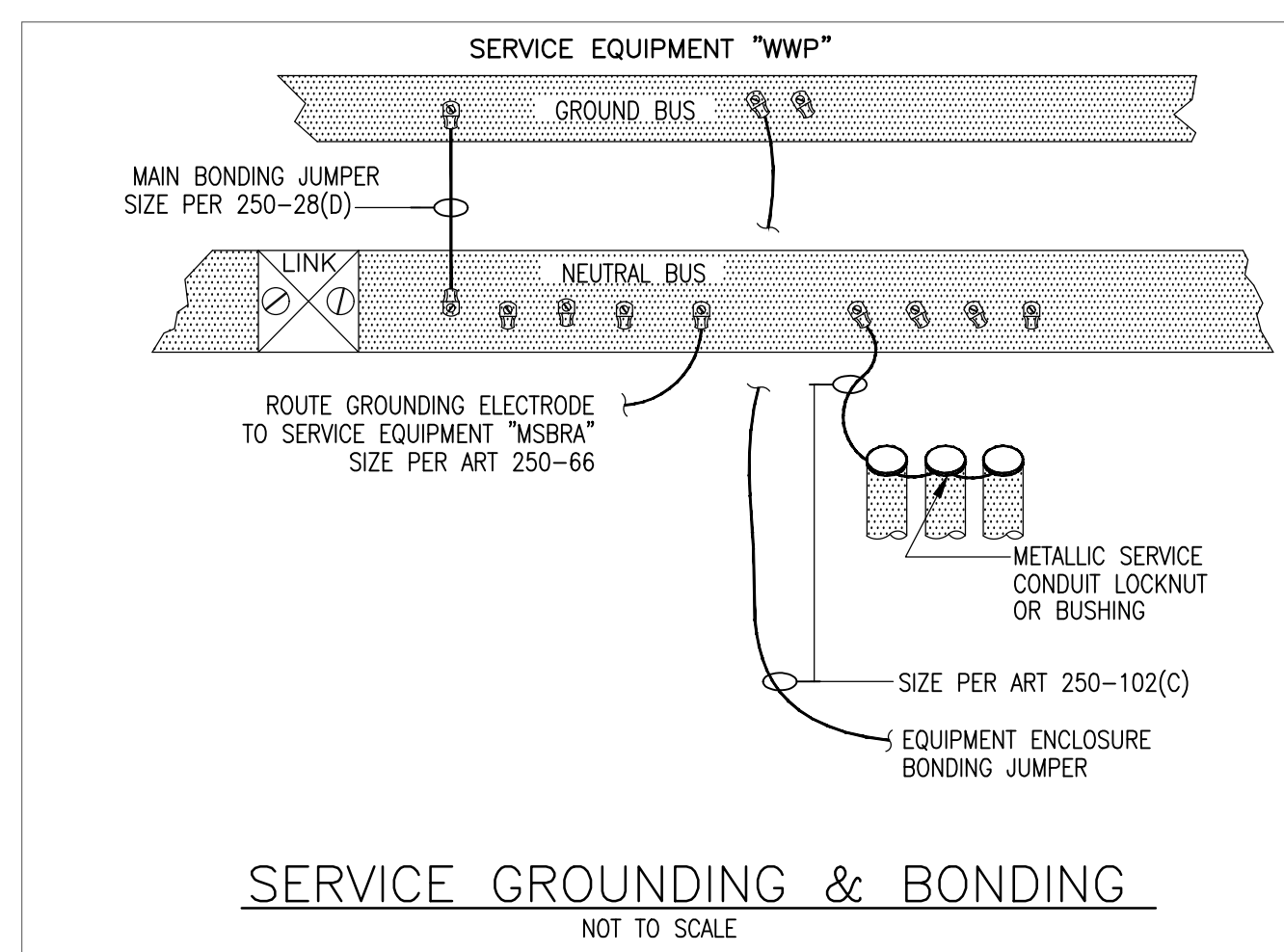
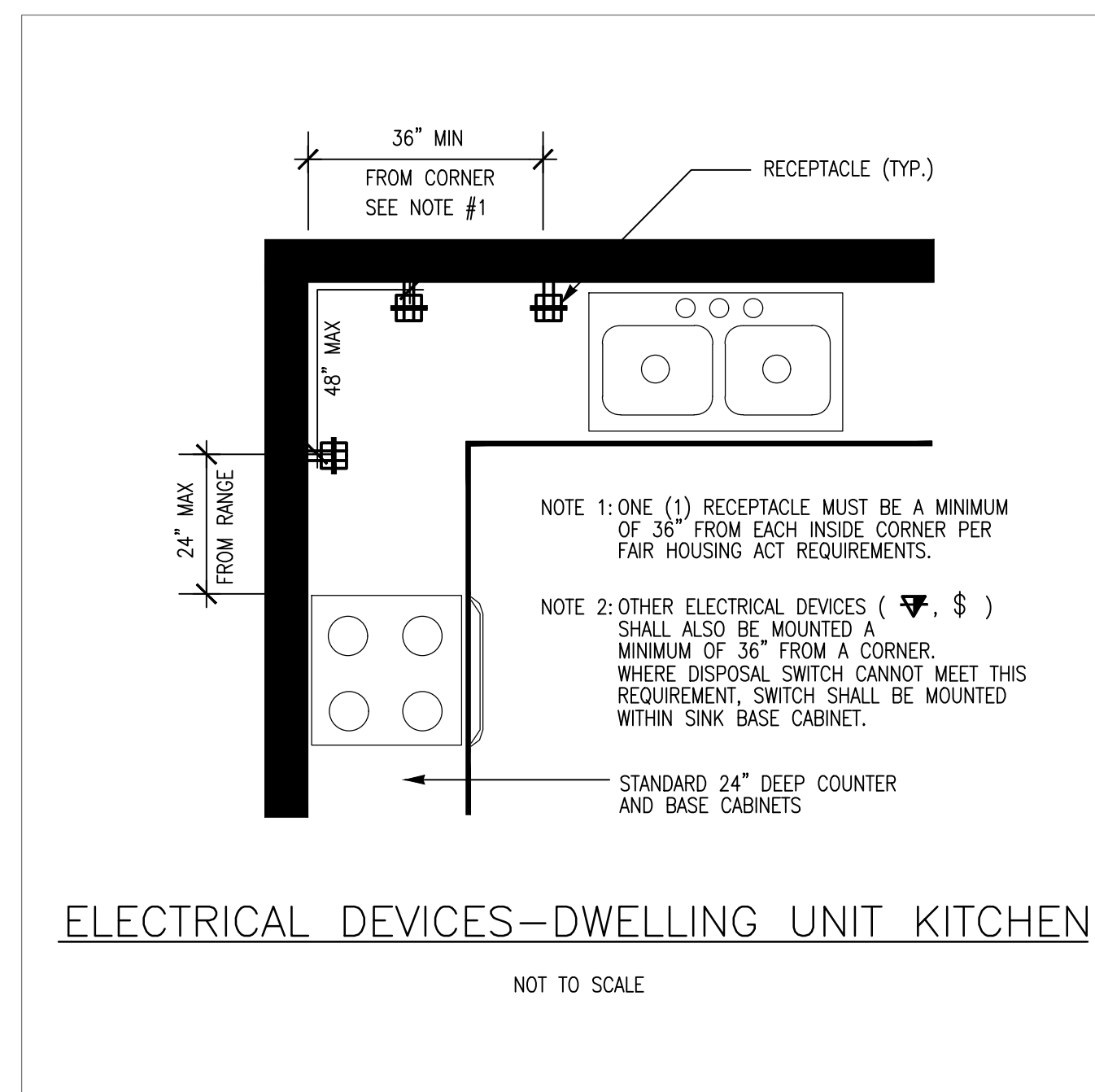
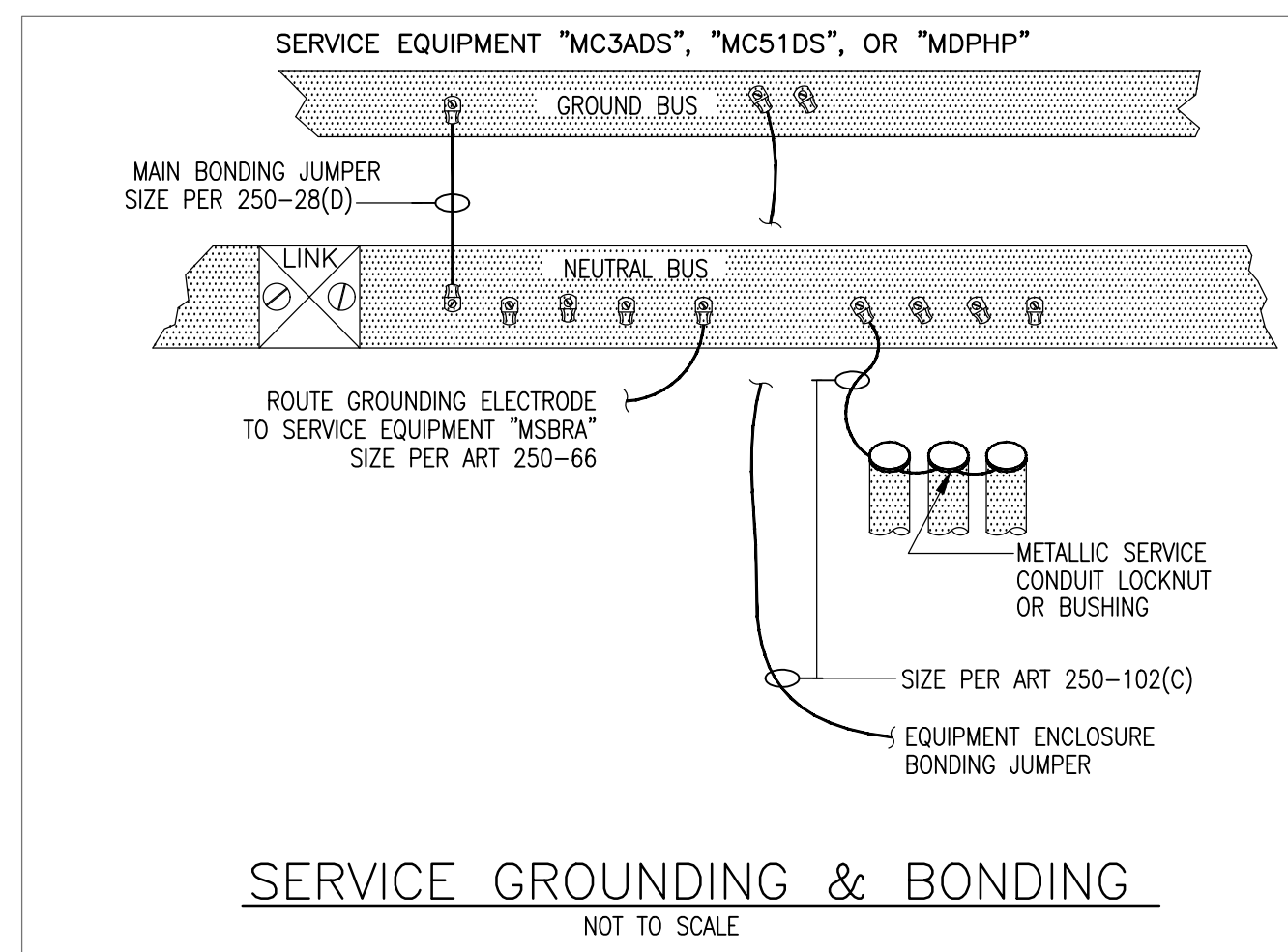
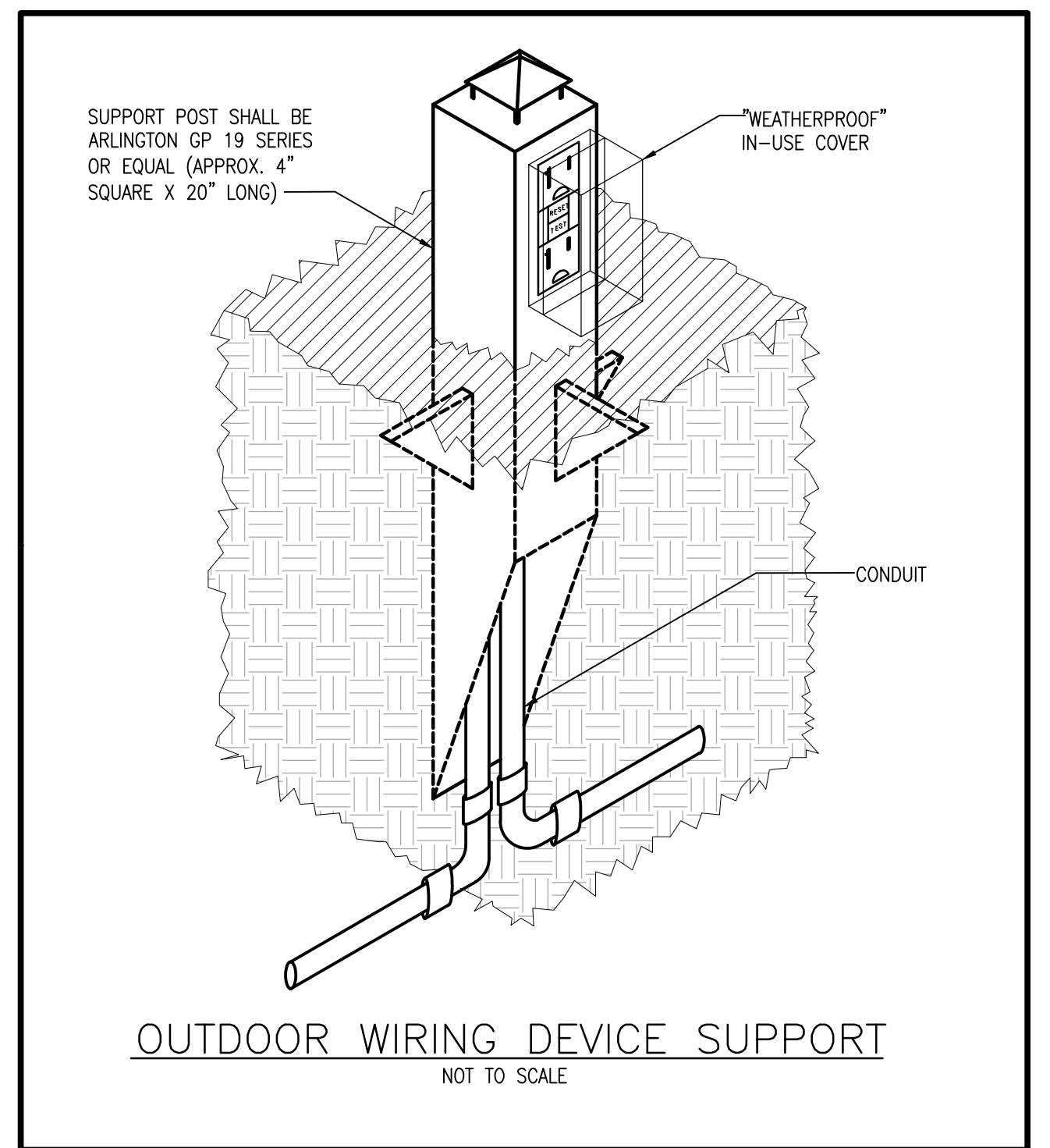
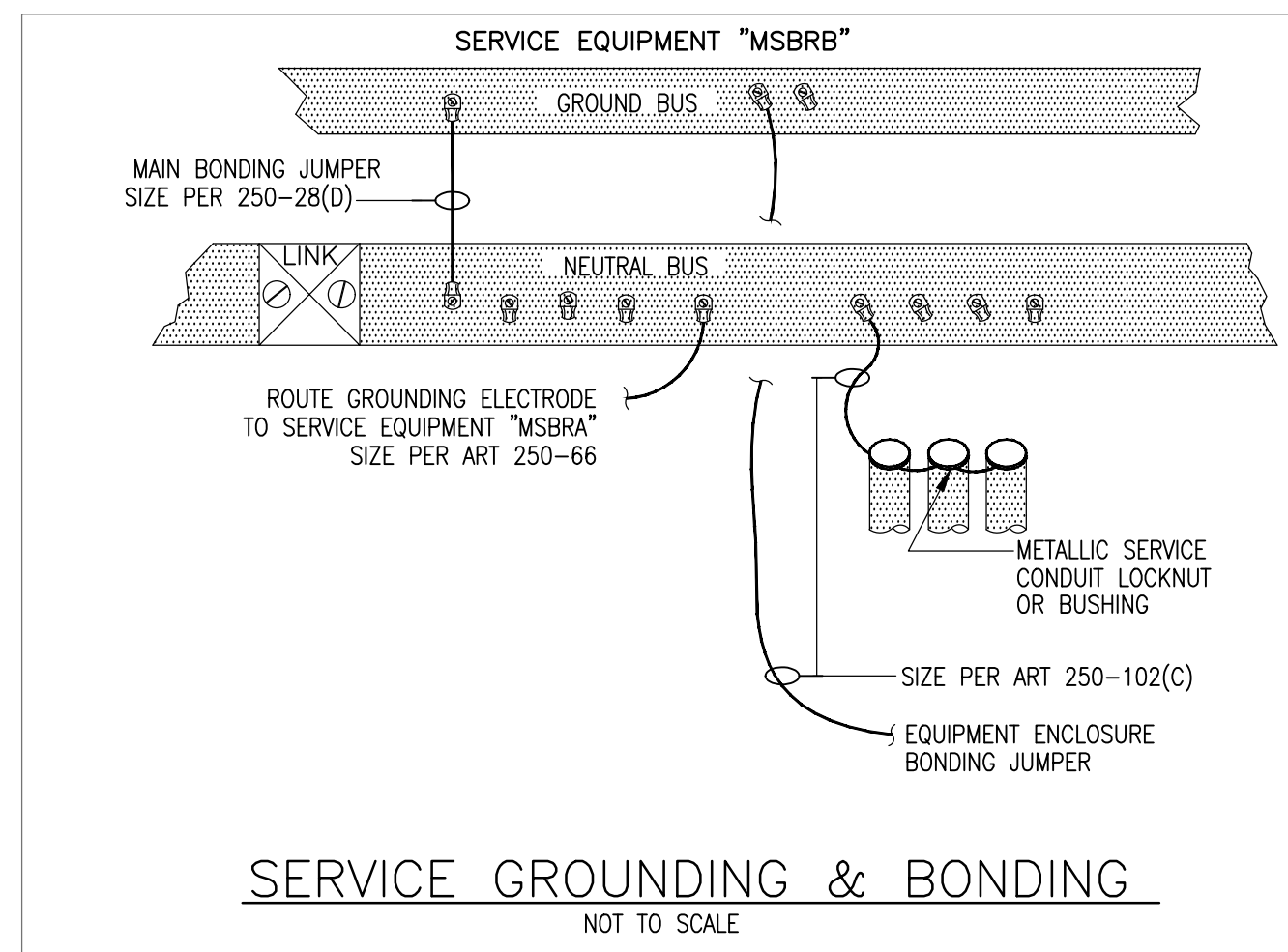
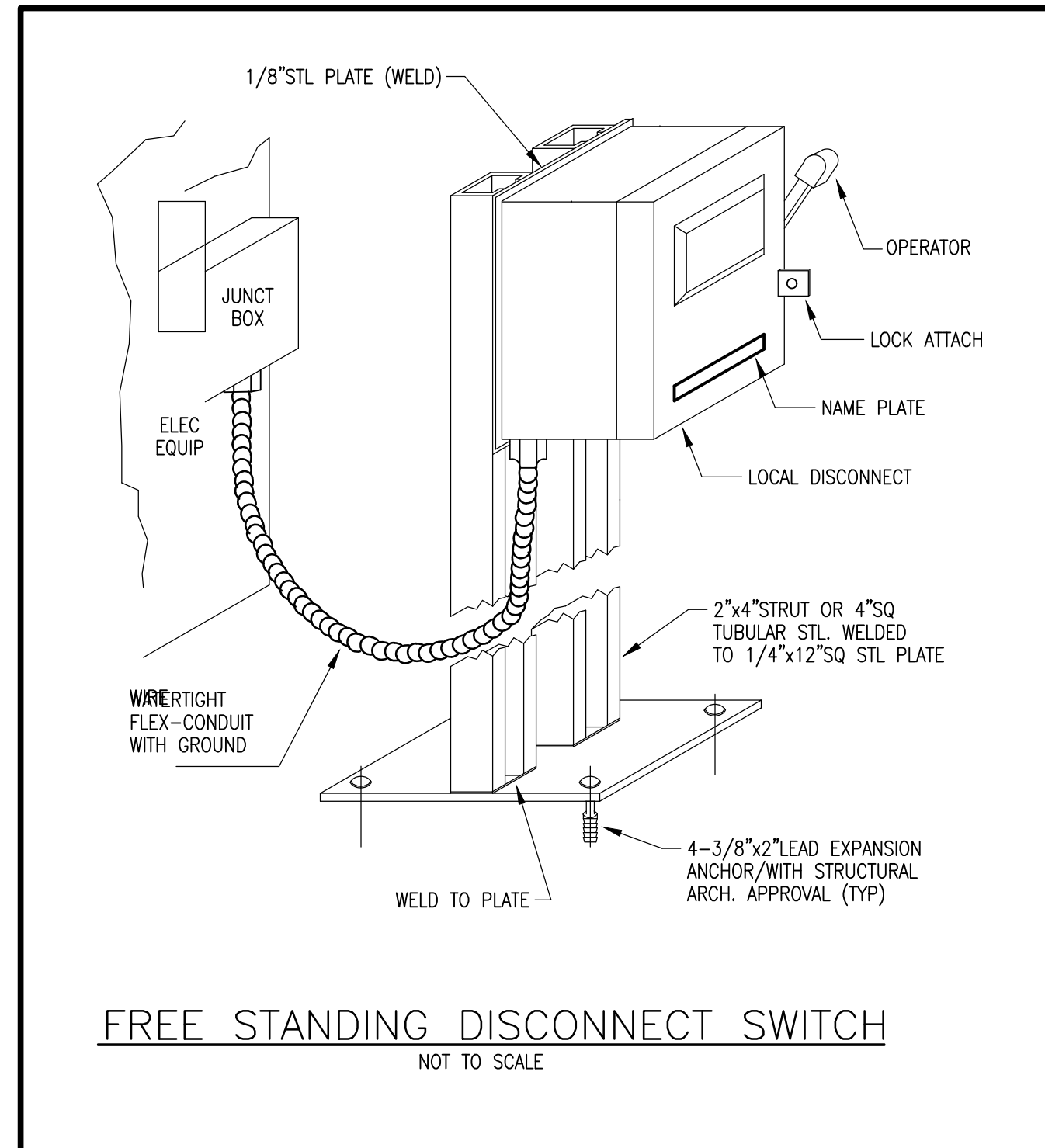
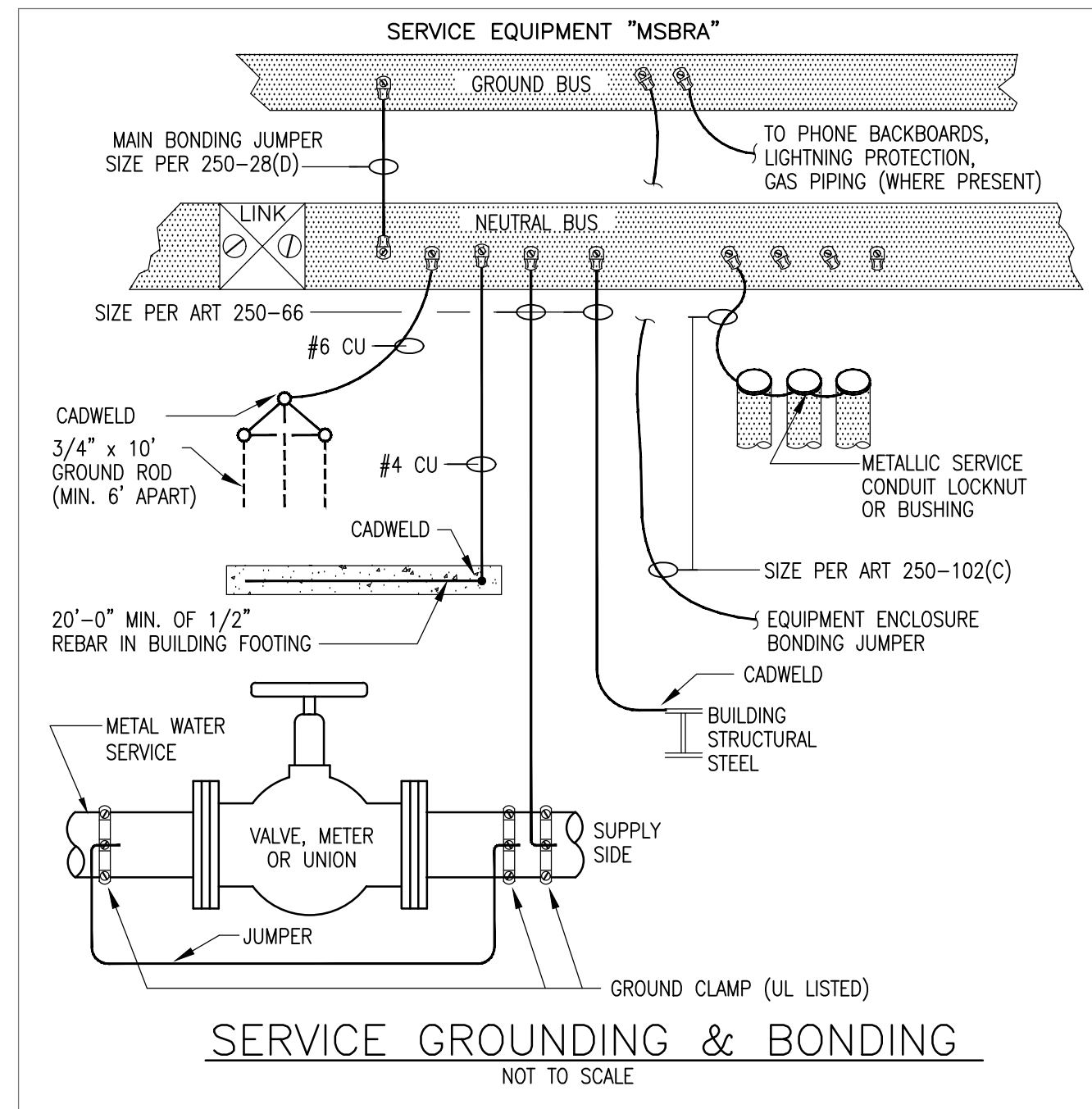
E1-73

