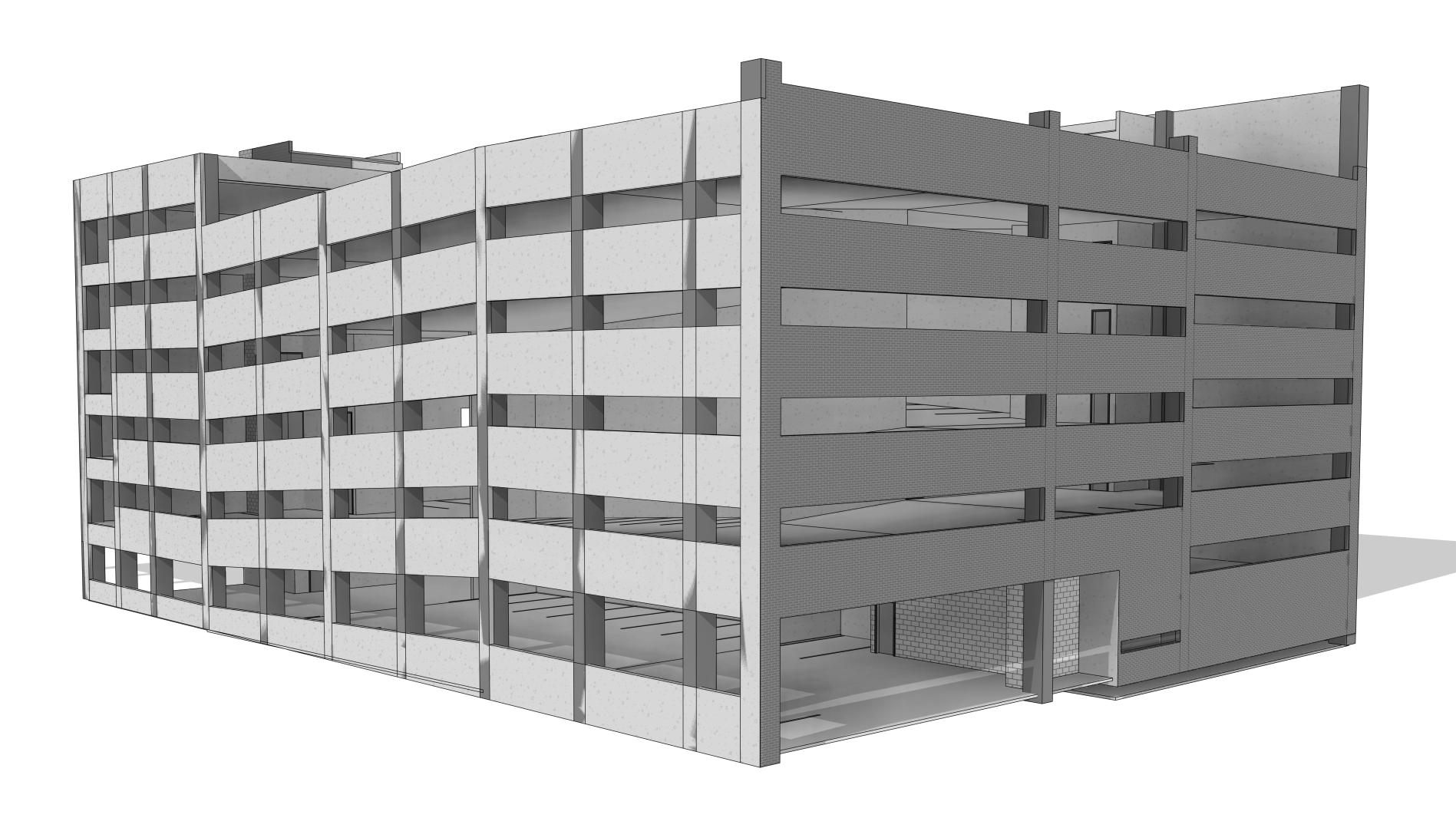
DT WALTON PARKING DECK

BID SET

06.17.2019



SHEET NUMBER	SHEET NAME	BID SET - 06/17/201
3 PD TITLE		
T1-00	COVER SHEET	Х
T1-01	PROJECT INFORMATION	Х
3.1 PD LS		
LS2-00	PHASING PLAN	Х
LS2-01	LIFE SAFETY - LEVEL 01-02	Х
LS2-03	LIFE SAFETY - LEVEL 03-06	Х
LS2-07	LIFE SAFETY - LEVEL 07	Х
3.2 CIVIL		
C0.0	COVER SHEET	Х
C1.0	OVERALL SITE PLAN	X
C1.1	SITE SURVEY	X
C1.2	PROJECT NOTES	X
C2.1	SITE DEMOLITION PLAN	X
C2.2	SITE DEMOLITION PLAN INSETS	X
C3.1	SITE LAYOUT AND PAVING PLAN	X
C3.2	SITE LAYOUT AND PAVING PLAN INSETS	X
C4.1	SITE GRADING AND DRAINAGE PLAN	X
C4.2	SITE GRADING AND DRAINAGE PLAN INSETS	X
C5.1	SITE WATER AND SANITARY SEWER PLAN	X
C5.2	SITE WATER AND SANITARY SEWER PLAN INSETS	X
C6.1	INITIAL STORMWATER POLLUTION PREVENTION PLAN	Х
C6.2	INITIAL STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6.3	INTERMEDIATE STORMWATER POLLUTION PREVENTION PLAN	X
C6.4	INTERMEDIATE STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6.5	FINAL STORMWATER POLLUTION PREVENTION PLAN	X
C6.6	FINAL STORMWATER POLLUTION PREVENTION PLAN INSETS	X
C6.7	NPDES COMPREHENSIVE MONITORING PROGRAM NOTES	X

		- 06/17/201
SHEET NUMBER	SHEET NAME	BID SET
C6.8	STORMWATER POLLUTION PREVENTION NOTES	X
C6.9	STORMWATER POLLUTION PREVENTION DETAILS	X
C7.1	MISCELLANEOUS SITE DETAILS	X
C7.2	MISCELLANEOUS SITE DETAILS	X
C7.3	MISCELLANEOUS SITE DETAILS	X
C7.4	SITE WATER DETAILS	X
C7.5	SITE SANITARY SEWER DETAILS	X
3.3 PD ARCHITECTURE		
A1-00	ARCHITECTURAL SITE PLAN	X
A 1 - 1 0	LEVEL 01 - OVERALL - PARKING DECK	X
A1-13	LEVEL 01 - PARKING PLAN	X
A1-20	LEVEL 02 - OVERALL - PARKING DECK	X
A1-23	LEVEL 02 - PARKING PLAN	X
A1-30	LEVEL 03 - OVERALL - PARKING DECK	X
A1-33	LEVEL 03 - PARKING PLAN	X
A1-40	LEVEL 04 - OVERALL - PARKING DECK	X
A1-43	LEVEL 04 - PARKING PLAN	X
A1-50	LEVEL 05 - OVERALL - PARKING DECK	X
A1-53	LEVEL 05 - PARKING PLAN	X
A1-60	LEVEL 06 - OVERALL - PARKING DECK	X
A1-63	LEVEL 06 - PARKING PLAN	X
A1-70	LEVEL 07 - OVERALL - PARKING DECK	X
A1-73	LEVEL 07 - PARKING PLAN	X
A2-20	EXTERIOR ELEVATIONS - PARKING DECK	X
A2-21	EXTERIOR ELEVATIONS - PARKING DECK	X
A2-22	PARKING DECK NORTH ELEVATION ALTERNATE	X
A3-01	BUILDING SECTIONS - PARKING DECK	X
A5-01	STAIR 01	X

SHEET NUMBER	SHEET NAME	BID SET - 06/17/20
	I	
A5-02	STAIR 02	X
A5-10	ELEVATOR & TRASH CHUTE PLANS	X
A5-11	ELEVATOR & TRASH CHUTE SECTIONS	X
A7-05	DOOR SCHEDULE AND DETAILS	X
3.4 PD STRUCTURE		
S-0	GENERAL NOTES	X
S-1	FOUNDATION PLAN	X
S-2	FOUNDATION SECTIONS	X
S-3	FOUNDATION SECTIONS	X
3.5 PD MECHANICAL		
M0-01	GENERAL NOTES, LEGEND + SHEDULES - HVAC	X
M1-10	LEVEL 01 - OVERALL - HVAC	X
M1-13	LEVEL 01 - PARKING - HVAC	X
M1-20	LEVEL 02 - OVERALL - HVAC	X
M1-23	LEVEL 02 - PARKING - HVAC	X
M1-30	LEVEL 03 - OVERALL - HVAC	X
M1-33	LEVEL 03 - PARKING - HVAC	X
M1-40	LEVEL 04 - OVERALL - HVAC	X
M1-43	LEVEL 04 - PARKING - HVAC	X
M1-70	LEVEL 07 - OVERALL - HVAC	X
M1-73	LEVEL 07 - PARKING - HVAC	X
3.6 PD ELECTRICAL		
E1-10	LEVEL 01 - OVERALL - ELECTRICAL	X
E1-13	LEVEL 01 - PARKING - ELECTRICAL	X
E1-20	LEVEL 02 - OVERALL - ELECTRICAL	X
E1-23	LEVEL 02 - PARKING - ELECTRICAL	X
E1-30	LEVEL 03 - OVERALL - ELECTRICAL	X
E1-33	LEVEL 03 - PARKING - ELECTRICAL	X

		- 06/17/2
SHEET NUMBER	SHEET NAME	CITY CITY
STILLT NOWDLIX	STILLT IVAIVIL	α
E1-40	LEVEL 04 - OVERALL - ELECTRICAL	Х
E1-43	LEVEL 04 - PARKING - ELECTRICAL	×
E1-50	LEVEL 05 - OVERALL - ELECTRICAL	×
E1-53	LEVEL 05 - PARKING - ELECTRICAL	×
E1-60	LEVEL 06 - OVERALL - ELECTRICAL	X
E1-63	LEVEL 06 - PARKING - ELECTRICAL	×
E1-70	LEVEL 07 - OVERALL - ELECTRICAL	X
E1-73	LEVEL 07 - PARKING - ELECTRICAL	X
E5-01	ELECTRICAL RISER DIAGRAM	Х
E6-01	PANEL SCHEDULES	X
E7-01	ELECTRICAL DETAILS	X
E7-02	ELECTRICAL DETAILS	X
E1-00P	SITE PLAN - ELECTRICAL PARKING	
3.7 PD PLUMBING		,
P1-01	GENERAL NOTES + SCHEDULES - PLUMBING	X
P1-13	LEVEL 01 - PARKING - PLUMBING	X
P1-23	LEVEL 02 - PARKING - PLUMBING	Х
P1-33	LEVEL 03 - PARKING - PLUMBING	X
P1-43	LEVEL 04 - PARKING - PLUMBING	Х
P1-53	LEVEL 05 - PARKING - PLUMBING	X
P1-63	LEVEL 06 - PARKING - PLUMBING	X
P1-73	LEVEL 07 - PARKING - PLUMBING	X

PROJECT TEAM

OWNER:

MACON-BIBB URBAN DEVELOPMENT AUTHORITY

200 CHERRY ST, SUITE 300 MACON, GA 31201

ALEX MORRISON, EXECUTIVE DIRECTOR

amorrison@maconbibb.us

CIVIL ENGINEER:

CARTER ENGINEERING GROUP

(Under separate contract with the Owner)

6310 PEAKE ROAD, SUITE 200 MACON, GA 31210

ARCHITECT:

WAKEFIELD BEASLEY & ASSOCIATES, INC.

5200 AVALON BOULEVARD ALPHARETTA, GEORGIA 30009

STRUCTURAL ENGINEER: **KORNEGAY ENGINEERING, INC**

SUITE 202 MACON, GA 31220

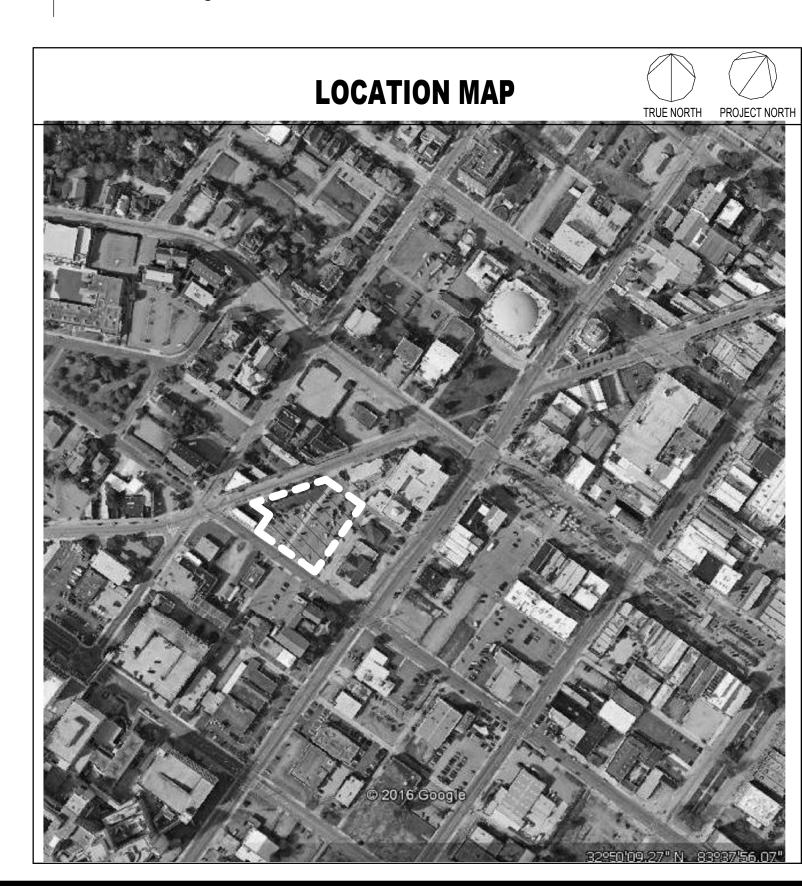
garry@keimacon.com

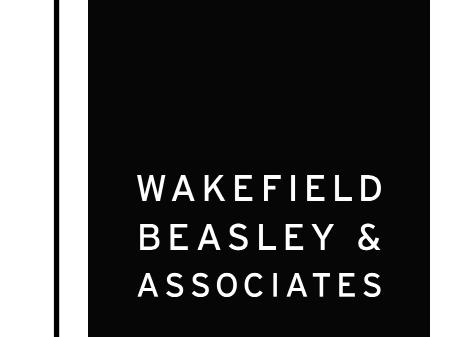
MECH./ ELECT./ PLUMB./ FP ENGINEER: **JORDAN & SKALA ENGINEERS**

4275 SHACKLEFORD RD, SUITE 200 NORCROSS, GA 30093

CONTRACTOR:

tbd





DESIGNING ARCHITECT

A NELSON Brand a licensed affiliate of Nelson Worldwide, LLC.