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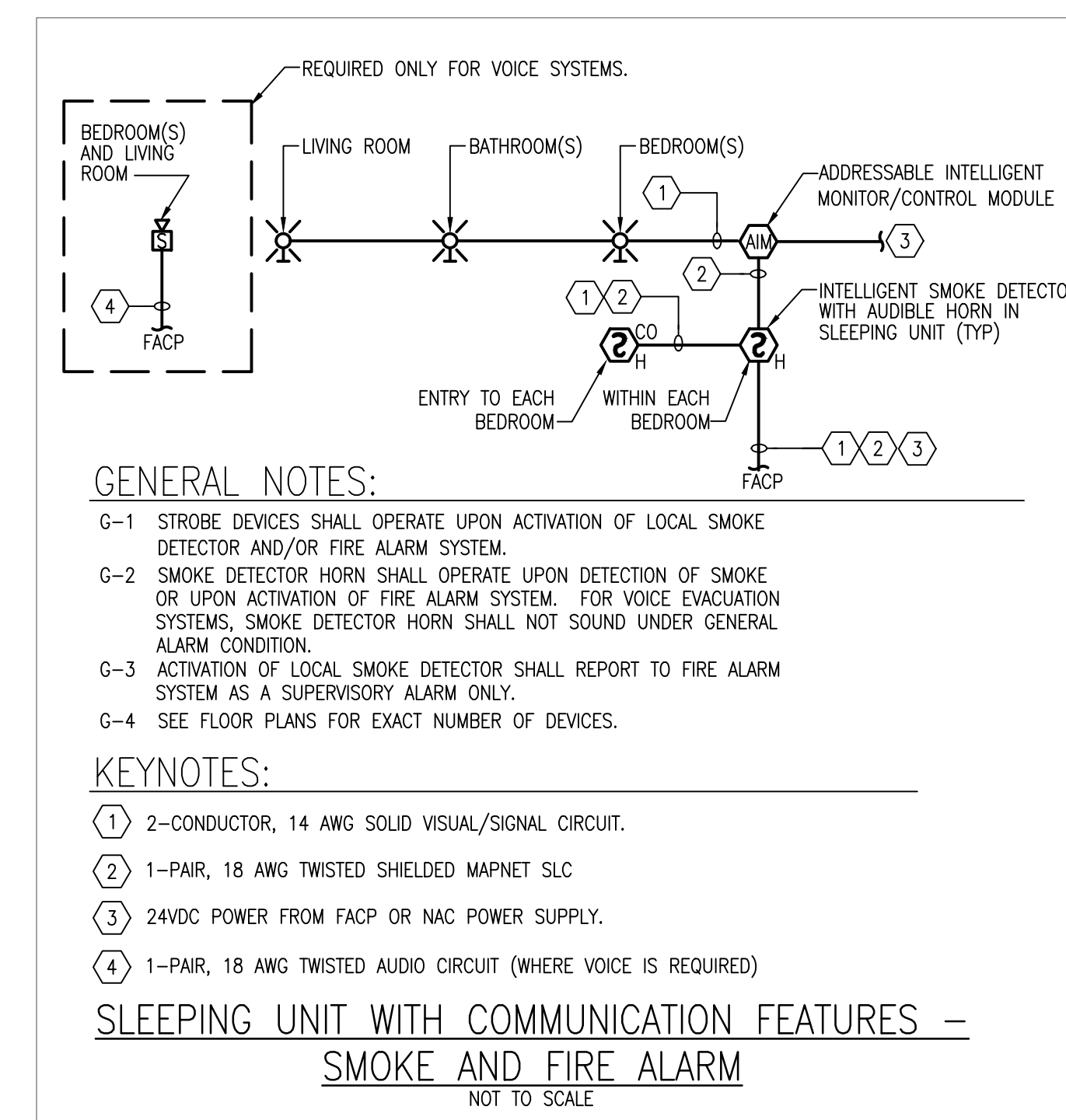
Project Number - 1710426 Drawn By: CLG Checked By: RWL