DT WALTON MIXED USE **DEVELOPMENT**

> 743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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D SET	JUNE 17, 2019

COVER SHEET

GENERAL NOTES TO BIDDERS

- ALL BIDS ARE TO SUBMITTED IN COMPLIANCE WITH THE REQUIREMENTS OF THE MACON-BIBB URBAN DEVELPMENT AUTHORITY FOR REVIEW AND AWARDING OF THE PROJECT.
- THE PARKING DECK WILL BE BUILT IN CONJUNCTION WITH A MIXED-USE RESIDENTIAL AND RETAIL BUILDING THAT WILL SHARE MULTIPLE COMPONENTS TO THE SITE. BIDDING CONTRACTORS ARE TO SUBMIT A NARRATIVE TO CLARIFY SCOPE THAT WILL OR WILL NOT BE INCLUDED IN THE BID AS IT RELATES TO THE MIXED USE BUILDING AND PLAN OF ACTION ON HOW SHARED ITEMS ARE TO BE HANDLED BETWEEN BOTH BUILDINGS PROVIDED THE GENERAL CONTRACTOR IS NOT THE SAME FOR BOTH STRUCTURES.
- SCOPE THAT NEEDS TO BE CLARIFIED AS IT RELATES TO BOTH BUILDING STRUCTURES INCLUDES BUT IS NOT
 - -BUILDING FOUNDATIONS -UNDERGROUND UTILITY -VERTICAL CIRCULATION -ACCESS CONTROL
 - -RESIDENTIAL TRASH ROOM AND CHUTE -WATERPROOFING JOINTS BETWEEN STRUCTURES
- THE PARKING DECK WILL SERVE AS A STRUCTURE TO SUPPORT A PHOTO-VOLTAIC PANEL SYSTEM AT THE TOP LEVEL. THIS CONTRACT IS UNDER A SEPARATE AGREEMENT WITH THE CITY OF MACON AND MACON-BIBB URBAN DEVELOPMENT AUTHORITY AND IS NOT TO BE INCLUDED IN THE CONTRACTOR'S BID.

BIDS THAT DO NOT INCLUDE THE REQUESTED NARRATIVES OF SCOPE CLARIFICATION WILL NOT BE

- ALL REQUESTS FOR INFORMATION AND CLARIFICATION PRIOR TO BID ARE TO SUBMITTED THROUGH THE MACON-BIBB URBAN DEVELOPMENT AUTHORITY AND RESPONDED TO BY WAKEFIELD BEASELY & ASSOCIATES. AS APPLICABLE
- THE PARKING DECK IS CURRENTLY DESIGNED USING METROMONT CORPORATION AS THE BASIS OF DESIGN PRE-CAST FABRICATOR. ANY DESIGN OR ENGINEERING FEES ASSOCIATED WITH UTILIZING A DIFFERENT PRE-CAST FABRICATOR WILL BE AT THE EXPENSE OF THE CONTRACTOR AND WILL NOT BE INCURRED BY

ABBREVIATIONS

ACOUSTIC JAN. JANITOR ADD. ADDENDUM JOINT JST. ADD'N. ADDITION JOIST AGGREGATE BASE COURSE KICK PLATE AGGREGATE AIR CONDITIONING LAM. ALUMINUM LAMINATED LDG. LANDING ALTERNATE LTH. LATH ANCHOR BOLT LAV. AND LAVATORY LG. LENGTH ARCH. ARCHITECT ASP. ASPHALT LOC. LOCATION LT. LIGHT L.W.C. LIGHT WEIGHT CONCRETE LVR. LOUVER BSMT. BASEMENT LOC. LOCATION BEAM B.M. BENCHMARK M.O. BLKG. BLOCKING BOARD MAT'L.. MATERIAL MFR. BOTTOM OF MANUFACTURER MAX. MAXIMUM BLDG. BUILDING MECH. MECHANICAL MET. METAL CAB'T. CABINET METAL LATH C.I.P. CAST IN PLACE METER C.B. MIN. MINIMUM CLG. CEILING MLDG. MOULDING CEM. CEMENT MULL. MULLION CENTIGRAM CENTIMETER NATURAL GRADE **CENTER LINE** NOM. NOMINAL CER. N.I.C. NOT IN CONTRACT C.T. TILE N.T.S. NOT TO SCALE CHAN. CHANNEL NUMBER CLR. CLEAR C.O. CLEAN OUT OBSCURE CLOS. CLOSET O.C. ON CENTER COL. COLUMN OCC. OCCUPANTS CONC. CONCRETE OPG. OPENING CONN. CONNECTION O.A. OVERALL CONST. CONSTRUCTION O.D. OUTSIDE DIAMETER C.J. CONTROL JOINT 0.F.S. OVERFLOW SCUPPER

CONSTRUCTION JOINT O.F.D. OVERFLOW DRAIN CONT. CONTINUOUS CONTR. CONTRACTOR PTD. COR'G. CORRUGATED CTR. COUNTER CTSK. COUNTERSUNK C.M.U. CONCRETE MASONRY UNIT

PAGE PAIR PTN. PARTITION PFNNY PLATE PLUMB. PLUMBING PLWD. PLYWOOD DRY FILM THICKNESS P.T. POINT P.S.I. POUNDS PER SQ. IN DIAMETER P.S.F. POUNDS PER SQ. FT DIMENSION P.C. PRECAST **DISPENSER** P.E.J. PRE-MOLDED EXP. JOINT, SEE STRCT DOWEL PROPERTY LINE DOWN P.T. PRESSURE TREATED DOWNSPOU^{*} DRAWING RAD. REGISTER

D.P.

DB.

DFT.

DIAG.

DISP.

DWL.

DN.

D.S. DWG. EA. EACH REG. ELECTRIC REQ'D. ELECTRIC DRINKING FOUNTAIN REV. ELEVATION E.O.D. EMERGENCY OVERFLOW DRAIN EQUIP. **EQUIPMENT** EXH. **EXHAUST** EXPANSION EXP. JOINT, SEE STRCT. EXIST. EXISTING EXTERIOR FINISH

FIXT. FIXTURE FLASHING FLR. FLOOR FLOOR DRAIN FLUOR. FLUORESCEN¹ FTG. FOOTING FND. FOUNDATION FR. FRAME F.H.C. FIRE HOSE CAB. F.R.T. FIRE RETARDANT TREATED GAUGE GALVANIZED IRON

GRADE GRAM GRILLE GRD. GRID GROUND GYP. GYPSUM **GYPSUM BOARD** HDN. HARDENER HDW. HARDWARE HDWD. HARDWOOD HTR. HEATER HFIGHT H.P. HIGH POINT

G.B.

H.R.

H.M.

H.B.

H.W.

INSUL.

INT.

HORIZ.

VEST. V.C.T. HOLLOW METAL INSIDE DIAMETER W/O WITHOUT WOOD WDW. WINDOWR RESISTANT

WRB

BARRIER W.W. WINDOW WALL

REVISION R.T.S. REFER TO STRUCTURAL RFG. RGH.

RISER, RISERS **ROOF DRAIN** ROOFING ROOM ROUGH ROUND SCR. SCREW SECT. SECTION SELECT SDG. SIM. SIMII AR SLDG. SLIDING **SMOOTH** SPEC. SPECIFICATION

REQUIRED

SPLASH SQUARE SQ.FT. SQUARE FEET STAINLESS STEE STD. STANDARD STRUCT. STRUCTURE SUSP. SUSPENDED SW.BD. SWITCHBOARD TOP OF CURB TRAVEL DISTANCE

TEMPERED GLASS T.O. TOP OF T.S.D. TOP OF STEEL DECK TYP. TYPICAL U.N.O. UNLESS NOTED OTHERWISE VENT

VERT. VERTICAL VERTICAL GRAIN VESTIBULE VINYL COMP. TILE VITREOUS CLAY PIPE W.W.M. WELDED WIRE MESH WATER CLOSET WATER HEATER WIDE FLANGE WASHER / DRYER

OPEN SPACE HAVING A WIDTH NOT LESS THAN 20'-0", THEREFORE THE FRONTAGE INCREASE FOR BUILDING MAY APPLY

160'-0" 66'-8"

MAXIMUM ALLOWABLE AREA: 79.000 SF ACTUAL AREA:

TYPE 1-B **BUILDING ELEMENT** PRIMARY STRUCTURAL FRAME **BEARING WALLS EXTERIOR** INTERIOR NONBEARING WALLS AND PARTITIONS EXTERIOR (PER TABLE 602) NONBEARING WALLS AND PARTITIONS

SYMBOLS ROOM NAME / ROOM NUMBER 101 **ELEVATION** DOOR NUMBER INTERIOR ELEVATION DETAIL REFERENCE WALL SECTION REFERENCE **ELEVATION HEIGHT**

GENERAL NOTES

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN BY THESE DRAWINGS.

REVISION TAG

KEY NOTE

ANY AND ALL REVISIONS FROM THESE PLANS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ONCE CONSTRUCTION HAS COMMENCED, ANY REVISIONS IN THE FIELD MUST BE APPROVED BY THE DEVELOPER'S CONSTRUCTION REPRESENTATIVE AND THE ARCHITECT.

OR OMISSIONS PRIOR TO CONSTRUCTION. 5. NO STRUCTURE OF ANY KIND IS TO BE CONSTRUCTED ON, OR PLACED WITHIN PUBLIC UTILITY EASEMENTS EXCEPT

WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING REQUIRED PAVING FOR ACCESS GROUND COVER INCLUDING GRASS. GENERAL CONTRACTOR SHALL BE REQUIRED TO REPLACE ANY OBSTRUCTIONS OR PLANTING THAT MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION OR RECONSTRUCTION OF THE PUBLIC UTILITIES.

ANY GOVERNMENTAL AGENCY. THE JOB SUPERINTENDENT SHALL MAINTAIN ON SITE AT TRAILER A LIST OF SPECIAL INSPECTORS CONDUCTING

UPON THE COMPLETION OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL DELIVER TO THE DEVELOPER ALL AVAILABLE MATERIALS, INCLUDING, BUT NOT LIMITED TO MANUFACTURER'S RECOMMENDATIONS SO AS TO FACILITATE

SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION ON

GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FIRE EXTINGUISHERS DURING CONSTRUCTION AND PERMANENT FIRE EXTINGUISHERS AS REQUIRED BY SPECIFICATIONS AND CODE.

THE GENERAL CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES

THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER GOVERNMENTAL FEES,

LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONSTRUCTION SCHEDULE SHALL BE RELATED TO THE ENTIRE PROJECT AND BE CONDUCTED IN STRICT

THE USE OF THE SITE SHALL BE CONFINED TO THOSE AREAS APPROVED BY THE OWNER AND BUILDING INSPECTOR AND CODE IN ORDER TO MINIMIZE PUBLIC EXPOSURE TO UNSAFE CONDITIONS AND TO CONTINUE THE OPERATION OF THE

ANY AND ALL REVISIONS FROM THESE PLANS MUST BE APPROVED BY SEPARATE PERMITS AND ARE REQUIRED FOR, BUT

THIS SET OF CONSTRUCTION DOCUMENTS IS INTENDED TO BE READ AS A COMPREHENSIVE SET OF DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL CAREFULLY STUDY & COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER (EACH DISCIPLINE) AND THE INFORMATION FURNISHED BY THE DEVELOPER AND NOTIFY THE ARCHITECT OF ANY ERRORS, INCONSISTENCIES OR OMISSIONS. INFORMATION GIVEN BY ONE DISCIPLINE SHALL BE APPLICABLE FOR ALL PORTIONS OF THE CONSTRUCTION DOCUMENTS IN ORDER TO MEET THE DESIGN INTENT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY WHERE AN ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS IS EVIDENT WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME THE

WHERE DETAILS, ELEVATIONS OR OTHER CONDITIONS ARE NOT SHOWN, THEY SHALL BE SIMILAR IN CHARACTER TO THOSE SHOWN ON THESE DRAWINGS. WHERE SPECIFIC DIMENSIONS OR DESIGN INTENT CANNOT BE DETERMINED OR

GENERAL CONTRACTOR TO PROVIDE ALL REGULATORY AGENCY REQUIRED SIGNAGE NECESSARY FOR CERTIFICATE OF

GENERAL CONTRACTOR SHALL VERIFY ALL ON-SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND SCHEDULING OF ALL INSPECTIONS AND ESTS INDICATED ON THE PLANS AND SPECIFICATIONS RECOMMENDED BY THE SOILS REPORT AND/OR REQUIRED BY

INSPECTIONS ON PROJECT. THE LIST SHALL INDICATE THE NAME OF INSPECTOR, DATES, AND TIMES PRESENT ON JOB SITE AND TYPES OF INSPECTIONS BEING CONDUCTED.

THE DEVELOPMENT OF A BUILDING OPERATION AND MAINTENANCE PLAN.

REGULATIONS AND LAWFUL ORDERS OF THE PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE OF THE WORK.

ACCORDANCE WITH THE SEQUENCE OF OPERATIONS AS APPROVED BY THE OWNER.

NOT LIMITED TO, PLUMBING, MECHANICAL, ELECTRICAL, SIGNS AND INTERIORS.

APPROPRIATE RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER.

REASONABLY INFERRED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

BUILDING AND MONUMENT SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.

BUILDING CODE SUMMARY

ALL BUILDING CONSTRUCTION DESCRIBED WITHIN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST GEORGIA STATE MINIMUM STANDARD CONSTRUCTION CODES WHICH INCLUDE APPENDICES AND AMENDMENTS TO THE FOLLOWING CODES:

APPLICABLE CODES:

2012 INTERNATIONAL BUILDING CODE W/ GEORGIA AMENDMENTS BUILDING PLUMBING: 2012 INTERNATIONAL PLUMBING CODE W/ GEORGIA AMENDMENTS MECHANICAL: 2012 INTERNATIONAL MECHANICAL CODE W/ GEORGIA AMENDMENTS FUEL GAS: 2012 INTERNATIONAL FUEL GAS CODE W/ GEORGIA AMENDMENTS CONSERVATION: 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ GEORGIA AMENDMENTS 2012 INTERNATIONAL FIRE CODE W/ GEORGIA AMENDMENTS

ELECTRICAL: 2014 NATIONAL ELECTRIC CODE W/ GEORGIA AMENDMENTS ACCESSIBILITY: GEORGIA ACCESSIBILITY CODE 120-3-20 FHAA: FAIR HOUSING AMENDMENTS ACT OF 1988 LIFE SAFETY:

2012 NFPA 101 LIFE SAFETY CODE 120-3-3 RULES AND REGULATIONSFOR THE STATE MINIMUM FIRE SAFETY STANDARDS

TO THE BEST OF THE ARCHITECT'S AND ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS SHOWN HEREIN COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 1 OF THE INTERNATIONAL BUILDING CODE, NFPA 101, AND THE LOCAL STATUTES.

USE AND OCCUPANCY CLASSIFICATION - IBC CHAPTER 3

RESIDENTIAL BUILDING (MIXED USE)
PRIMARY OCCUPANCY: STORAGE, GROUP S-2 SECONDARY OCCUPANCY: MERCANTILE, GROUP M STORAGE, GROUP S-2 ASSEMBLY A-3

GROSS BUILDING AREA SUMMARY

HORIZONTAL

HOSE BIBB

HOT WATER

INSULATION

INTERIOR

INVERT

INCH

NOTE: AREAS INDICATED BELOW REPRESENT PORTIONS OF BUILDING UNDER ROOF INCLUDING THE BALCONIES AND PATIOS. AREAS NOTED AS "RETAIL" OR "RESIDENTIAL" DESIGNATE THE PRIMARY USE OF THE FLOOR PLATE. PLEASE SEE OVERALL FLOOR PLANS FOR DETAILED BREAKDOWN OF SUPPORTING SPACES. ALL AREAS ARE CALCULATED PER THE GROSS SQUARE FOOTAGE OF THE BUILDING.

LEVEL 01: 20,028 SF LEVEL 02: 20,028 SF LEVEL 03: 20,028 SF LEVEL 04: 20,028 SF LEVEL 05: 20,028 SF LEVEL 06: 20,028 SF

TOTAL PARKING DECK AREA 245,156 SF

SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY - IBC CHAPTER 4

SECTION 403 - HIGH RISE BUILDINGS NOTE: THE PARKING DECK IS NOT A HIGH RISE BUILDING. THE HIGHEST OCCUPIED FLOOR LEVEL ABOVE FIRE DEPARTMENT ACCESS DOOR DOES NOT EXCEED 70'-0"

SECTION 406 - MOTOR VEHICLE RELATED OCCUPANCIES

SECTION 406.5 AND 406.6.2 - OPEN PARKING GARAGES - THE GARAGE SHOWN HEREIN IS AN OPEN PARKING GARAGE AND NOT REQUIRE MECHANICAL VENTILATED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE

GENERAL BUILDING HEIGHTS AND AREAS - IBC CHAPTER 5

 ${ t SECTION 503.1}$ - EACH PORTION OF A BUILDING SEPARATED BY A FIRE WALL COMPLYING WITH SECTION 706 SHALL BE CONSIDERED TO BE

MOLD MITIGATION NOTES

DISABLED ACCESS NOTES

FLOOR OR WORKING PLATFORM.

SOUNDPROOFING NOTES

FIRE MARSHAL NOTES

PARKING SUMMARY

ACCESSIBLE PARKING

PROVIDED: 8

TOTAL PROVIDED IN PRECAST PARKING DECK: 349 SPACES

NFPA 101 LIFE SAFETY CODE SHALL BE APPLICABLE.

FRONTS, WITH A MINIMUM SIZE AS REQUIRED BY THE FIRE MARSHAL.

ALL OPENINGS" SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET.

TOTAL NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED: 8

TOTAL NUMBER OF VAN ACCESSIBLE PARKING SPACES REQUIRED: 2

INCORPORATE PEDESTRIAN RAMPS, CURB RAMPS, ETC.

MECHANISMS, AND UNSHAPED HANDLES ARE ACCEPTABLE DESIGNS.

THE GENERAL CONTRACTOR SHALL TAKE MEASURES TO DELIVER TO THE DEVELOPER A CONTINUOUS WATER

THE GENERAL CONTRACTOR SHALL ESTABLISH PROCEDURES TO PROVIDE DELIVER AND STORE MATERIALS SO

THE GENERAL CONTRACTOR SHALL ESTABLISH A PROTOCOL FOR DEALING WITH ANY LARGE AND UNEXPECTED

UPON THE COMPLETION OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL DELIVER TO THE DEVELOPER

SITE DEVELOPMENT SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES AND GROUND FLOOR

THE CENTER OF LOWER PLUGS OF RECEPTACLE OUTLETS SHALL NOT BE LESS THAN 15" INCHES ABOVE THE

OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE UPPER PLUG OUTLETS, HEATING

AND VENTILATING EQUIPMENT, SHALL NOT BE LESS THAN 36" OR MORE THAN 48" ABOVE THE FINISHED FLOOR.

DOOR / HARDWARE HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE

GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH

DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT

ALL BACK TO BACK ELECTRICAL BOXES IN TENANT SEPARATION WALLS (DEMISING WALLS) SHALL BE A

MINIMUM OF 2'-0" APART. ALL ELECTRICAL BOXES IN DEMISING WALLS SHALL BE SOUND CAULKED.

THE GENERAL CONTRACTOR SHALL PROVIDE THE NECESSARY SOUND INSULATION REQUIRED TO

MINIMIZE THE SOUND OF WATER THROUGH SANITARY PIPES IN ALL RETAIL AND LEASING OFFICE

ALL PIPE PENETRATIONS THROUGH CONCRETE SLABS AND ALL WALLS SHALL BE ISOLATED WITH

FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM PERMIT FROM FIRE MARSHAL'S OFFICE PRIOR TO

FIRE ALARM SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL JURISDICTION, LIFE SAFETY ORDINANCE AND

PLANS FOR FIRE-PROTECTION SPRINKLER PIPING SHALL BE REVIEWED AND APPROVED BY THE FIRE MARSHAL'S OFFICE

THE 2012 EDITION OF THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL,

PROVIDE THE NUMERICAL STREET ADDRESS OF THE BUILDING ON THE SIDE FACING THE ROADWAY THAT THE BUILDING

IDENTIFICATION OF FIRE BARRIERS SHALL BE PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND/OR IN

CONCEALED SPACES IN THE RETAIL AREAS. THE FOLLOWING WORDING " 2 HOUR FIRE AND SMOKE BARRIER PROTECT

PROVIDED: 2 (BOTH SPACES ARE LOCATED AT BUILDING ENTRY ALONG PLUM ST FOR RESIDENTIAL AND RETAIL USE)

FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER PERMIT FROM LOCAL JURISDICTION PRIOR TO

PRIOR TO INSTALLATION FOR COMPLIANCE WITH ACSE/SEI 7-05 SECTIONS 13.3.1, 13.3.2, AND NFPA 13.

EXITS, AND ACCESS NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE ACCESS, SHALL

THE CENTER OF THE GRIP OF THE OPERATING HANDLE ON SWITCHES INTENDED TO BE USED BY THE

FLUSH CONTROL HANDLE ON WATER CLOSET TO HAVE A MAXIMUM OPERATING FORCE OF 5 LB./SF.

LAVATORY CONTROL TO BE OPERABLE WITH ONE HAND. MAXIMUM OPERATING FORCE OF 5 LB./SF.

ALL AVAILABLE MATERIALS, INCLUDING, BUT NOT LIMITED TO MANUFACTURER'S RECOMMENDATIONS SO AS TO

AS TO PREVENT WATER DAMAGE. ALL MATERIALS SHALL BE INSPECTED FOR WATER DAMAGE PRIOR TO

THE GENERAL CONTRACTOR SHALL TAKE REASONABLE MEASURES TO MAINTAIN EFFECTIVE DRIED-IN

PROVIDE WEEPS AT MASONRY SYSTEMS WHICH MAY COLLECT MOISTURE

CONDITIONS DURING THE INTERIOR PHASE OF CONSTRUCTION.

WATER INTRUSIONS INTO COMPLETED PORTIONS OF THE BUILDING.

FACILITATE THE DEVELOPMENT OF A BUILDING OPERATION AND MAINTENANCE PLAN.

SECTION 504.2 AND 506.2 - THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OF THE IBC. FOR HEIGHT MODIFICATIONS, THE MAXIMUM BUILDING HEIGHT MAY BE INCREASED 20'-0" AND THE NUMBER OF STORIES MAY INCREASE BY ONE. THIS BUILDING HAS MORE THAN 25% OF ITS PERIMETER ON A PUBLIC WAY OR

TYPE OF CONSTRUCTION: I-B SPRINKLERED MAXIMUM ALLOWABLE HEIGHT: ACTUAL HEIGHT:

REFER TO AREA SUMMARY ABOVE AND LIFE SAFETY AND FIRE SEPARATION SHEET

TYPES OF CONSTRUCTION - IBC CHAPTER 6

TABLE 601 - FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

INTERIOR FLOOR CONSTRUCTION ROOF CONSTRUCTION FIRE RESISTANCE - RATED CONSTRUCTION - IBC CHAPTER 7 TABLE 705.8 - MAXIMUM AREA OF EXTERIOR WALL OPENINGS

FIRE SEPARATION DISTANCE (FEET) OPENING CLASSIFICATION 0-3' >3'-5' >5'-10' UNPROTECTED OPENING N/A N/A 10% 15% PROTECTED OPENING N/A 15% 25%

>25'-30' OPENING CLASSIFICATION >15'-20' >20'-25' UNPROTECTED OPENING 25% 45% 70% NO LIMIT PROTECTED OPENING 75% NO LIMIT NO LIMIT NO LIMIT

SECTION 705.8.5 - PER EXCEPTION 2, THIS BUILDING IS NOT REQUIRED TO HAVE VERTICAL SEPARATION OF OPENINGS

SECTION 706.1 - EACH PORTION OF A BUILDING SEPARATED BY ONE OF MORE FIRE WALLS SHALL BE CONSIDERED A SEPARATE BUILDING TABLE 706.4 - FOR GROUP R-2 OCCUPANCIES WITH TYPE V-A CONSTRUCTION, THE FIRE WALL RESISTANCE RATING SHALL BE 2 HOURS

SECTION 713.2 - SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIER IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711

SECTION 713.4 - FIRE RESISTANCE RATING OF SHAFT ENCLOSURES SHALL BE 2-HOURS.

FIRE PROTECTION SYSTEMS - IBC CHAPTER 9 & NFPA 101 - CHAPTER 30

SECTION 36.3.5.1 (L.S.C.) - AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 9.7.1.1 IS PROVIDED IN THE MERCANTILE AREA. SYSTEM TYPE IS NFPA 13

SECTION 905.3.1 - PER EXCEPTION 1, A CLASS 1 STANDPIPE IS PROVIDED IN EACH STAIRWELL OF THE BUILDING

PER SECTION 510 OF THE 2012 IFC, THE OWNER SHALL PROVIDE TESTING OF EMERGENCY RESPONDER RADIO COVERAGE IF THE RADIO COVERAGE IS DEEMED INADEQUATE. FURTHERMORE, IF REQUIRED, APPLICATION DEVICES SHALL BE PROVIDED TO BOOST SIGNAL STRENGTH

WAKEFIELD BEASLEY & **ASSOCIATES** A NELSON Brand

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DESIGNING ARCHITECT

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DT WALTON MIXED USE

743 PLUM STREET & 586 DT WALTON SR WAY

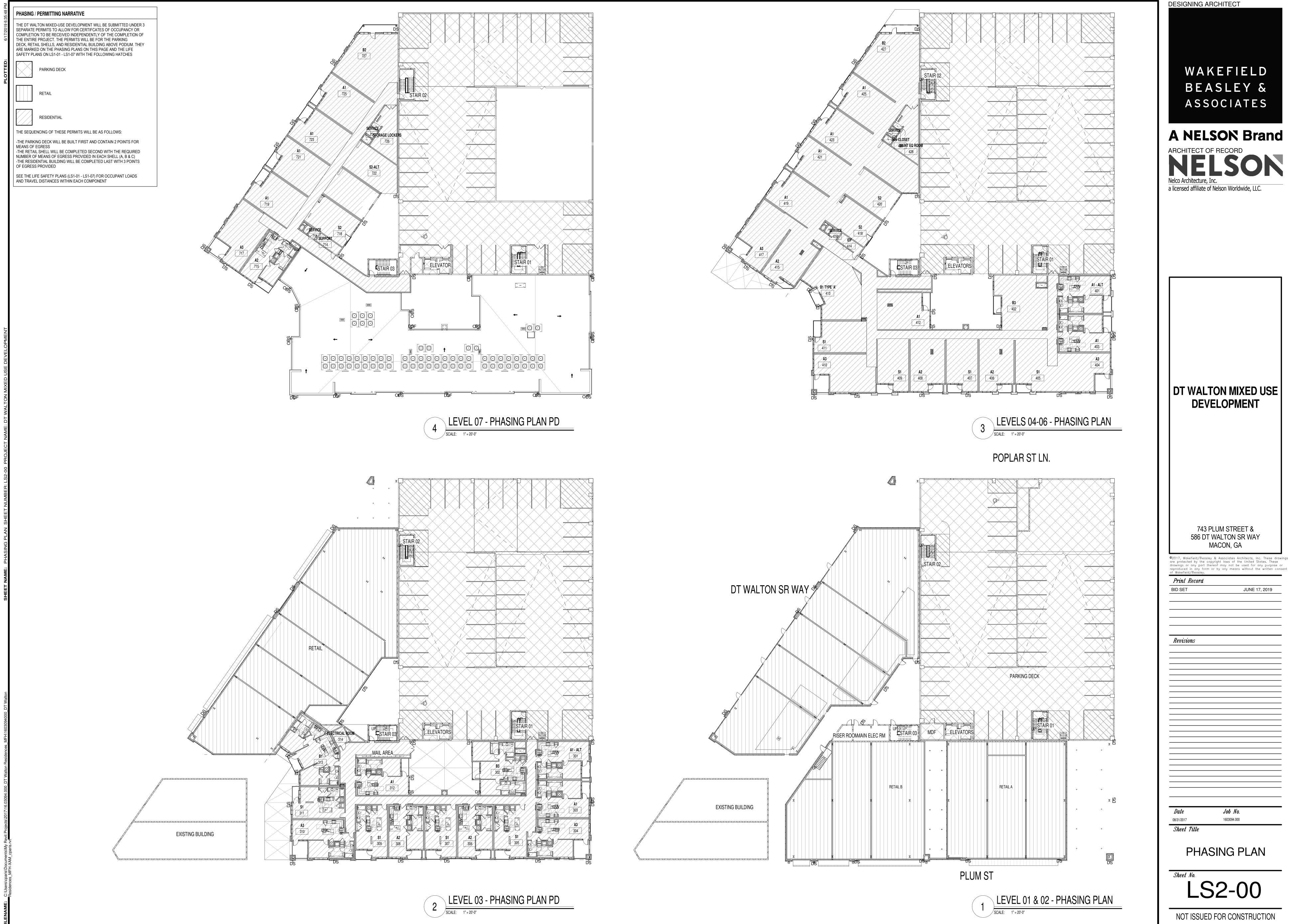
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Revisions

Job No. 1603094.000 08/31/2017

Sheet Title PROJECT INFORMATION

Sheet No. Г1-01



DESIGNING ARCHITECT WAKEFIELD BEASLEY & ASSOCIATES

DT WALTON MIXED USE **DEVELOPMENT** 743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

JUNE 17, 2019

LS2-00

MEANS OF EGRESS - NFPA 101 - LIFE SAFETY CODE PARKING DECK EGRESS CAPACITY CALCULATIONS SEE LIFE SAFETY PLANS ON SHEETS LS2-01 THROUGH LS2-07

LIFE SAFETY CODE REFERENCES

SECTION 7.2.2.5.4.1 - NEW ENCLOSED STAIRS SERVING THREE OR MORE STORIES SHALL BE PROVIDED SIGNAGE COMPLYING WITH 7.2.2.5.4.1 (A) THROUGH 7.2.2.5.4.1 (M)

TABLE 7.3.3.1 - EGRESS WIDTH PER OCCUPANT SERVED: STAIRWAYS: 0.3 OTHER EGRESS COMPONENTS: 0.2

SECTION 7.3.3.2 - INCREASE FACTOR FOR STAIRS

SECTION 7.7.2 - EXIT DISCHARGE THROUGH INTERIOR BUILDING AREAS

SECTION 30.2.2.12.2 - AN AREA OF REFUGE IS NOT REQUIRED IN THIS BUILDING

<u>SECTION 30.2.5.3.2</u> - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 50'-0" AT THE RESIDENTIAL LEVELS.