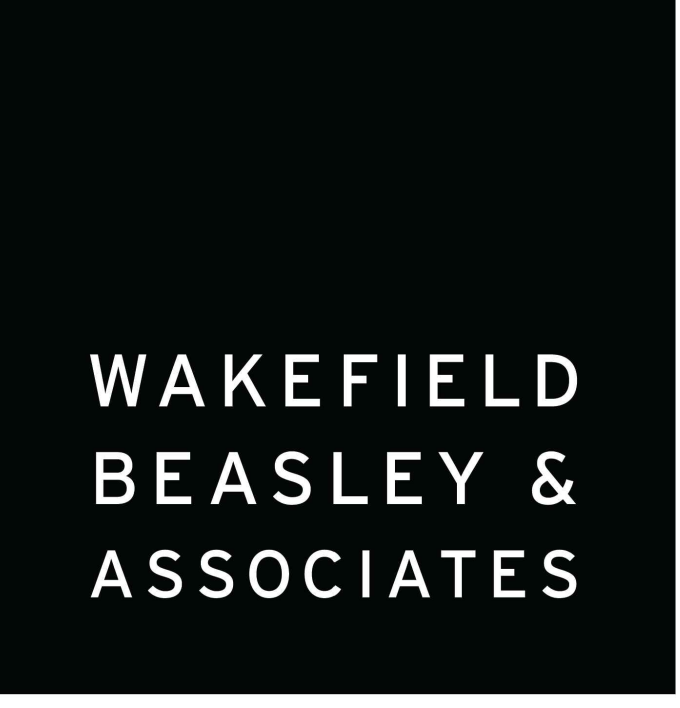
LIGHTING CONTACTOR SCHEDULE

CONT. NO.	LOAD DESCRIPTION	CONTACTOR CIRCUIT(S)			CONTROL CIRCUIT		ON		OFF	
		VOLT	AMPS	POLE/CIRCUIT NUMBERS	VOLT	CKT. NO.	PHOTO/TC	PHOTO/TC	PHOTO/TC	PHOTO/TC
1	XXX	120	20	2	LXX-X	120	LXX-X	TC		TC
2	XXX	120	20	1	LXX-X	120	LXX-X	TC		TC
3	XXX	120	20	1	LXX-X	120	LXX-X	PHOTO		TC

NOTES: UNLESS NOTED OTHERWISE, CONTACTOR(S) SHALL BE IN A NEMA 1 ENCLOSURE.



- GENERAL NOTES:**
- G-1 STROBE DEVICES SHALL OPERATE UPON ACTIVATION OF LOCAL SMOKE DETECTOR AND/OR FIRE ALARM SYSTEM.
 - G-2 SMOKE DETECTOR HORN SHALL OPERATE UPON DETECTION OF SMOKE OR UPON ACTIVATION OF FIRE ALARM SYSTEM. FOR VOICE EVACUATION SYSTEMS, SMOKE DETECTOR HORN SHALL NOT SOUND UNDER GENERAL ALARM CONDITION.
 - G-3 ACTIVATION OF LOCAL SMOKE DETECTOR SHALL REPORT TO FIRE ALARM SYSTEM AS A SUPERVISORY ALARM ONLY.
 - G-4 SEE FLOOR PLANS FOR EXACT NUMBER OF DEVICES.
- KEYNOTES:**
- (1) 2-CONDUCTOR, 14 AWG SOLID VISUAL/SIGNAL CIRCUIT.
 - (2) 1-PAIR, 18 AWG TWISTED SHIELDED MAPNET SLC
 - (3) 24VDC POWER FROM FACP OR NAC POWER SUPPLY.
 - (4) 1-PAIR, 18 AWG TWISTED AUDIO CIRCUIT (WHERE VOICE IS REQUIRED)



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Sheet Title

ELECTRICAL DETAILS

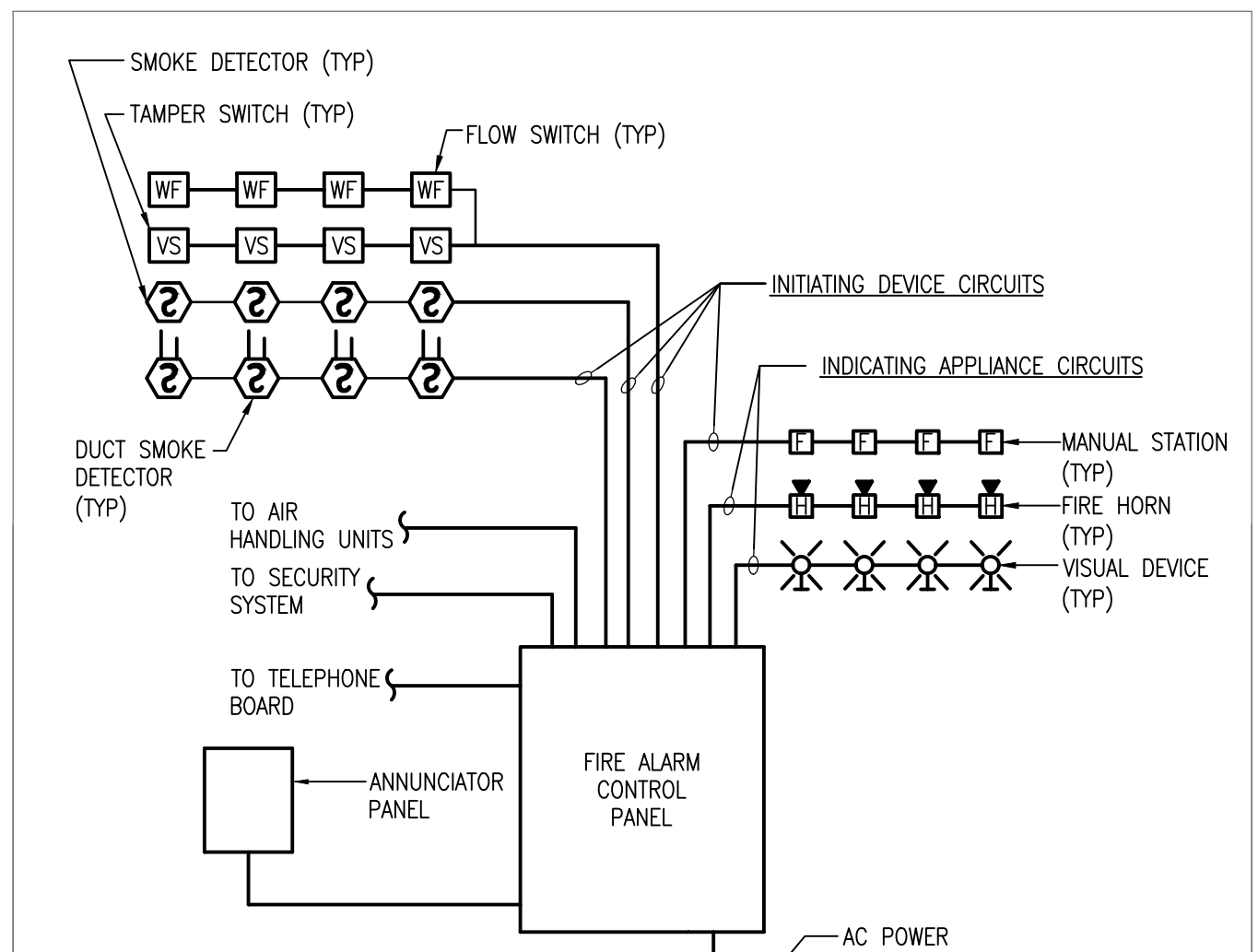
Sheet No.

E7-01

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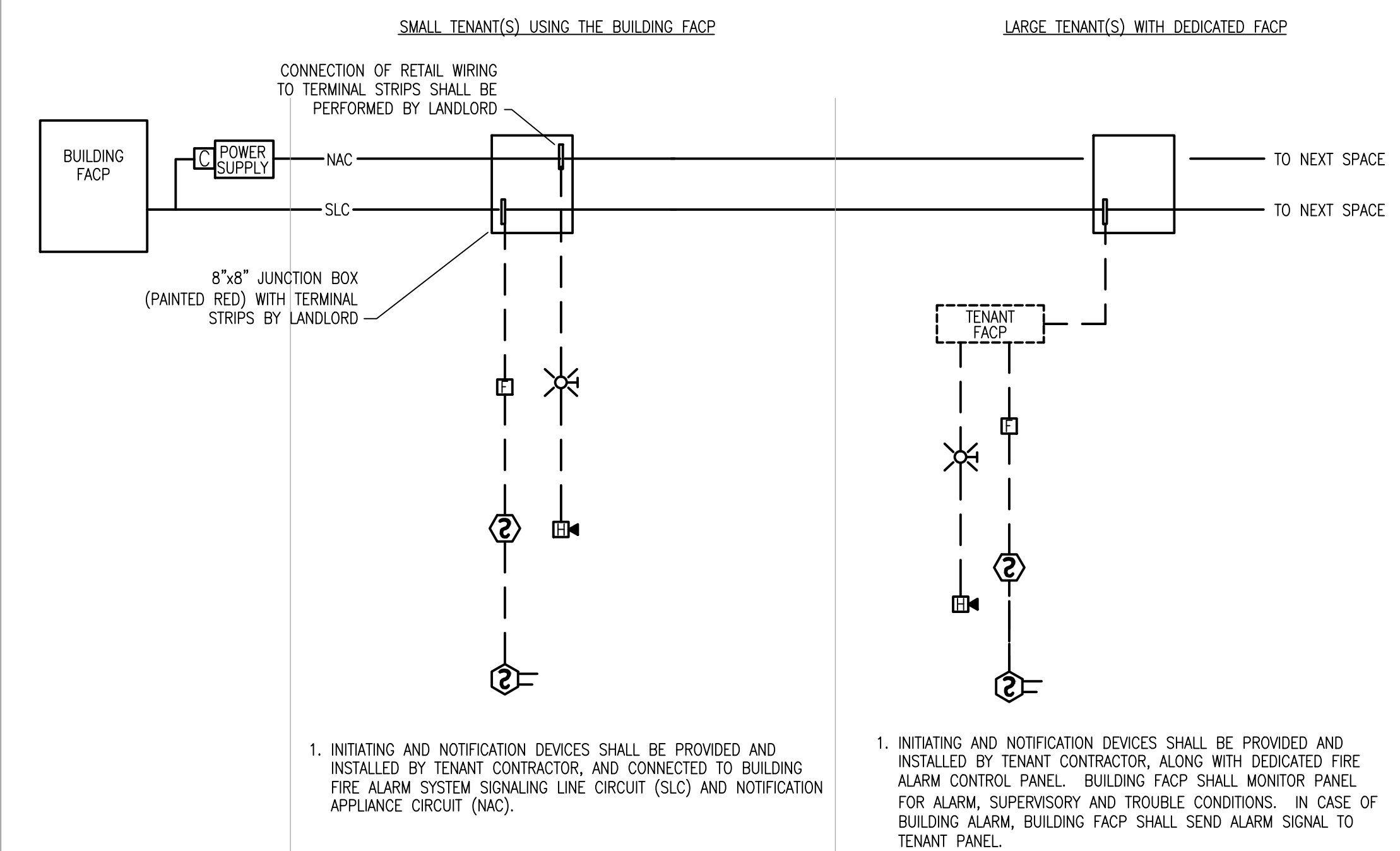


NOTES:

1. SYSTEM IS U.L. LISTED FOR POWER-LIMITED D.C. APPLICATIONS PER NEC 760.
2. ALL RACEWAY (WHERE INDICATED) SHALL BE MINIMUM 1/2" CONDUIT.
3. QUANTITY OF DEVICES IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE FLOOR PLAN DRAWINGS FOR ACTUAL NUMBER OF DEVICES.
4. WHEN AN ALARM CONDITION IS DETECTED BY ONE OF THE SYSTEM INITIATING DEVICES, THE FOLLOWING FUNCTIONS SHALL IMMEDIATELY OCCUR:
 - 4.a. THE SYSTEM ALARM LED SHALL FLASH.
 - 4.b. A LOCAL SOUNDING DEVICE IN THE PANEL SHALL BE ACTIVATED.
 - 4.c. THE CORRESPONDING LED ON THE INITIATING ZONE(S) IN ALARM SHALL FLASH.
 - 4.d. ALL AUTOMATIC PROGRAMS ASSIGNED TO THE ALARM POINT SHALL BE EXECUTED PER THE MATRIX ABOVE. AS EACH INDICATING CIRCUIT OR CONTROL RELAY IS ACTIVATED, ITS LED SHALL BE ILLUMINATED.
 - 4.e. ACTIVATE AN OUTPUT TO THE MONITORING SERVICE APPROVED BY THE LOCAL AUTHORITY.
5. SEE SPECIFICATION SECTION 283111 FOR MORE INFORMATION.

FIRE ALARM CONNECTION DETAIL

NOT TO SCALE



1. INITIATING AND NOTIFICATION DEVICES SHALL BE PROVIDED AND INSTALLED BY TENANT CONTRACTOR, AND CONNECTED TO BUILDING FIRE ALARM SYSTEM SIGNALING LINE CIRCUIT (SLC) AND NOTIFICATION APPLIANCE CIRCUIT (NAC).
1. INITIATING AND NOTIFICATION DEVICES SHALL BE PROVIDED AND INSTALLED BY TENANT CONTRACTOR, ALONG WITH DEDICATED FIRE ALARM CONTROL PANEL. BUILDING FACAP SHALL MONITOR PANEL FOR ALARM, SUPERVISORY AND TROUBLE CONDITIONS. IN CASE OF BUILDING ALARM, BUILDING FACAP SHALL SEND ALARM SIGNAL TO TENANT PANEL.