SECTION 30.2.4.3 - MINIMUM NUMBER OF EXIT ACCESS DOORS SHALL BE TWO.

<u>SECTION 30.2.6.2</u> - THE MAXIMUM TRAVEL DISTANCE WITHIN A UNIT TO THE CORRIDOR DOOR SHALL NOT EXCEED 125'-0".

SECTION 30.2.6.3.2 - MAXIMUM TRAVEL DISTANCE FROM A UNIT DOOR TO AN EXIT SHALL NOT EXCEED SHALL BE 200'-0"

SECTION 30.2.5.4.2 - MAXIMUM LENGTH OF DEAD END CORRIDORS SHALL BE 50'-

SECTION 30.3.6.1.2 - 30 MIN. CORRIDOR WALLS

SECTION 30.3.6.2.1 - 20 MIN. CORRIDOR DOORS

SECTION 30.3.6.3.2 - UNRATED OPENINGS IN CORRIDOR WALLS

<u>SECTION 36.2.5.3</u> - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 75'-0" AT THE MERCANTILE LEVEL.

<u>SECTION 42.8.2.5.1</u> - COMMON PATH OF EGRESS TRAVEL IS PERMITTED TO BE 50'-0" AT THE PARKING GARAGE.

CALCULATION FOR AREA INCREASE FOR FRONTAGE

PARKING DECK (S-2)

PER TABLE 503 PER 2012 IBC, HEIGHT DOES NOT EXCEED 11 STORIES AND AREA FOOTPRINT DOES NOT

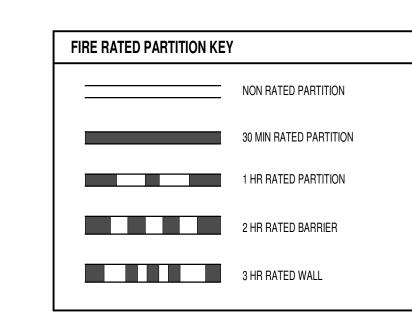
EXCEED 79,000 SF

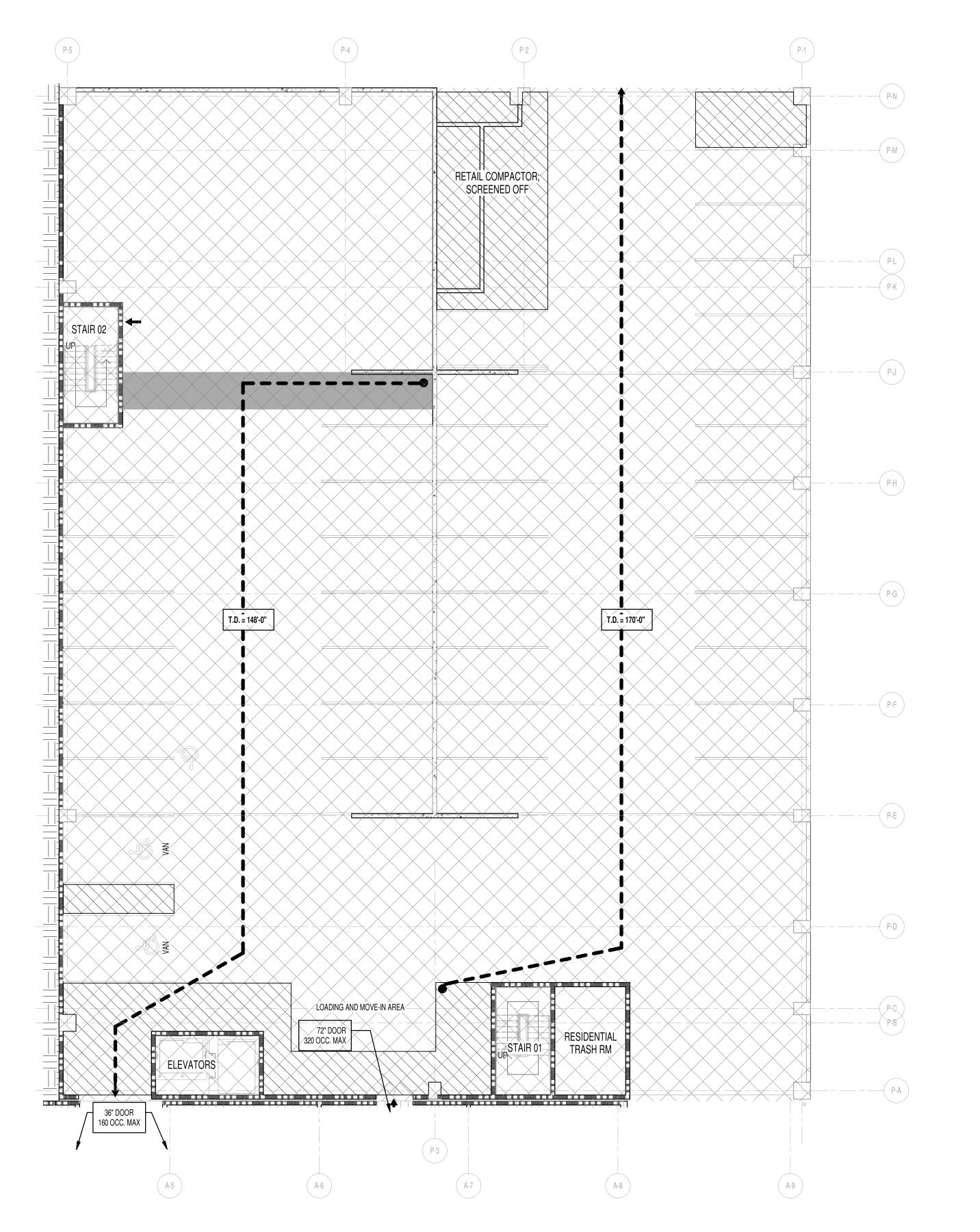
C-2 T.D. = 105'-0" T.D. = 148'-0" PARKING DECK

> LEVEL 02 - LIFE SAFETY PARKING DECK SCALE: 3/32" = 1'-0"

LEVEL 01 OCCUPANT LOAD S.F. PER OCC AREA (S.F.) # OF OCC USE GROUP PARKING DECK STORAGE 20,083

LEVEL 01 OCCUPANT LOAD S.F. PER OCC AREA (S.F.) # OF OCC SPACE USE GROUP PARKING DECK STORAGE 18,182





LEVEL 01 - LIFE SAFETY PARKING DECK SCALE: 3/32" = 1'-0"

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DT WALTON MIXED USE **DEVELOPMENT** 743 PLUM STREET & 586 DT WALTON SR WAY

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MACON, GA

08/31/2017 Sheet Title

LIFE SAFETY -LEVEL 01-02

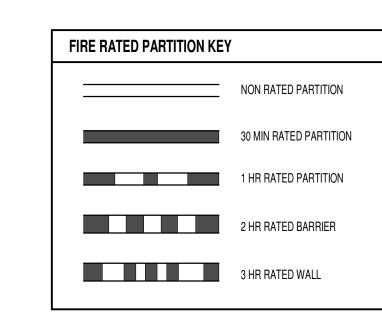
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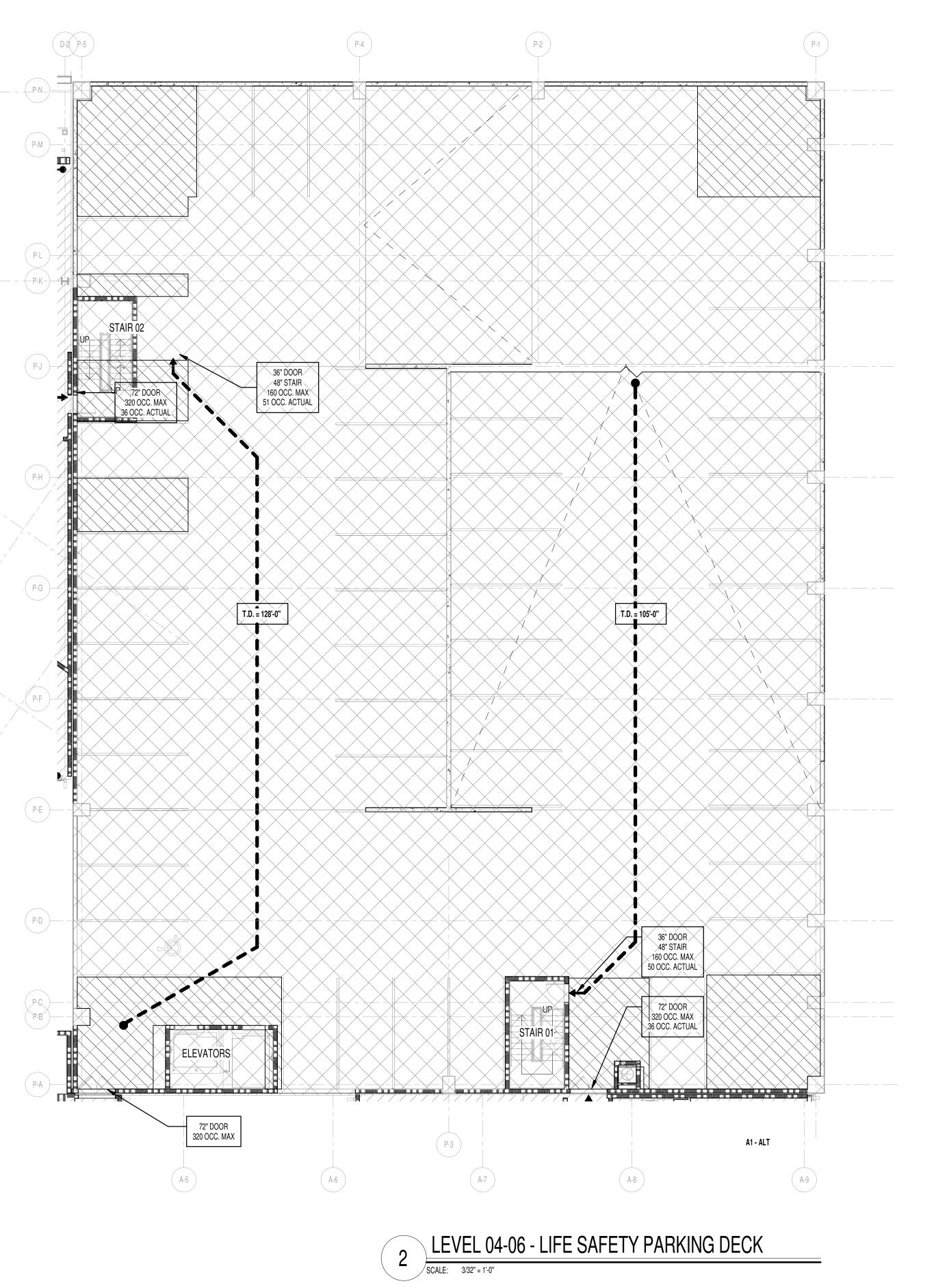
 LEVEL 04, 05 & 06 OCCUPANT LOAD

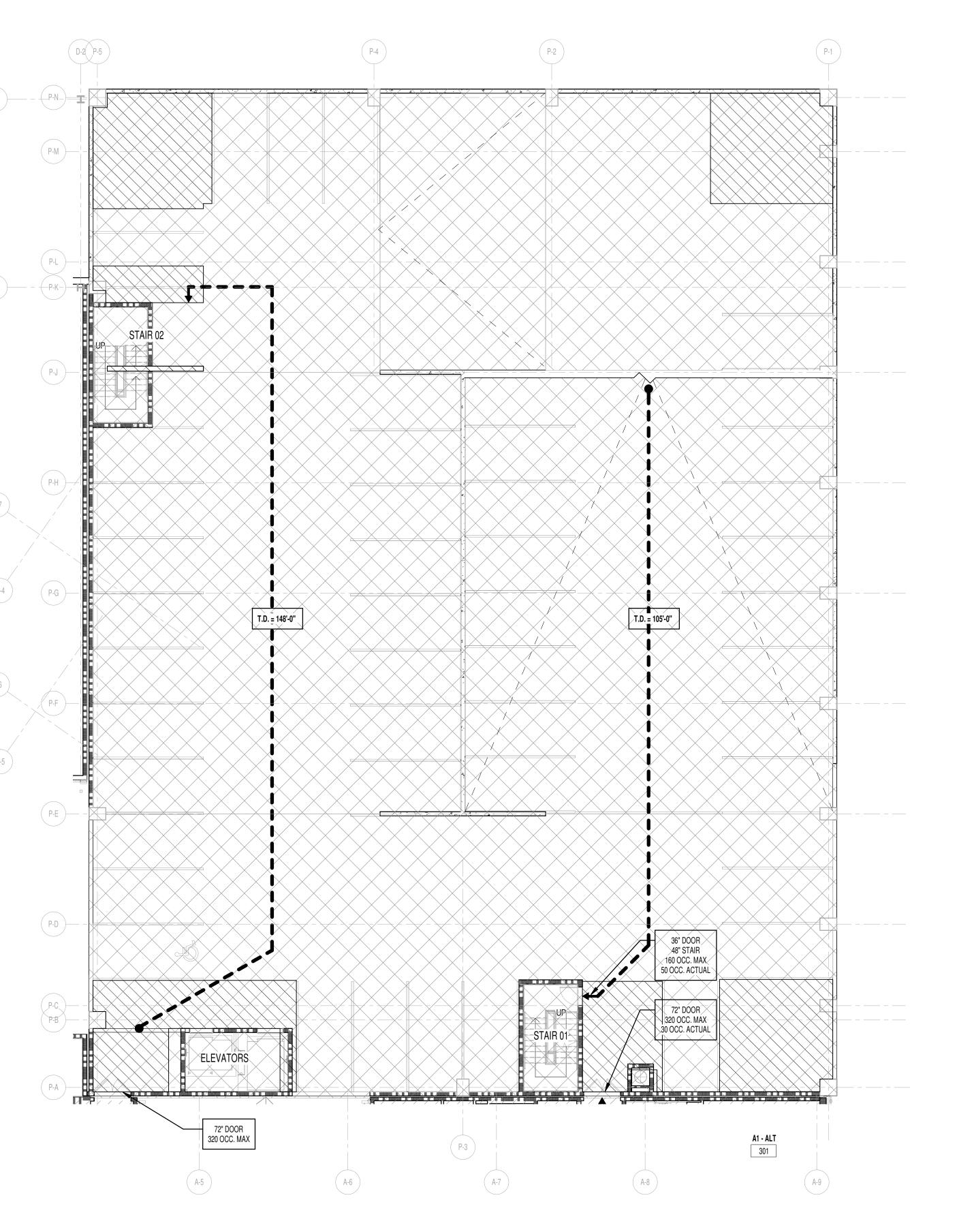
 SPACE
 USE GROUP
 S.F. PER OCC
 AREA (S.F.)
 # OF OCC