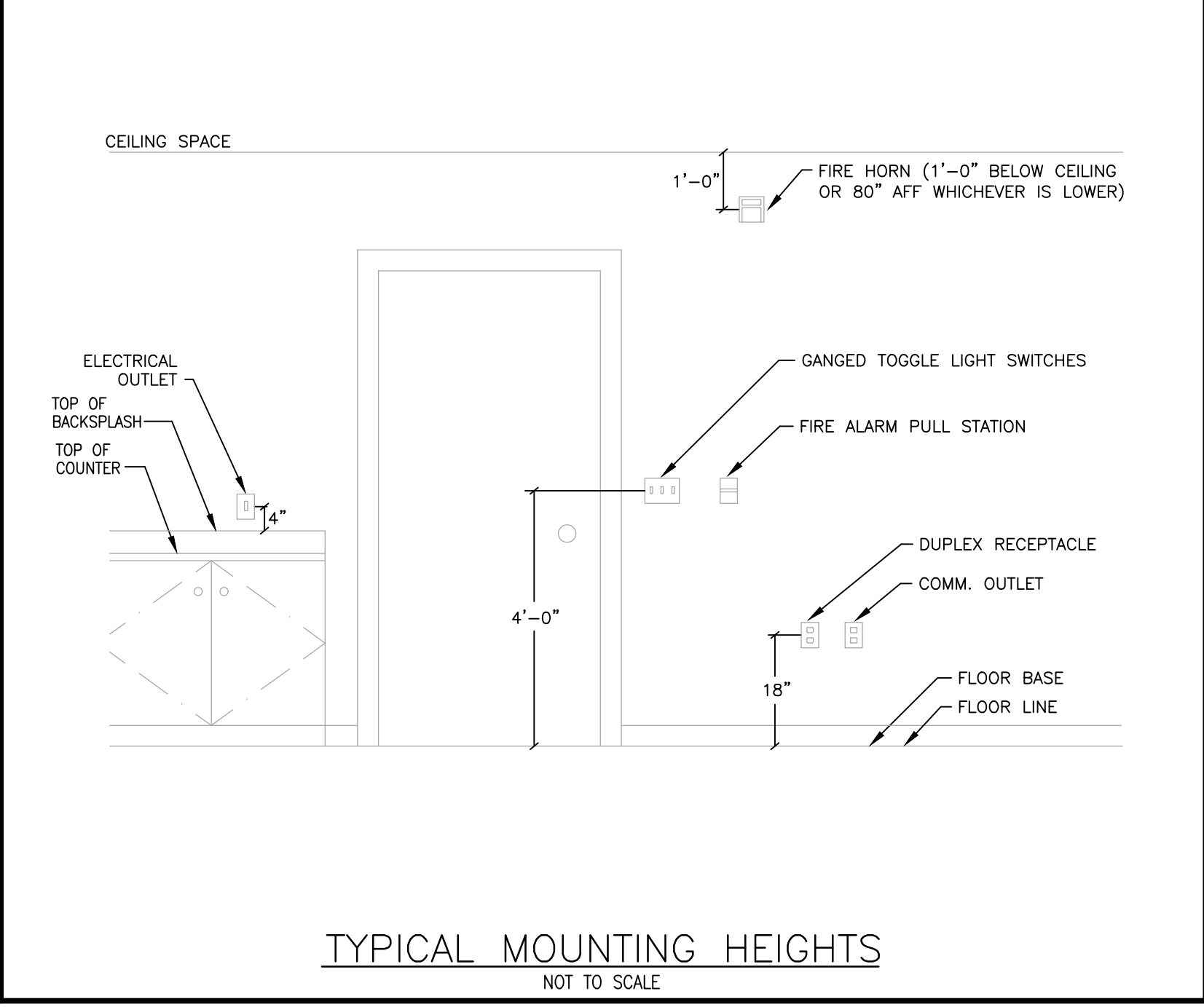
SYMBOL LEGEND	
	FIRE ALARM MANUAL STATION
	FIRE ALARM AUDIBLE DEVICE
	FIRE ALARM VISUAL DEVICE
	SMOKE DETECTOR
	DUCT MOUNTED SMOKE DETECTOR
	FIRE ALARM CONTROL PANEL
	CONTROL RELAY MODULE
	MONITOR MODULE
—	FIRE ALARM WIRING BY LANDLORD
---	FIRE ALARM WIRING BY TENANT

GENERAL NOTES

G-1 BASE BUILDING SYSTEM SHALL HAVE ONE (1) 8 AMP POWER SUPPLY FOR EVERY 10,000 SQUARE FEET OF SHELL TENANT SPACE.

FIRE ALARM SYSTEM WIRING – SHELL TENANT SPACES

NOT TO SCALE



TYPICAL MOUNTING HEIGHTS

NOT TO SCALE

DESIGNING ARCHITECT

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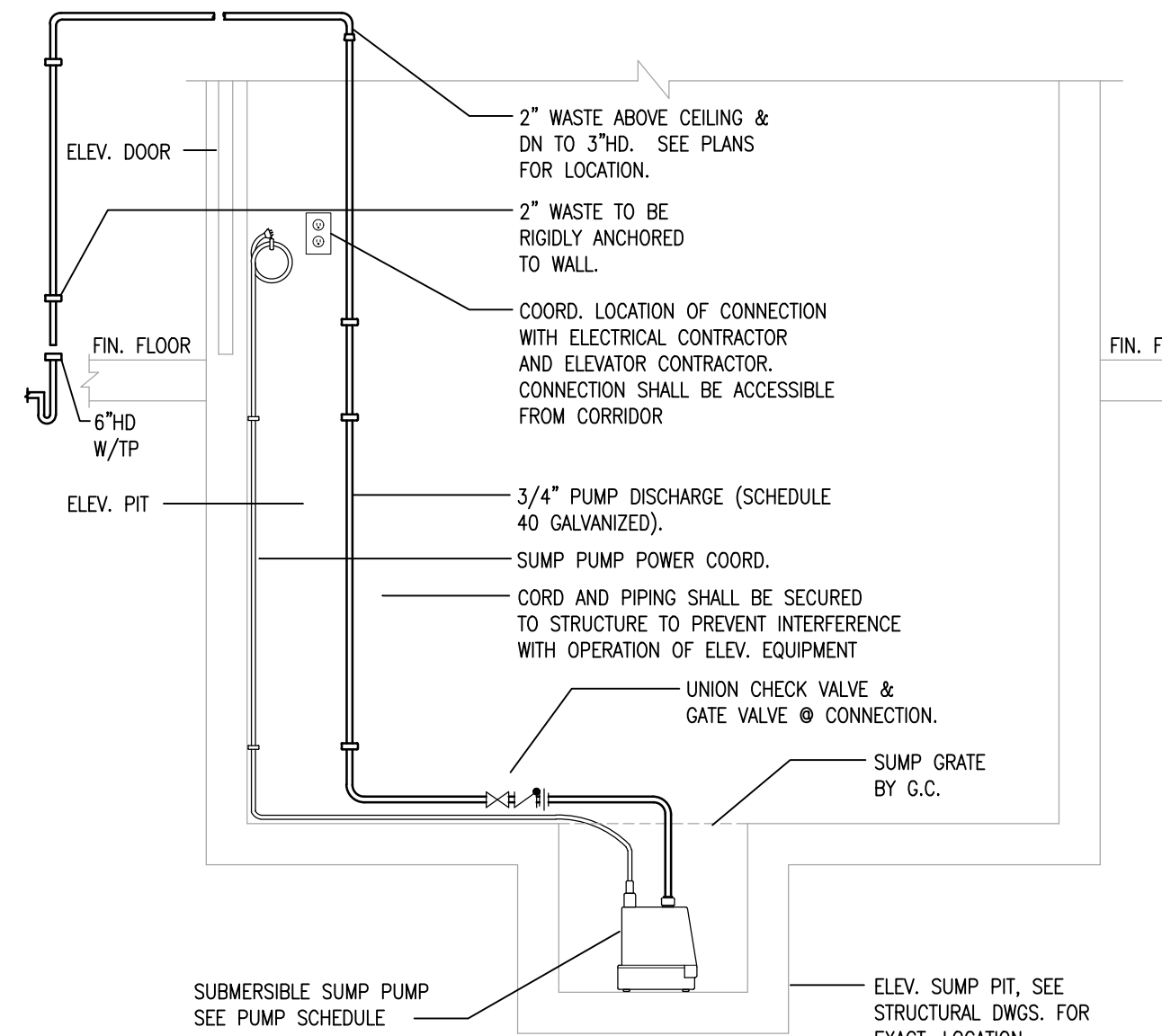
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Sheet Title
ELECTRICAL DETAILS

Sheet No.
E7-02

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ELEVATOR SUMP PUMP-DETAIL (SP-1) NOT TO SCALE

PUMP SCHEDULE table with columns: SYMBOL, SERVICE/LOCATION, TYPE, FLOW (GPM), HEAD (PSI), RPM, HP, NOTES. Includes notes on design basis and manufacturer.

FLOW TEST DATA SCHEDULE table with columns: TEST TYPE, VALUE. Includes static pressure, residual pressure, flow, elevation, location, date, and time.

DRAINAGE PRODUCTS/SPECIALTIES

UNLESS OTHERWISE INDICATED NUMBERS ARE JAY R. SMITH. APPROVED EQUAL PRODUCTS: ZURN, JOSAM, WADE, WATTS AND PRECISION PLUMBING PRODUCTS. CO-EXPOSED CLEANOUT - UNFINISHED AREAS. WCO-WALL CLEANOUT - FINISHED AREAS. FCO-CONCRETE FLOORS. FCO-TILE FLOORS. FCO-CARPETED FLOORS. YCO-EXTERIOR PAVED/CONCRETE AREAS. YCO-EXTERIOR UNSURFACED AREAS. FD "D0" - DECK DRAIN. FD "G" - FLOOR DRAINS-GENERAL/RESTROOMS. FD "M" - FLOOR DRAINS-GENERAL PURPOSE/MECHANICAL ROOM. FD "P" - PLANTER DRAIN. FD "T" - TRENCH DRAINS AT PARKING DECK, ZURN FLOW-THRU SYSTEM. LAVATORY-WALL HUNG SUPPORT. TP-"A"-AUTOMATIC TRAP PRIMER. WATER HAMMER ARRESTORS. HB-HOSE BIBB. NFBH - ROOF. NFBH-WALL HYDRANT-EXTERIOR. NFBH-HOSEBIBB-EXTERIOR. RD-ROOF DRAINS-INSULATED ROOF. ERO-EMERGENCY ROOF DRAIN. WASHING MACHINE UTILITY CONNECTION. ICE MAKER SUPPLY. DOWNSPOUT NOZZLE.

PLUMBING NOTES

- 1. ALL PLUMBING EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL PLUMBING CODE... 2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL PLUMBING FIXTURES... 3. ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE... 4. WATER PIPING ROUTED ABOVE CEILING AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UPSIDE) OF CEILING INSULATION... 5. ALL PIPING, P-TRAPS, AND CONDENSATE DRAINAGE SUBJECT TO FREEZING SHALL BE INSULATED AND LEAD TRACED... 6. ALL PLUMBING EQUIPMENT, CONDENSATE DRAINAGE, SANITARY, RAINWATER, AND WATER PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS... 7. SANITARY AND DRAINAGE PIPING 2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT MINIMUM... 8. TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR... 9. TRAP PRIMERS ARE TO BE PROVIDED ON ALL FLOOR DRAINS AND HUB DRAINS... 10. PLUMBING AND FIRE PROTECTION PIPING IS NOT TO BE INSTALLED IN ELECTRICAL ROOMS, CLOSETS, TELEPHONE ROOMS, OR ELEVATOR EQUIPMENT ROOMS... 11. ROUTING OF PIPING SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR... 12. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILING AND IN WALL STRUCTURE TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEMS... 13. LOCATE ALL SECTIONAL OR MAIN CONTROL VALVES WITHIN 1'-0" FROM ACCESS PANELS... 14. ALL COLD WATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH HANDI-LAW GUARD MODELS 102 AND 105 INSULATION KITS... 15. PROVIDE SHOCK ABSORBERS SIZED PER PDI SPECIFICATIONS ON ALL DOMESTIC WATER LINES SERVING FLOOR VALVE FIXTURES, WASHING MACHINES SUPPLIES, PRV STATIONS AND OTHER INSTALLATIONS WITH QUICK CLOSING VALVES... 16. PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS... 17. ALL SHOWER HEAD ARMS AND VALVES SHALL BE PROVIDED WITH ADDITIONAL BLOCKING AS REQUIRED AND RIGIDLY SECURED TO ADJACENT STRUCTURE... 18. ALL SHOWER HEADS SHALL BE INSTALLED WITH THE CENTER POINT OF THE SHOWER HEAD FACE LOCATED WITHIN 1/2" MINIMUM ABOVE THE TUB/SHOWER FINISHED SURFACE... 19. ALL CLOTHES WASHER BOXES AND ICE MAKER BOXES SHALL BE KEPT OUT OF RATED WALLS WHERE PRACTICAL... 20. PROVIDE REDUCED PRESSURE BACKFLOW PREVENTORS AT ALL DOMESTIC WATER CONNECTIONS TO MECHANICAL EQUIPMENT, IRRIGATION CONNECTIONS, ICE MACHINES, AND VENDING EQUIPMENT CONNECTIONS... 21. PROVIDE MANUFACTURED EXPANSION DEVICE OR FABRICATED EXPANSION LOOP ON ALL PIPING SYSTEMS CROSSING BUILDING EXPANSION JOINTS... 22. CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL FIRE PROTECTION EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND SHALL FURNISH EQUIPMENT SELECTED FOR THE VOLTAGES SHOWN THEREIN... 23. ALL PLUMBING EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT... 24. ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPED... 25. ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE OWNER... 26. ALL PIPE PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED AS REQUIRED TO RESTORE THE ASSEMBLY TO ITS ORIGINAL INTEGRITY... 27. PROVIDE AN INLINE FILTER ON THE DOMESTIC WATER SUPPLY TO ALL ICE MACHINES; FILTRINE MODEL TM OR ENGINEER APPROVED EQUAL... 28. ALL VENT THRU ROOF PENETRATIONS SHALL BE ROUTED TO TERMINATE AT THE LEAST VISIBLE LOCATION FROM THE ENTRY VIEW... 29. PROVIDE A FLANGED DOME SPHERE FLOATING FLANGE FLEXIBLE CONNECTOR COMPLETE WITH CONTROL RODS AT THE DOMESTIC BOOSTER PUMP SUCTION AND DISCHARGE CONNECTIONS... 30. ALL COMPONENTS OF THE DOMESTIC WATER SYSTEM SHALL COMPLY WITH ANSI/NSF 61, NSF 372, AND NSF 61-G LEAD FREE REQUIREMENTS.