 PARKING DECK
 STORAGE
 200
 20,028
 101

LEVEL 03 OCCUPANT I	LOAD			
SPACE	USE GROUP	S.F. PER OCC	AREA (S.F.)	# OF OCC
PARKING DECK	STORAGE	200	20,028	101







LEVEL 03 - LIFE SAFETY PARKING DECK

SCALE: 3/32" = 1'-0"

WAKEFIELD
BEASLEY &
ASSOCIATES

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DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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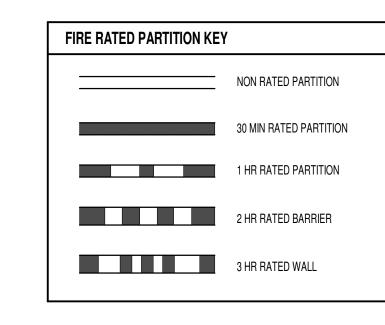
LIFE SAFETY -LEVEL 03-06

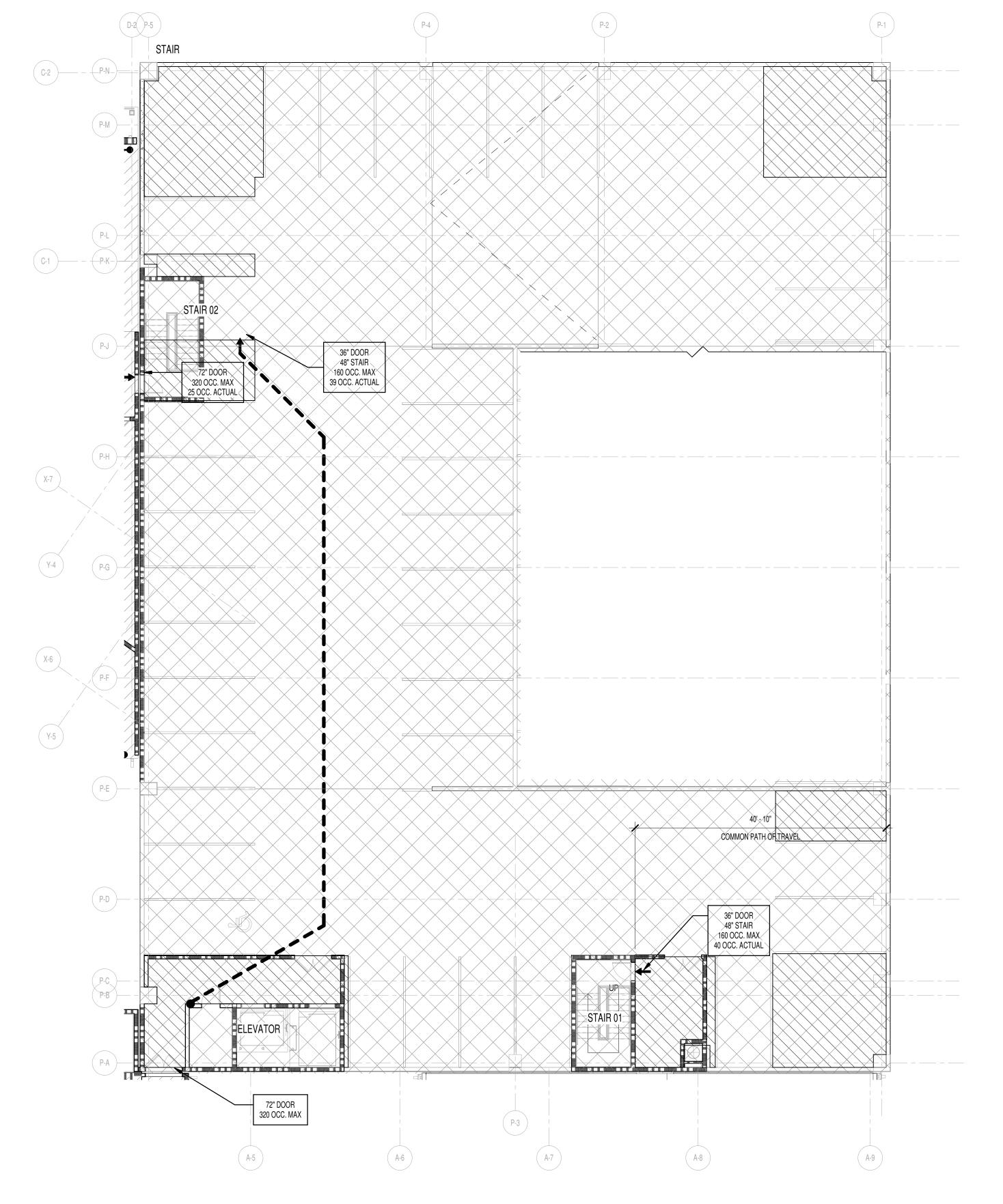
Sheet No.
LS2-03

LEVEL 03 OCCUPANT LOAD

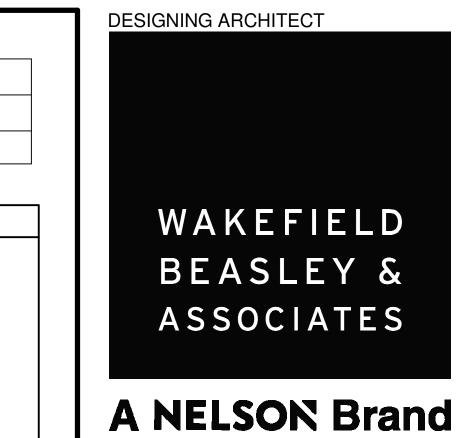
SPACE USE GROUP S.F. PER OCC AREA (S.F.) # OF OCC

PARKING DECK STORAGE 200 15,660 79





1 LEVEL 07 - LIFE SAFETY PARKING DECK
SCALE: 3/32" = 1'-0"



Nelco Architecture, Inc.

ARCHITECT OF RECORD

Note: Architect

No

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OT WALTON MIXED USE DEVELOPMENT	

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743 PLUM STREET & 586 DT WALTON SR WAY

Revisions

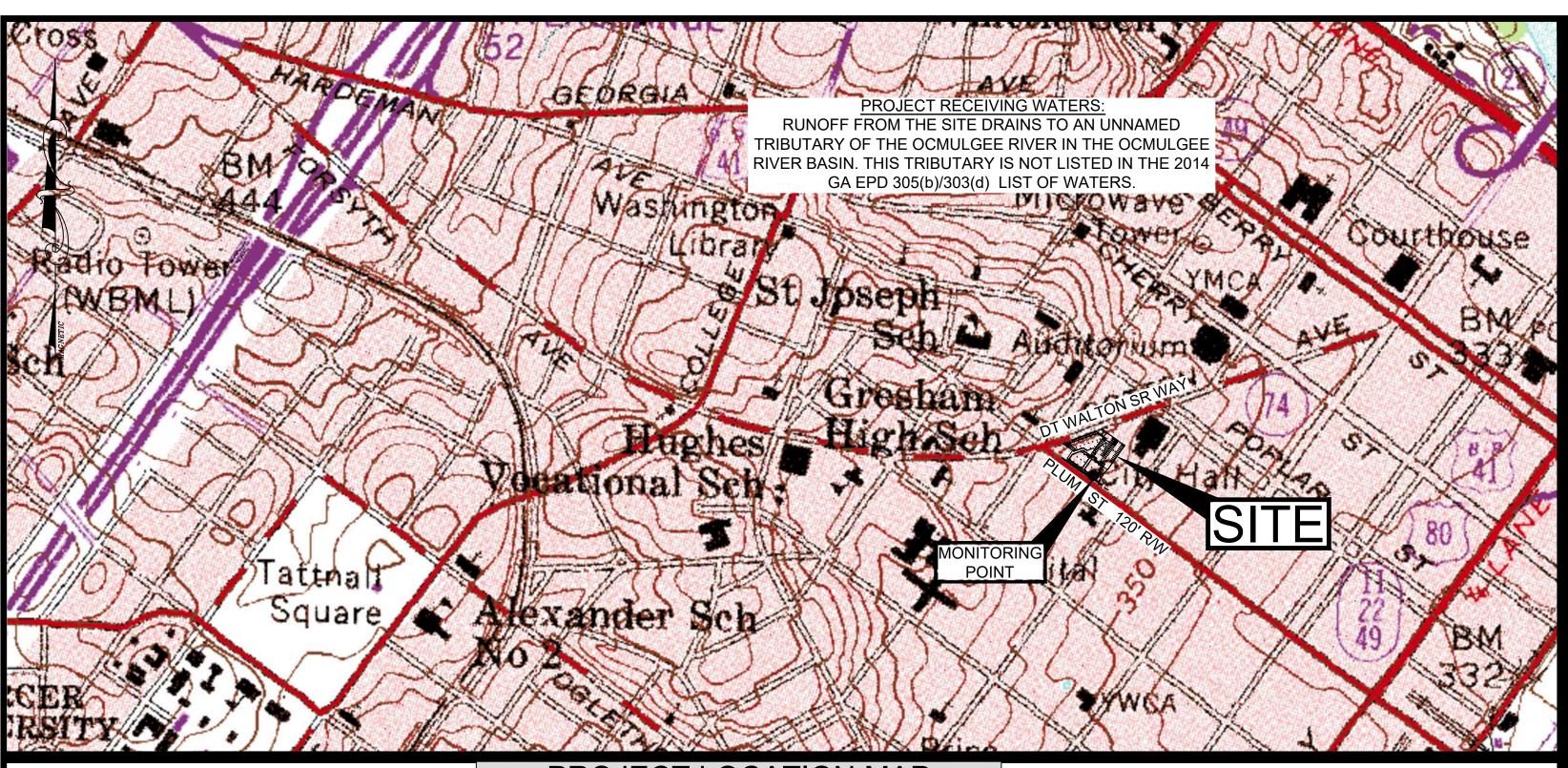
 Date
 Job No.

 08/31/2017
 1603094.000

 Sheet Title

LIFE SAFETY -LEVEL 07

Sheet No.
LS2-07



CONSTRUCTION PLANS

DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY MACON, GEORGIA 31201

MACON-BIBB COUNTY URBAN DEVELOPMENT AUTHORITY 200 CHERRY STREET, SUITE 300 MACON, GEORGIA 31201 MAY 28, 2019





NOTIFICATION CONTACTS:

RETAIL/LOFTS/DEVELOPER CONTACT MMI-THORNTON, LLC ATTN: MR. MILLER L. HEATH, III 543 SECOND STREET, SUITE 103 MACON, GEORGIA 31201 PHONE: 478-743-1050 x 1115

DIRECT: 478-787-4772

FAX: 478-314-0749

PARKING DECK OWNER/DEVELOPER CONTACT MACON-BIBB COUNTY URBAN DEVELOPMENT AUTHORITY ATTN: MR.ALEX MORRISON, EXECUTIVE DIRECTOR 200 CHERRY STREET, SUITE 300 MACON, GEORGIA 31201 PHONE: 478-803-2402 EMAIL: amorrison@maconbibb.us

DT WALTON MIXED USE DEVELOPMENT

> 743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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28 MAY 2019 CD ISSUE FOR BID

Revisions		

28 May 2019

COVER SHEET

Sheet Title

PROJECT LOCATION MAP

PROJECT NARRATIVE

THIS PROJECT INCLUDES THE DEVELOPMENT OF A 1.163 ACRE SITE BOUNDED BY D.T. WALTON SR. WAY, PLUM STREET, POPLAR STREET LANE AS WELL OF TWO WATER SERVICES. THE PROPOSED DEVELOPMENT CONSISTS OF TWO BUILDINGS WHICH CONTAIN RETAIL SPACES IN THE GROUND FLOOR AND LOFT APARTMENTS IN THE UPPER FLOORS. A PARKING DECK IS ALSO INCLUDED.

THE ENTIRE DEVELOPMENT (BUILDINGS AND PARKING DECK) WILL BE SERVED BY (2) 4" DOMESTIC WATER MAINS AND(1) 8" FIRE PROTECTION MAIN. THESE MAINS WILL BE EXTENDED TO A SINGLE RISER ROOM FROM A NEW MAIN TO BE INSTALLED ALONG PLUM STREET. THE RISER ROOM SHALL BE LOCATED ON THE NORTHWEST CORNER OF THE PORTION OF THE BUILDING WHICH FACES PLUM STREET. DUE TO A LACK OF SUITABLE SPACE IN THE EXISTING SIDEWALK AREA, ALL BACKFLOW PREVENTERS WILL BE LOCATED INSIDE THE RISER ROOM. A FIRE HYDRANT IS BEING ADDED ALONG THE PLUM STREET FRONTAGE AS WELL.

THE PROPOSED BUILDING WILL CONTAIN 103 TOILETS, 102 BATHTUB/SHOWER COMBINATIONS, 107 BATHROOM SINKS, 88 KITCHEN SINKS, 87 DISHWASHERS, 88 REFRIGERATORS, 87 WASHING MACHINES, AND 1 JANITOR SINK. THREE PROPOSED RETAIL UNITS WILL EACH HAVE A 6-INCH GREASE LINE. ONE WILL DRAIN INTO A 750-GALLON GREASE TRAP, ONE WILL DRAIN INTO A 1,250-GALLON GREASE TRAP, AND ONE WILL DRAIN INTO A 1,500-GALLON GREASE TRAP. GREASE FROM THREE PROPOSED RETAIL UNITS DISCHARGE VIA A 6-INCH GREASE LINE INTO A 1000 GALLON GREASE TRAP. THE 130,928 SQUARE FOOT PARKING DECK HAS NO PLUMBING FIXTURES.

TWO SEWER SERVICES WILL BE EXTENDED TO THE SOUTH SIDE OF THE BUILDING FROM AN 8-INCH MAIN IN PLUM STREET. FOUR SEWER SERVICES WILL BE EXTENDED TO THE WEST SIDE OF THE BUILDING FROM DT WALTON SENIOR WAY. THREE OF THE FOUR SEWER SERVICES TYING INTO THE 8-INCH MAIN IN DT WALTON SENIOR WAY WILL BE SERVING AS GREASE TRAP DISCHARGE LINES AS WELL. SIX 6-INCH SERVICES AND THREE GREASE TRAPS WILL BE INSTALLED FOR THE ENTIRE DEVELOPMENT.

FOOD SERVICE IS PROPOSED AS PART OF THIS PROJECT THROUGH THE RETAIL UNITS. HOWEVER, TENANTS AND DETAILS FOR THESE POSSIBLE FOOD SERVICE SPACES IS UNKNOWN AT THIS TIME.

PROJECT INFORMATION

PROPERTY ACREAGE:	±1.163 ACRES	NEW WATER/SERVICES/WATER SERVICE QUANTITIES:	
		8" WATER / FIRE MAIN	±796 L.F
DISTURBED AREA:	1.40 ACRES	6" WATER / FIRE MAIN	±8 L.F
DDODEDTY INCODMATION:		4" WATER / FIRE MAIN	±748 L.F
PROPERTY INFORMATION:		4" D.I.P. TO 3" METER	±16 L.F
- LAND LOT / LAND DISTRICT	PART OF LOT 2 & 3	8" TAPPING SLEEVE VALVE AND VALVE BOX	1 EACH
- ADDRESS	OLD CITY SQUARE 62	6" TAPPING SLEEVE VALVE AND VALVE BOX	1 EACH
	MACON-BIBB COUNTY, GEORGIA 31201	4" SERVICE CONNECTION	2 EACH
		3" METER W/ 2" BYPASS	2 EACH
		NEW WALL OR GROUND MOUNTED SIAMESE CONNECTION	2 EACH
		POST INDICATOR VALVE	1 EACH
		8" DBL. CHECK DETECTOR BFP	1 EACH
BUILDING USE:		4" RPZ BFP	2 EACH
87 CONDOMINIUMS		NEW FIRE HYDRANTS	1 EACH
RETAIL SPACE (NUMBER OF UI PARKING DECK	NITS UNKNOWN)	RELOCATED FIRE HYDRANT	N/A

PARKING DECK	130,928 S.F.		
17th that beat	100,020 0.1 .	NEW SANITARY SEWER	
		6" SDR 26 PVC LATERAL	±237 L.F.
NUMBER OF PLUMBING FIXTURES		TOTAL SEWER TAPS	6 EACH
		CLEANOUTS	3 EACH
TOILETS:	103	750 GALLON GREASE TRAP	1 EACH
BATHTUBS/SHOWERS:	102	1250 GALLON GREASE TRAP	1 EACH
BATHROOM SINKS:	107	1500 GALLON GREASE TRAP	1 EACH
KITCHEN SINKS:	88		

71,068 S.F.

39,313 S.F.

INDEX TO DRAWINGS

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C0.0	COVER SHEET
C1.0	OVERALL SITE PLAN
C1.1	SITE SURVEY
C1.2	PROJECT NOTES
C2.1	SITE DEMOLITION PLAN
C2.2	SITE DEMOLITION PLAN INSETS
C3.1	SITE LAYOUT AND PAVING PLAN
C3.2	SITE LAYOUT AND PAVING PLAN INSETS
C4.1	SITE GRADING AND DRAINAGE PLAN
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C5.1	SITE WATER AND SANITARY SEWER PLAN
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C6.7	NPDES COMPREHENSIVE MONITORING PROGRAM NOTES
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C7.1	MISCELLANEOUS SITE DETAILS
C7.2	MISCELLANEOUS SITE DETAILS
C7.3	MISCELLANEOUS SITE DETAILS
C7.4	SITE WATER DETAILS

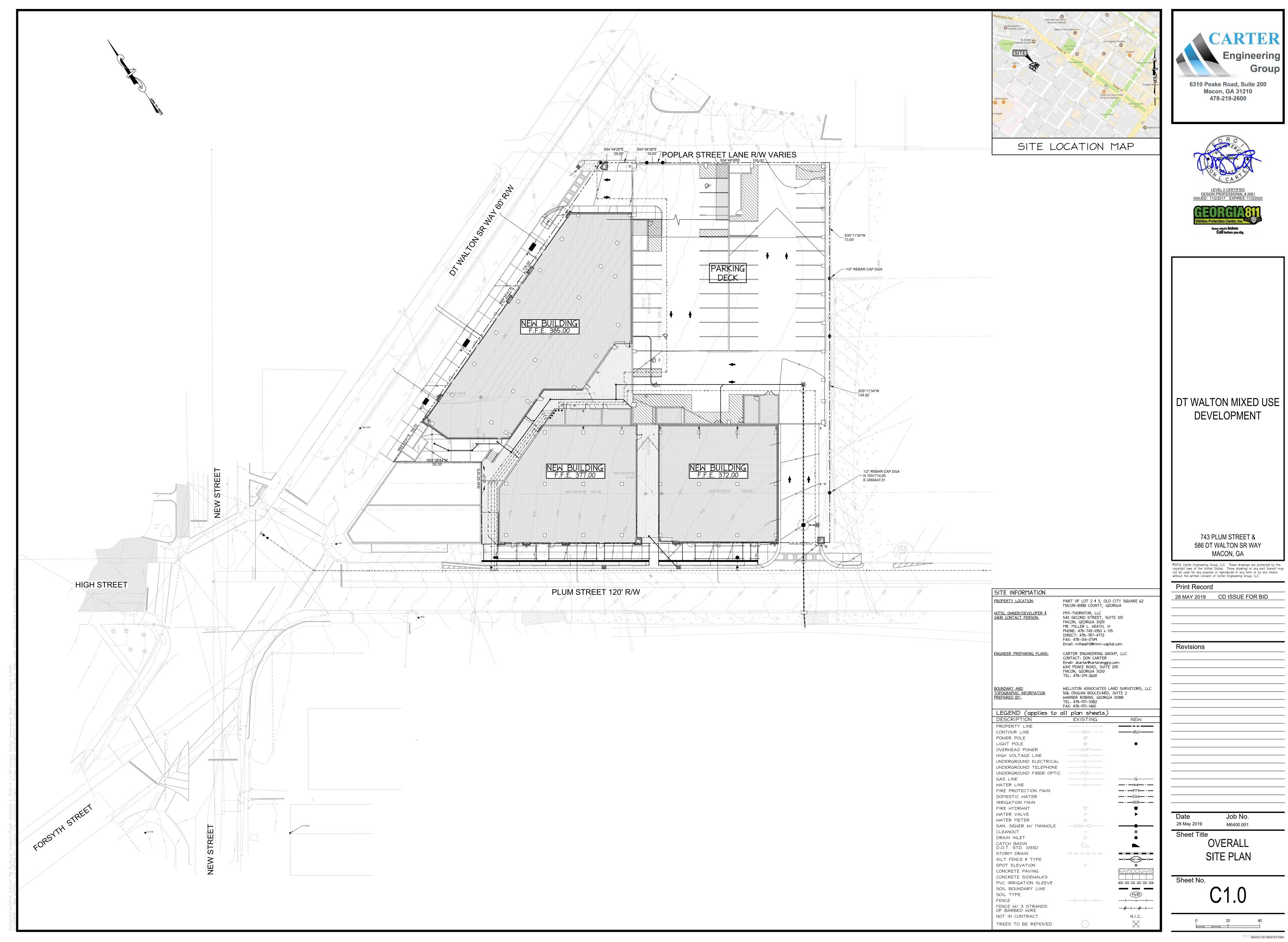
SITE SANITARY SEWER DETAILS

BUILDING AREAS: CONDOMINIUMS

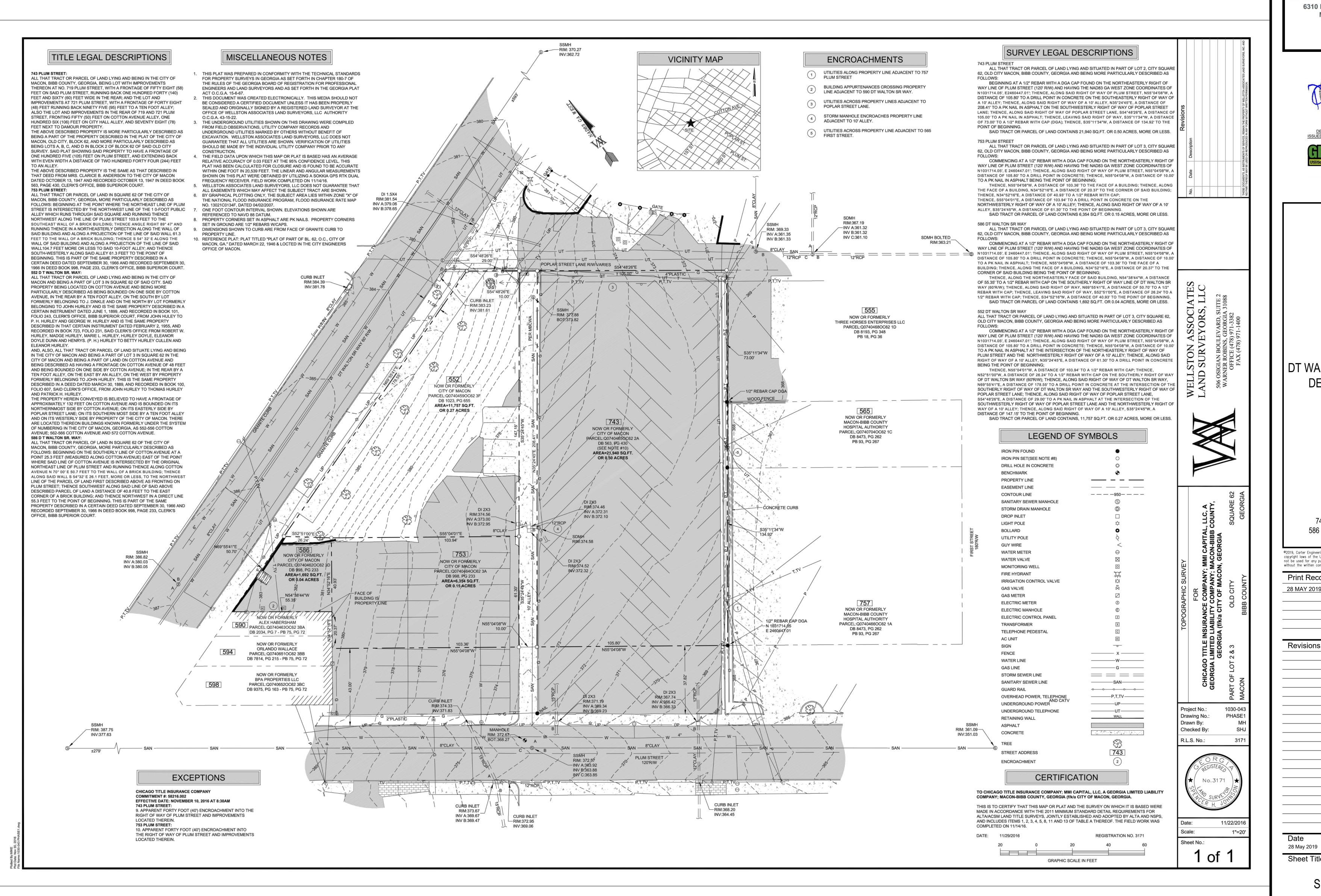
JANITOR'S SINK: **DISHWASHERS**: **REFRIGERATORS:**

WASHING MACHINES:

RETAIL SPACE



640M64001.001MASTER.DWG





478-219-2600



743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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Sheet Title

Sheet No.

SITE SURVEY

Job No.

M6400.001

M6400.001MASTER.DWG

CERTIFICATION STATEMENT:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

too Carles

DON L. CARTER, CERTIFIED LEVEL II PLAN DESIGNER #000000 2061

GRANITE CURBING

ALL GRANITE CURBING OR COBBLE REMOVED FROM CITY
RIGHT-OF-WAY SHALL BE TURNED OVER TO MACON-BIBB COUNTY
PUBLIC WORKS DEPARTMENT. STACK ALL GRANITE CURB FOR
PICKUP. PUBLIC WORKS: 478-751-9124

NOTE: CONTRACTOR SHALL RETAIN A SUFFICIENT AMOUNT OF GRANITE CURB TO REPLACE SECTIONS REMOVED ALONG D.T. WALTON FOR UTILITY CONNECTIONS.

NOTE:
ALL INITIAL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR
TO OR CONCURRENT WITH DEMOLITION.

NOTES REGARDING REMOVAL OF

EXISTING WATER \$ SEWER SERVICE:

EXISTING PRIVATE SANITARY SERVICES SHALL BE LOCATED, CUT AND CAPPED AS SPECIFIED BY THE ON-SITE MWA INSPECTOR. AN MWA INSPECTOR MUST WITNESS THE SERVICE BEING CAPPED.

- 2. TWO (2) WATER SERVICES ARE REQUIRED TO BE REMOVED BACK TO THE MAIN BEFORE DEMOLITION.
- 3. NOTIFY MWA INSPECTOR TO INSPECT ALL SERVICE REMOVALS AND TERMINATION.
 MWA INSPECTION 478-464-5639
- 4. A DEMO PERMIT FROM MWA IS REQUIRED. CONTACT MWA CUSTOMER SERVICE AT 478-464-5620 FOR MACON WATER AUTHORITY'S DEMO PERMIT PERTAINING TO EXISTING BUILDINGS TO BE REMOVED.