PLUMBING MATERIALS

- 1. DOMESTIC COLD WATER SERVICE PIPING BELOW GRADE 4" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON PIPE WITH PUSH-IN JOINTS... 2. DOMESTIC HOT & COLD WATER PIPING ABOVE GRADE SHALL BE TYPE L HARD DRAWN COPPER TUBING... 3. SANITARY WASTE & STORM DRAIN PIPING BELOW GROUND SHALL BE CAST-IRON WITH PUSH-ON JOINTS... 4. SANITARY WASTE & VENT, AND STORM DRAIN PIPING ABOVE GROUND SHALL BE NO-HUB CAST-IRON WITH STAINLESS STEEL COUPLINGS... 5. LOW PRESSURE NATURAL GAS PIPING ABOVE GRADE SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH WELDED JOINTS... 6. ALL ABOVE GRADE HOT AND COLD DOMESTIC WATER, AND RECIRCULATION PIPING SHALL BE INSULATED EXCEPT AT HORIZONTAL CHASE BRANCH PIPING TO INDIVIDUAL PLUMBING FIXTURES AND ON VERTICAL RISERS WITHIN SEALED CHASES.

FIRE PROTECTION NOTES

- 1. ALL SPRINKLERS IN SPACES VISIBLE TO PUBLIC VIEW SHALL BE LOCATED SYMMETRICALLY IN RELATION TO CEILING DESIGN ELEMENTS... 2. SPRINKLER HEADS INSTALLED IN LAY IN ACoustICAL TILE CEILING SHALL BE CENTERED IN THE CEILING TILES... 3. ALL FIRE PROTECTION WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA STANDARDS... 4. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY FIRE PROTECTION EQUIPMENT... 5. CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL FIRE PROTECTION EQUIPMENT WITH THE ELECTRICAL DRAWINGS... 6. ALL FIRE PROTECTION EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE... 7. ALL PIPING ABOVE GRADE SHALL BE SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR CEILING STRUCTURE... 8. ALL SPRINKLER SYSTEMS SHALL BE DESIGNED TO THE AVAILABLE CITY WATER SUPPLY... 9. ALL SPRINKLER SYSTEM RISERS SHALL INCLUDE AN ALARM CHECK VALVE... 10. HYDRAULIC CALCULATIONS SHALL INCLUDE AN ALLOWANCE FOR INSIDE AND OUTSIDE HOSE STREAMS... 11. FIRE PROTECTION SUBCONTRACTOR SHALL FURNISH AND INSTALL 2A RATED 10 LB FIRE EXTINGUISHERS FOR EVERY 3000 SQ. FT. OF FLOOR AREA... 12. ALL MAJOR VALVES SHALL HAVE U.L. LISTED SUPERVISORY SWITCHES COMPATIBLE WITH THE OWNERS CENTRAL ALARM SYSTEM... 13. GROOVED (VICTALLOY) COUPLINGS SHALL NOT BE USED OVER OR NEAR ELECTRICAL SWITCHGEAR, PANELS, TRANSFORMERS, ETC... 14. ALL SPRINKLER PIPING SHALL BE ROUTED TO MAINTAIN MINIMUM CLEAR HEIGHTS... 15. ALL DRY PIPE SPRINKLER SYSTEMS SHALL BE COMPLETE WITH OS&Y GATE VALVES AND DRY PIPE VALVES... 16. ALL PIPING ON THE SYSTEM SIDES OF DRY PIPE OR PREACTION SYSTEMS SHALL BE GALVANIZED CLASS 150 AND 300 WALLEABLE IRON THREADED FITTINGS.

FIRE PROTECTION SYSTEM MATERIALS

- 1. ALL MATERIALS, PIPE, VALVES AND EQUIPMENT FURNISHED UNDER THIS SECTION SHALL BE NEW AND APPROVED BY NFPA UNDERWRITERS LABORATORIES, INC (U.L.), FACTORY MUTUAL (F.M.) AND AMERICAN WATER WORKS ASSOCIATION (AWWA) WHERE APPLICABLE... 2. SCHEDULE 40 WELDED OR SEAMLESS STEEL PIPE, ASTM A53, AND A135... 3. LIGHTWALL WELDED OR SEAMLESS STEEL PIPE, ASTM A53, AND A135... 4. AUTOMATIC SPRINKLERS SHALL BE PROVIDED AS FOLLOWS: A. FULLY CONCEALED TYPE SPRINKLERS... B. SMALL FRAME GLASS ELEMENT, SEMI-RECESSED, FAST RESPONSE PENDENT SPRINKLERS... C. FAST RESPONSE UPRIGHT PENDENT SPRINKLERS... D. ALTERNATE ACCEPTABLE MANUFACTURERS WITH EQUIVALENT SPRINKLERS ARE AUTOMATIC, GRINELL, GEM, AND RELIABLE.

PLUMBING LEGEND

Table with columns: SYMBOL, ABBREVIATION, DESCRIPTION. Lists symbols for various plumbing components like pipes, valves, drains, and cleanouts.

FIRE PROTECTION LEGEND

Table with columns: SYMBOL, ABBREVIATION, DESCRIPTION. Lists symbols for fire protection components like sprinklers, valves, and piping.

THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS GENERAL IN NATURE AND, AS SUCH, MAY NOT DESCRIBE ALL COMPONENTS OR CONDITIONS NECESSARY FOR THE COMPLETED PROJECT. THE CONTRACTOR, BY USING THESE DOCUMENTS AS PART OF ANY EFFORT TO ESTABLISH A GUARANTEED MINIMUM PRICE (GMP) FOR CONSTRUCTION, ACKNOWLEDGES THE INCOMPLETE NATURE OF THE INFORMATION CONTAINED HEREIN...

DSE Jordan & Skala Engineers logo and contact information: 4275 Shuckford Road, Suite 200, Norcross, GA 30093.

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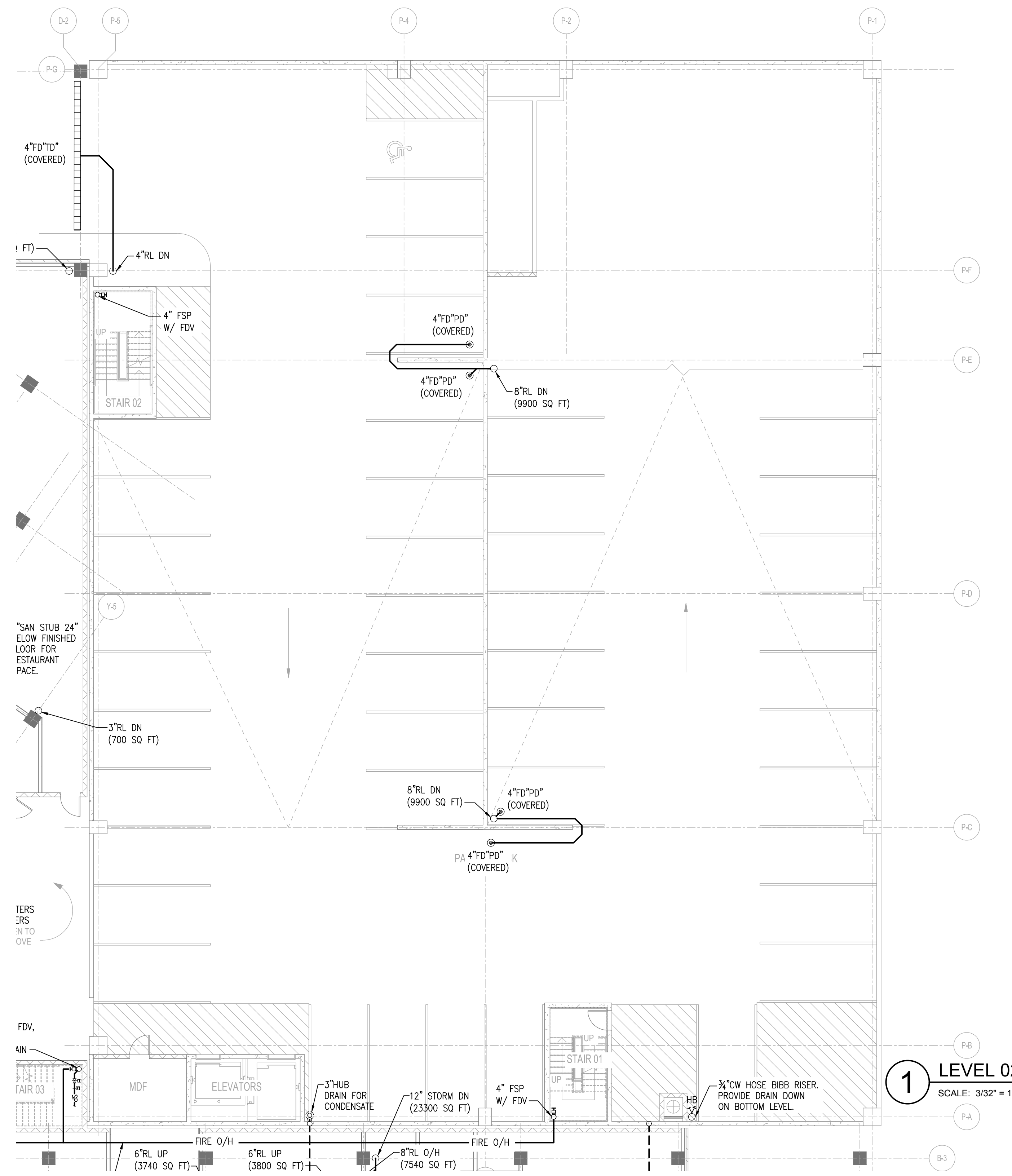
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Revisions table with columns: NO., DATE, DESCRIPTION. Includes revision 1 on 08/31/2017.