DEMOLITION NOTES:

I. CONFIRM LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

- 2. ALL PAVED SURFACES, CURBS, CONCRETE BLOCKS, BUILDING SLABS AND BRICKS SHALL BE CRUSHED TO MEET GABC NEEDS ONSITE OR REMOVED FROM THE SITE. PROVIDE PRICING FOR BOTH METHODS. CRUSHED ITEMS MAY BE PLACED ONSITE WITH OWNER'S CONSENT. THESE MATERIALS SHALL BE USED AS A COMPONENT OF BACKFILL, FILL AND/OR BASE COURSE IN CONSTRUCTION OPERATIONS FOR NEW FACILITY. ALL ITEMS MUST BE CRUSHED TO A PARTICLE SIZE WHICH MEETS THE GRADATION REQUIREMENTS FOR GROUP II AGGREGATES AS DEFINED BY GDOT SPECIFICATION SECTION 815.
 - ALL OTHER MATERIALS NOTED TO BE DEMOLISHED/REMOVED SHALL BE DISCARDED OFFSITE IN A LEGAL AND LAWFUL MANNER.
- 3. TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE (INCLUDING ROOT SYSTEM) DURING CONSTRUCTION.
- 4. NOT ALL LANDSCAPING TREES, SHRUBS, HEDGEROWS OR VEGETATION MAY BE SHOWN. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO ASCERTAIN ALL CLEARING REQUIRED FOR CONSTRUCTION OF PROJECT.
- 5. ALL CONCRETE PADS, PAVED SURFACES, FOUNDATIONS, AND OTHER DEBRIS AND STRUCTURE REMNANTS WITHIN AREA OF CONSTRUCTION SHALL BE REMOVED ENTIRELY BENEATH STRUCTURAL FOUNDATIONS, IN AREAS THAT MAY INTERFERE WITH THE PLACEMENT OF UNDERGROUND PIPES AND UTILITIES AND WHERE SUB-SURFACE COMPACTION REQUIREMENTS CANNOT BE MET.
- 6. ELECTRICAL LINES SHALL BE REMOVED AND TRANSFORMERS TURNED OVER TO UTILITY PROVIDER. REMOVAL AND RELOCATION SHALL BE COORDINATED WITH UTILITY PROVIDER.
- 7. CABLE AND PHONE LINE REMOVAL AND RELOCATION SHALL BE COORDINATED WITH UTILITY PROVIDER.
- 8. EXISTING OPERATIONAL UTILITY METERS, VALVES, BOXES, POLES, ETC. TO REMAIN, OR TO BE RELOCATED, SHALL BE COORDINATED WITH UTILITY PROVIDER.
- 9. STORM DRAIN STRUCTURES AND ALL OTHER UTILITIES NOT TO BE DISCONNECTED SHALL REMAIN OPERATIONAL AND IN SERVICE DURING COURSE OF DEMOLITION AND EARTHWORK OPERATIONS.
- 10. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF UTILITIES IN ADDITION TO THOSE SHOWN ARE ENCOUNTERED.
- II. SANITARY SEWER LATERAL AND WATER SERVICE REMOVAL SHALL BE COORDINATED WITH MWA INSPECTION DEPARTMENT 478-464-5639. MWA INSPECTOR SHALL OBSERVE AND APPROVE REMOVAL OF SANITARY LATERALS AND WATER SERVICES. (SEE ADDITIONAL NOTES ON THIS SHEET.)
- 12. CONTRACTOR SHALL PLACE A BLACK PLASTIC BAG OVER ANY FIRE HYDRANT THAT IS NOT IN SERVICE FOR THE DURATION THAT THE HYDRANT IS NOT IN SERVICE.

PARKING TABULATION

PARKING DECK PARKING: H/C ACCESSIBLE PARKING

SITE ACCESSIBILITY NOTES:

I. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT HANDICAP PARKING AREAS, ACCESS AISLES, HANDICAP RAMPS, AND ALL SIDEWALKS ARE CONSTRUCTED TO MEET THE DEPARTMENT OF JUSTICE PUBLISHED REVISED REGULATIONS FOR TITLE II AND III OF THE AMERICANS WITH DISABILITIES ACT OF 1990 "ADA" IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010.

345 SPACES

8 SPACES

- 2. CONTRACTOR SHALL CHECK ELEVATIONS, LONGITUDINAL SLOPES, AND CROSS-SLOPES OF ALL FORM WORK PRIOR TO PLACING CONCRETE AND/OR ASPHALT FOR CURB AND GUTTERS, HANDICAP RAMPS, AND PARKING AREAS, WALKS, ETC. TO VERIFY HANDICAP ACCESSIBLE ROUTE TO FACILITY WILL BE PROVIDED AND MEET THE FOLLOWING REQUIREMENTS:
- A. CROSS-SLOPES OF HANDICAP PARKING AREAS SHALL NOT EXCEED SLOPES OF 1:48.
- B. RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED 1:20.C. CROSS-SLOPES OF SIDEWALKS SHALL NOT EXCEED 1:48.
- D. RUNNING SLOPES OF HANDICAP RAMPS SHALL NOT EXCEED I" IN 12" OR HAVE A VERTICAL HEIGHT GREATER THAN 6 INCHES.
- E. HANDICAP RAMPS THAT EXCEED VERTICAL HEIGHT OF GREATER THAN 6"
- SHALL BE CONSTRUCTED WITH APPROPRIATE HANDRAIL PROVISIONS.
- F. HANDICAP RAMP SHALL NOT EXCEED VERTICAL HEIGHT OF MORE THAN 30" IN SINGLE RUN BETWEEN LANDINGS.

SITE LAYOUT NOTES:

I. DIMENSIONS SHOWN ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF SIDEWALK OR EDGE OF PAVEMENT.

- 2. RADII NOT SHOWN ARE 5'.
- 3. ANGLES NOT SHOWN ARE 90 DEGREES.
- 4. LAYOUT AND STAKING INFORMATION IS AVAILABLE TO SUCCESSFUL BIDDER FROM PROJECT ENGINEER ON COMPUTER DISK AUTOCAD 2000 UPON COMPLETION OF A HOLD HARMLESS AGREEMENT.
- 5. THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY BARRICADES AND FENCING AS REQUIRED TO PROVIDE TOTAL SEPARATION BETWEEN THE WORK AREA AND THE AREA TO BE OCCUPIED. THE CONTRACTOR SHALL INSTALL ADDITIONAL BARRICADES AND FENCING IF DEEMED NECESSARY BY THE OWNER FOR PROPER SEPARATION. COORDINATE PLACEMENT AND LOCATION OF SECURITY FENCE WITH OWNER AND ARCHITECT. SECURITY FENCE SHALL BE A 4' HIGH TENZAL FENCE OR EQUAL. ERECT FENCE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF FENCE AS NECESSARY TO ACCOMPLISH DIFFERENT PHASES OF CONSTRUCTION.
- 6. UNDER NO CONDITION SHALL THE WORK OF THE CONTRACTOR STOP OR DISTURB
 THE OWNER'S USE OF THE OCCUPIED PORTION OF THE BUILDING OR SITE.
- THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND ORDERLY AT ALL
- 8. CONTRACTOR SHALL COORDINATE WITH OWNER'S LIGHTING PROVIDER TO PROVIDE ELECTRICAL POWER PRIOR TO INSTALLATION OF PAVING AND SIDEWALKS.
- 9. PVC IRRIGATION SLEEVES SHALL BE INSTALLED WITH 18" COVER AND SHALL EXTEND 18" BEYOND BACK OF CURB. PVC SLEEVES SHALL BE 4" SDR 35, ASTM D3034. FURNISH AND INSTALL TEMPORARY INDICATOR POST AT EACH END OF CONDUIT. POST SHALL BE 4" DIA. x 24" WOOD.

CONSTRUCTION NOTES:

- 1. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING EXCAVATION. UTILITY LOCATIONS ARE BASED UPON FIELD OBSERVATIONS AND RECORD DRAWINGS. THESE LOCATIONS ARE APPROXIMATE AND MAY BE INCOMPLETE. THE UTILITIES PROTECTION CENTER MUST BE CONTACTED AT 1-800-282-7411 THREE (3) BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION.
- 2. ALL PAVING SUBGRADE AREAS SHALL BE COMPACTED IN 6" LAYERS TO 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698, CURRENT EDITION. ALL AREAS SHALL BE PROOFROLLED WITH A 20-TON DUMP TRUCK. UNDERCUT ALL AREAS THAT PUMP AND REPLACE WITH A SUITABLE MATERIAL COMPACTED AS HEREIN SPECIFIED.
- 3. ALL CONSTRUCTION ON THE SITE SHALL BE IN ACCORDANCE WITH MACON-BIBB COUNTY SPECIFICATIONS AND REQUIREMENTS.
- 4. MAXIMUM CUT AND FILL SLOPES ARE 3:1.
- 5. NOTIFY COUNTY INSPECTOR 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

WATER & SANITARY SEWER CONSTRUCTION NOTES:

- I. CONTRACTOR SHALL VERIFY LOCATIONS, INVERT ELEVATIONS, AND SIZES OF ALL UTILITY MAINS AND LINES PRIOR TO INSTALLATION OF UTILITY MAINS.
- 2. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH MACON WATER AUTHORITY STANDARDS LISTED AS FOLLOWS:

<u>SANITARY SEWER:</u> DUCTILE IRON PRESSURE CLASS 350 OR PVC ASTM D3034 SDR26

WATER MAINS & SERVICES:

4" AND LARGER: DUCTILE IRON-PRESSURE CLASS 350 OR C900 DRI8 PVC 3" AND SMALLER: TYPE 'K' COPPER, SCH. 40 PVC, OR SDR 21 PVC

- 3. THE CONTRACTOR SHALL NOTIFY THE MACON WATER AUTHORITY INSPECTIONS DEPARTMENT 72 HOURS PRIOR TO BEGINNING CONSTRUCTION CALL CHIEF INSPECTOR JOEL HERNDON (478) 464-5639.
- 4. CONTRACTOR SHALL COORDINATE WATER AND SEWER CONNECTIONS WITH PLUMBING DRAWINGS.
- 5. CONTRACTOR SHALL PLACE BLACK PLASTIC BAGS OVER TOP OF ALL OUT-OF-SERVICE FIRE HYDRANTS UNTIL THE HYDRANTS ARE IN SERVICE.
- 6. ALL HYDRANTS AND FITTINGS SHALL HAVE THRUST BLOCKS OR APPROVED
- 7. METALLIC TAPE LOCATOR SHALL BE USED ON ALL SANITARY SEWER LATERALS.
- 8. CONTRACTOR SHALL FURNISH AND INSTALL SIGNAGE ALONG ROADWAY TO ALERT MOTORISTS OF CONSTRUCTION ACTIVITY. SIGNAGE AND PLACEMENT SHALL MEET MUTCD/GDOT/BIBB COUNTY AND MWA STANDARDS.
- 9. CONTRACTOR SHALL FURNISH AND INSTALL TAMPER SWITCHES FOR BACKFLOW PREVENTER VALVES AND FOR NEW POST INDICATOR VALVES. FURNISH AND INSTALL A I" PVC CONDUIT W/ PULLSTRING FROM EACH OF THESE TO FIRE RISER ROOM
- 10. ALL BACKFLOW PREVENTION DEVICES MUST BE INSTALLED AND TESTED WITHIN SEVEN (7) BUSINESS DAYS AFTER METER ACCOUNTS ARE ESTIMATED.