GENERAL NOTES + SCHEDULES - PLUMBING

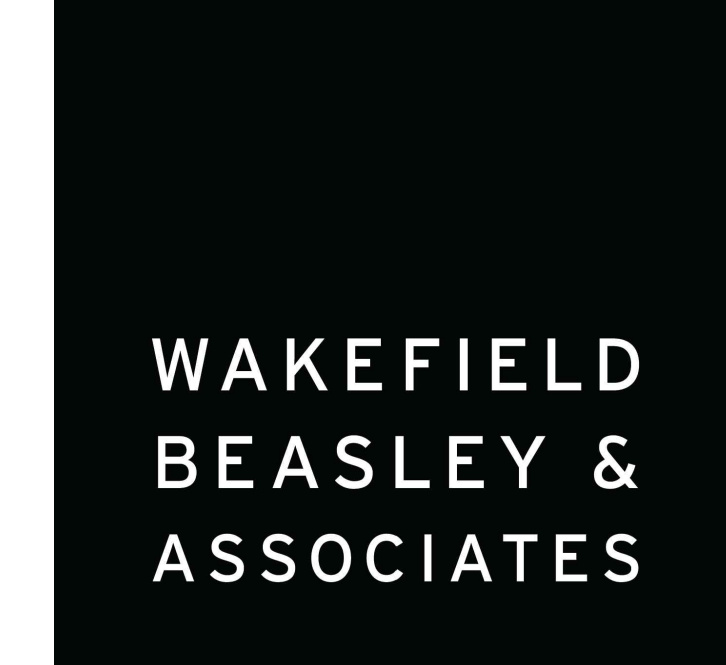
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1 LEVEL 02 - PARKING - PLUMBING
SCALE: 3/32" = 1'-0"

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Revisions

No.	Description

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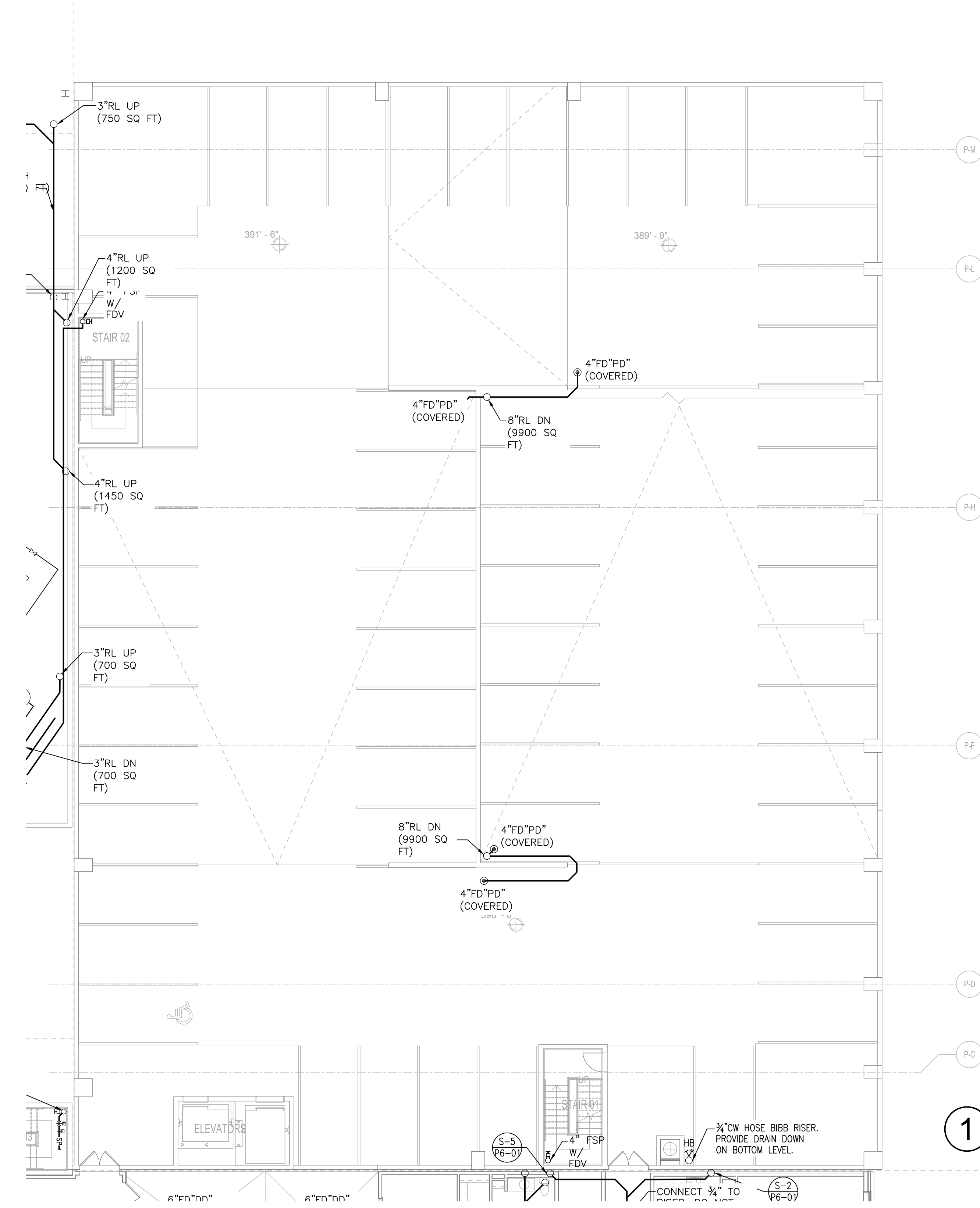
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1 LEVEL 03 - PARKING - PLUMBING
 SCALE: 3/32" = 1'-0"

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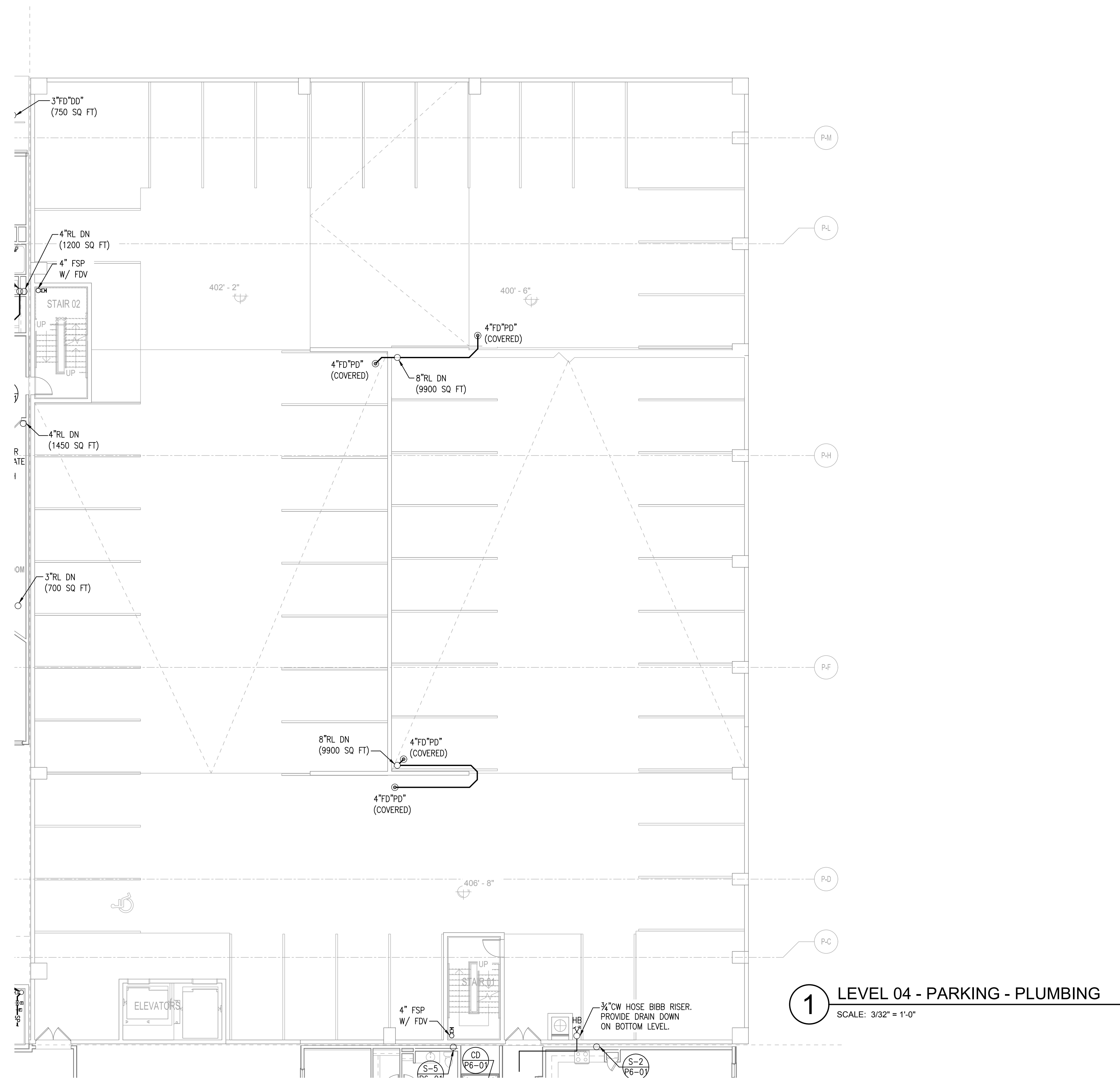
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08/31/2017	1603094.000

Sheet Title
**LEVEL 03 - PARKING -
 PLUMBING**

Sheet No.
P1-33

JSE Jordan & Skala Engineers
 4275 Shakerford Road, Suite 200
 Norcross, GA 30093
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 Project Number - 1710426 Drawn By: JH Checked By: EE

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1 LEVEL 04 - PARKING - PLUMBING
SCALE: 3/32" = 1'-0"

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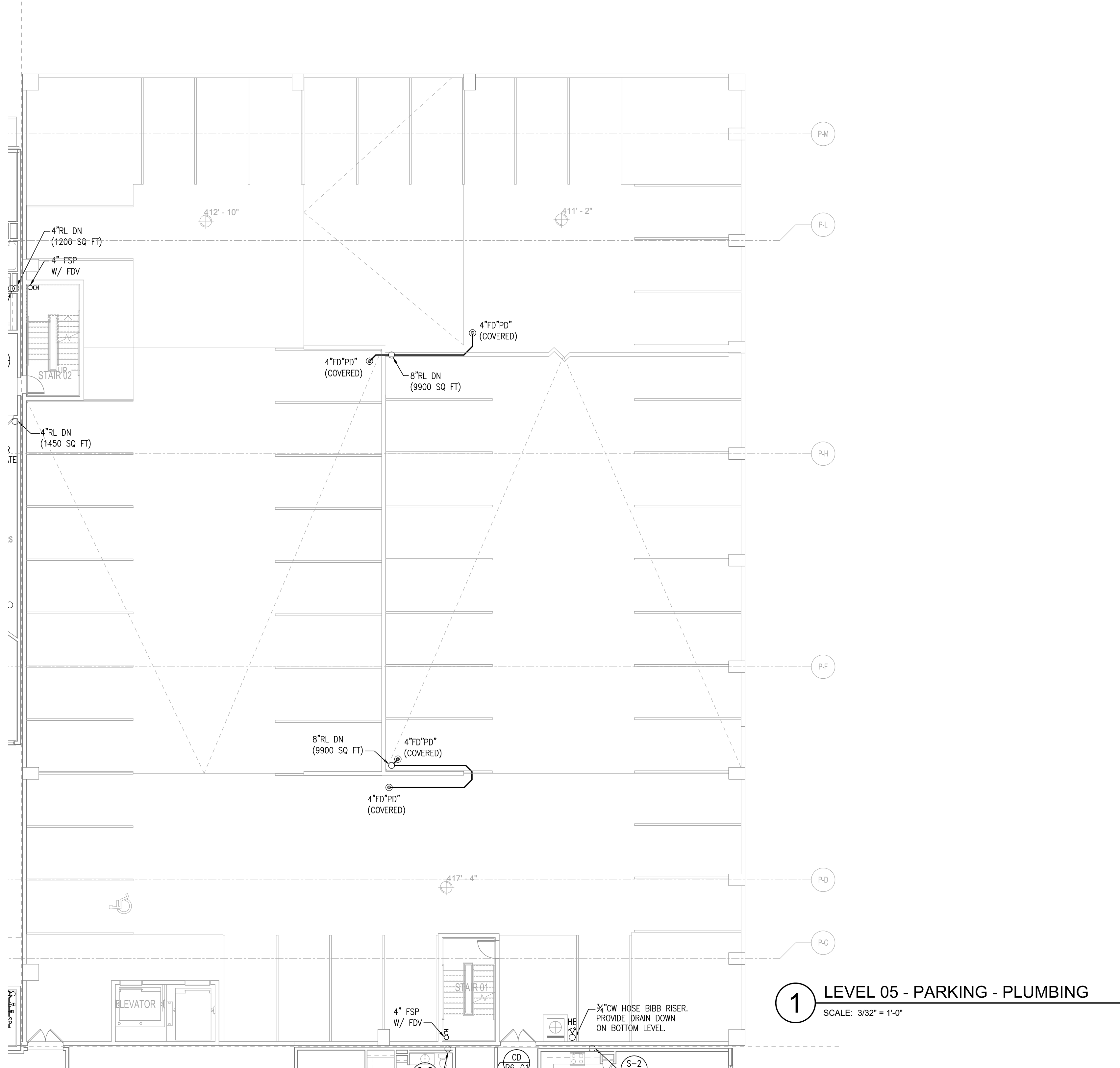
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PLUMBING**

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P1-43

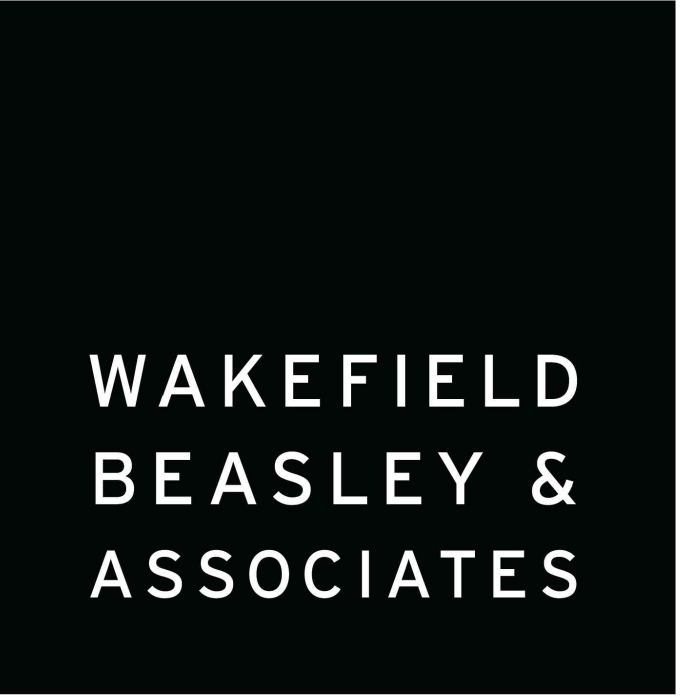
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1 LEVEL 05 - PARKING - PLUMBING
SCALE: 3/32" = 1'-0"



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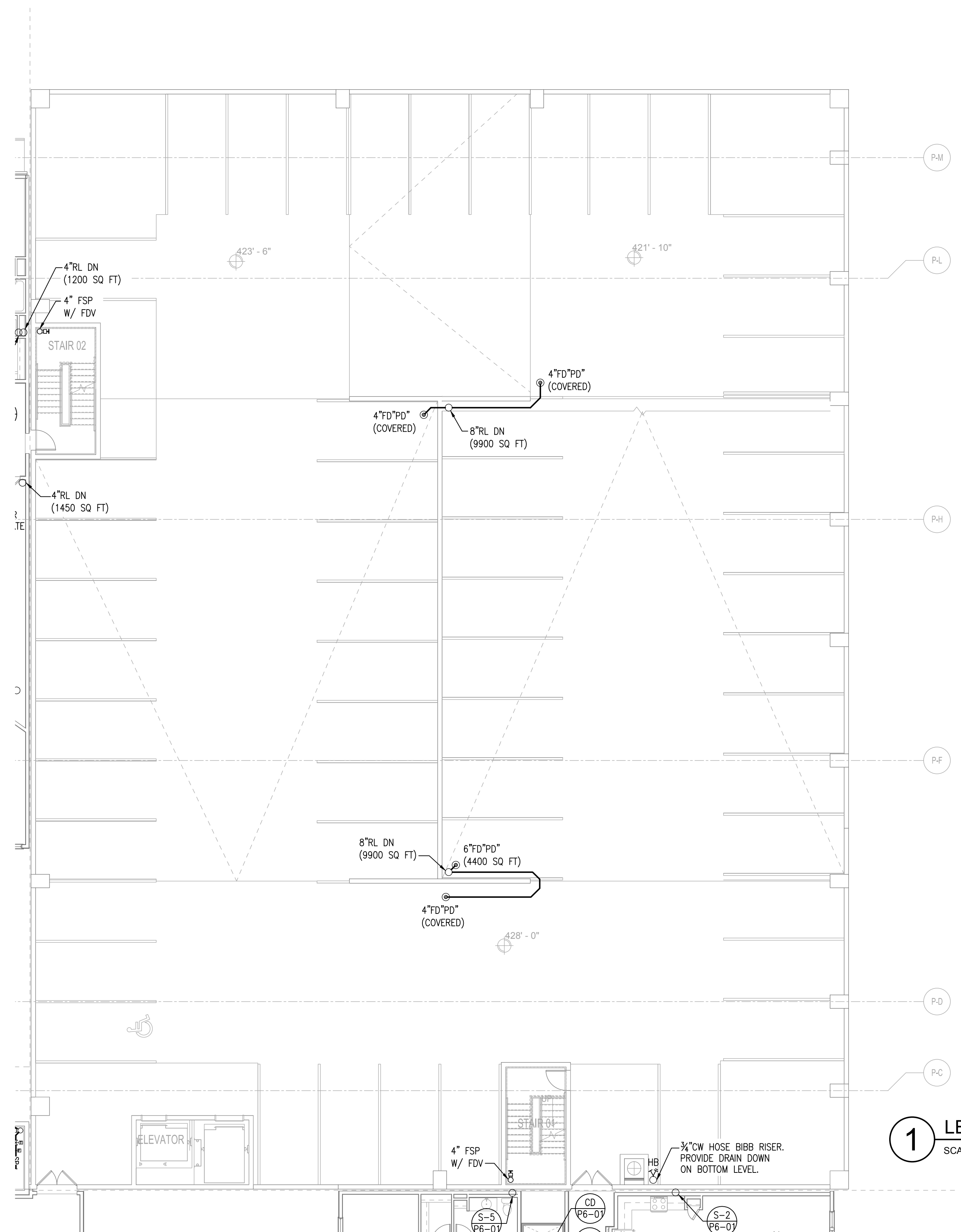
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1 LEVEL 06 - PARKING - PLUMBING
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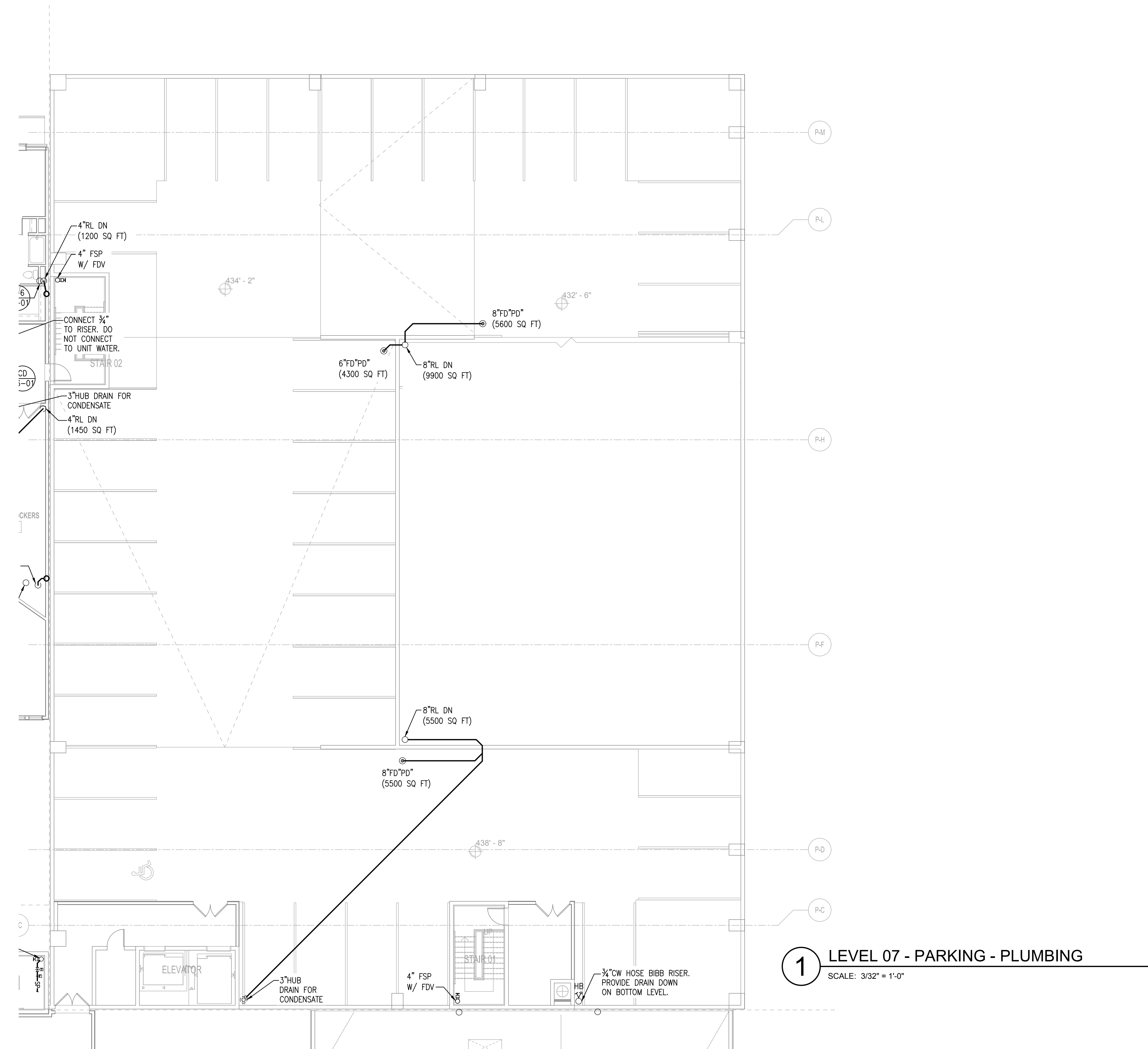
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 PLUMBING**

Sheet No.

P1-63

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1 LEVEL 07 - PARKING - PLUMBING
SCALE: 3/32" = 1'-0"

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**LEVEL 07 - PARKING -
PLUMBING**

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P1-73

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