Macon, GA 31210 478-219-2600

LEVEL II CERTIFIED
DESIGN PROFESSIONAL # 2061



DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY

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MACON, GA

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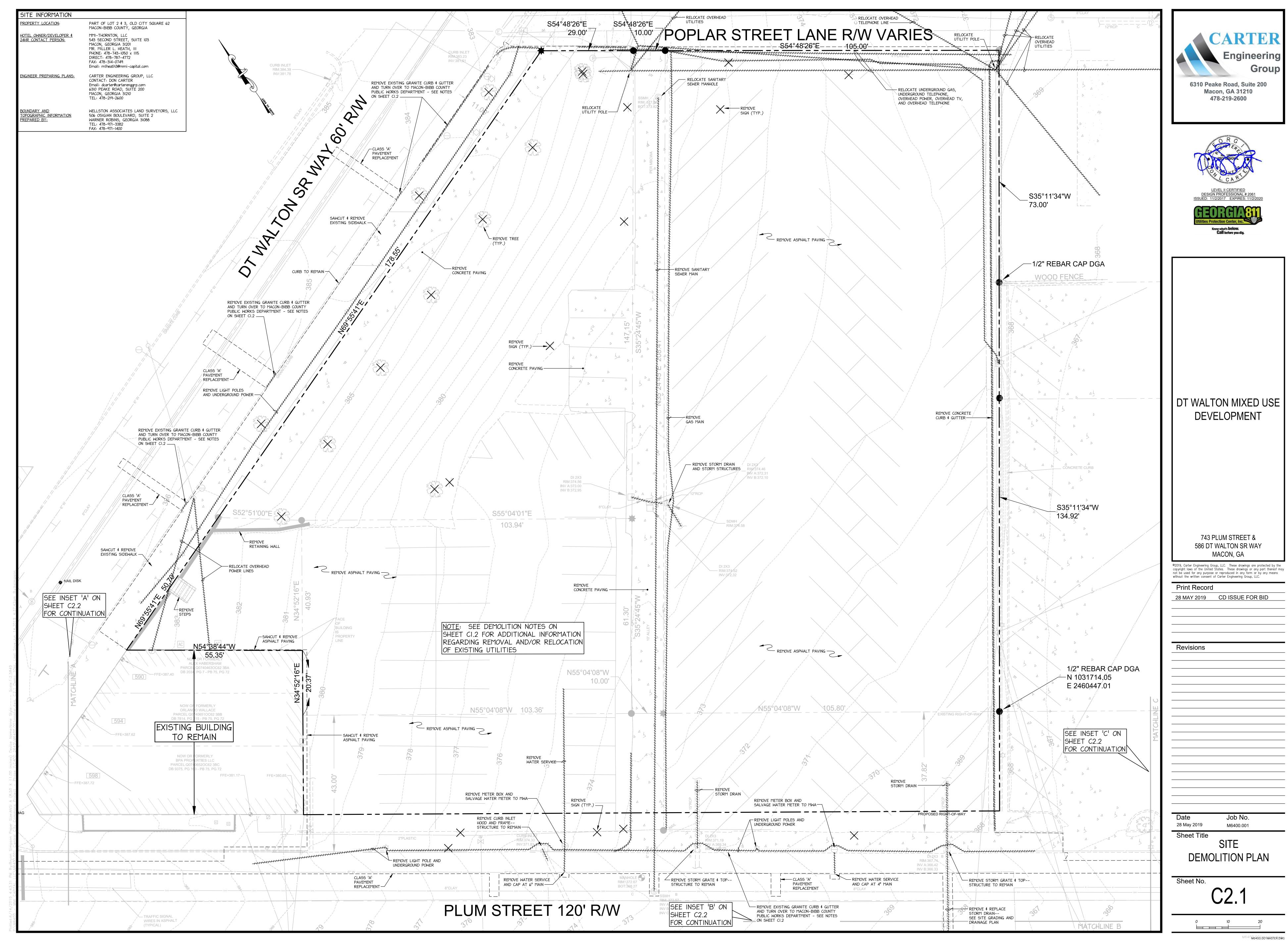
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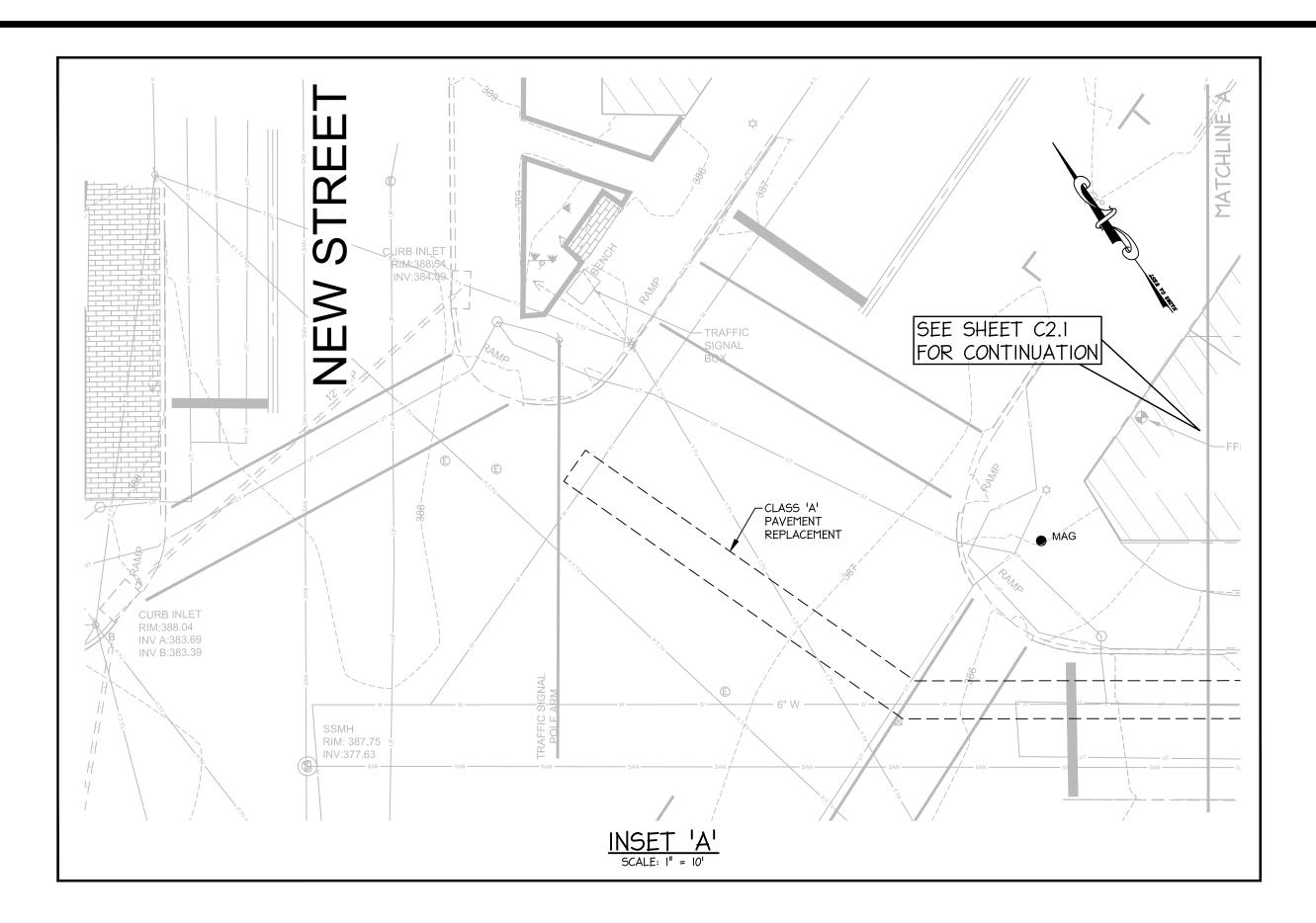
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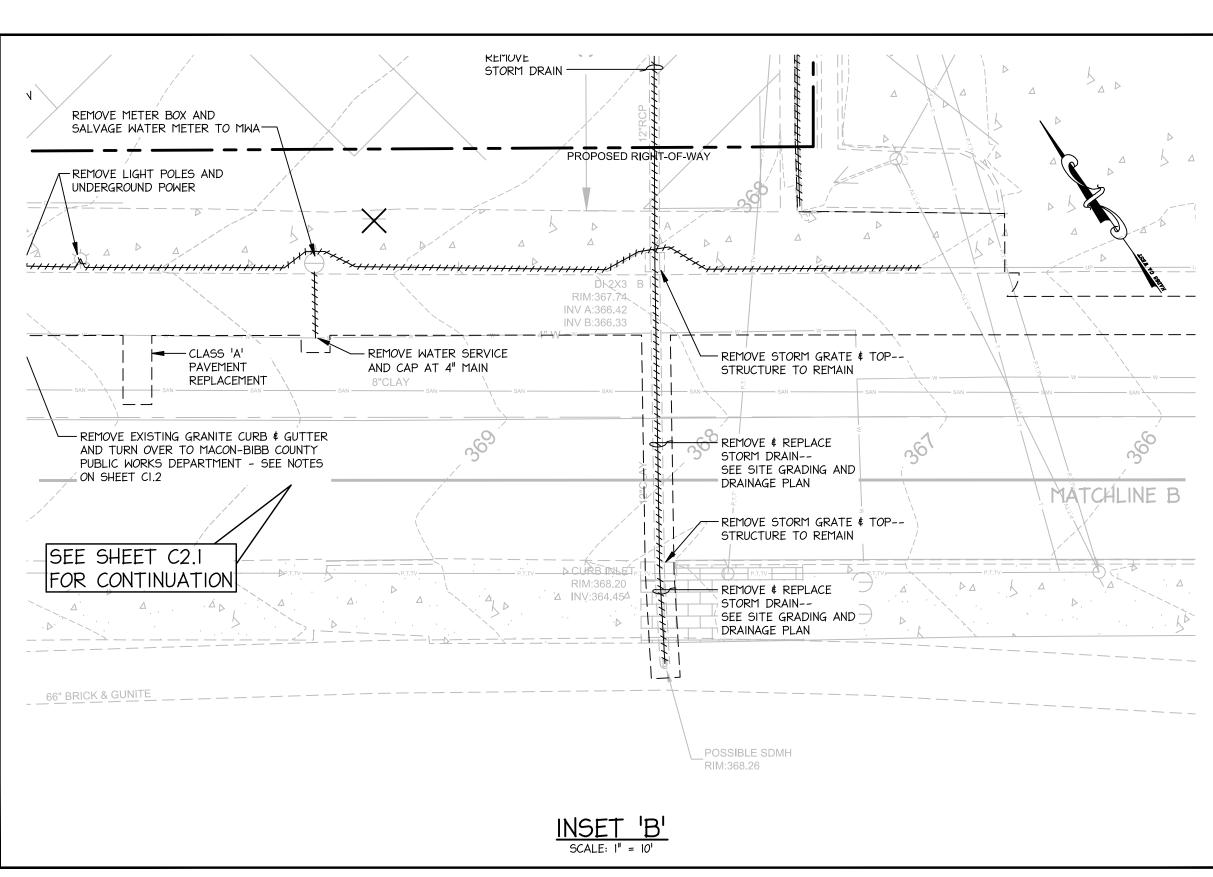
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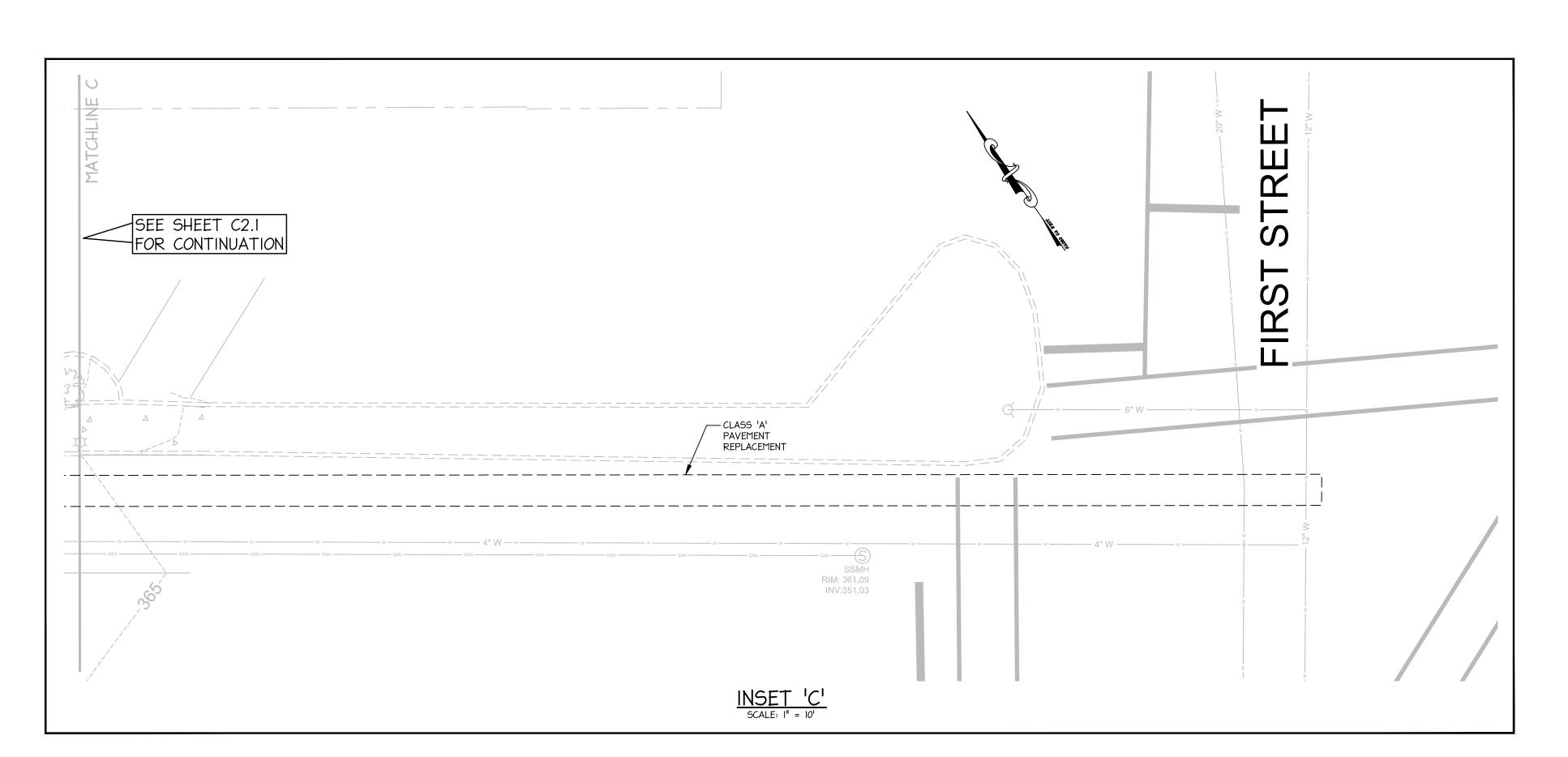
PROJECT NOTES



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DT WALTON MIXED USE

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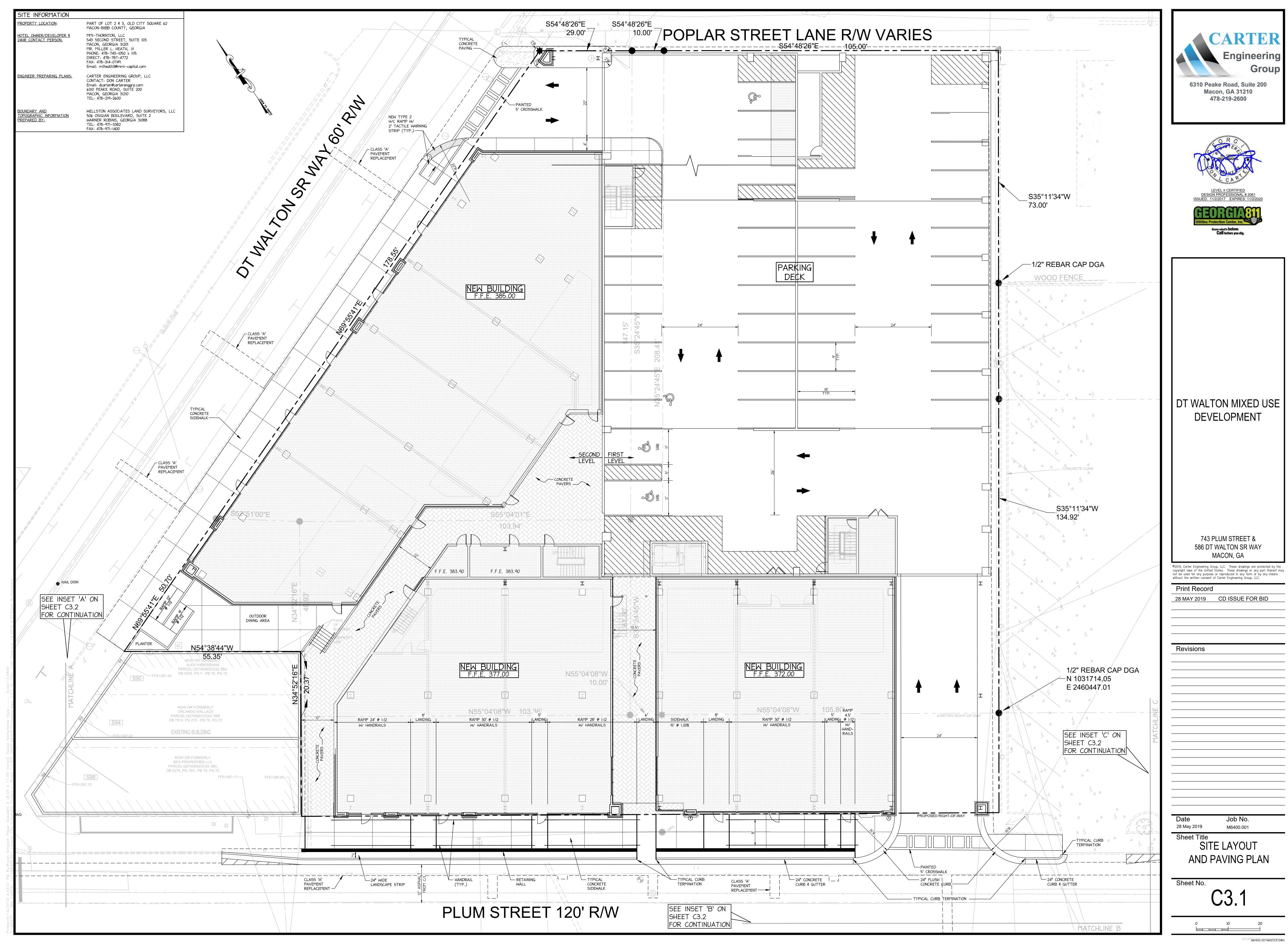
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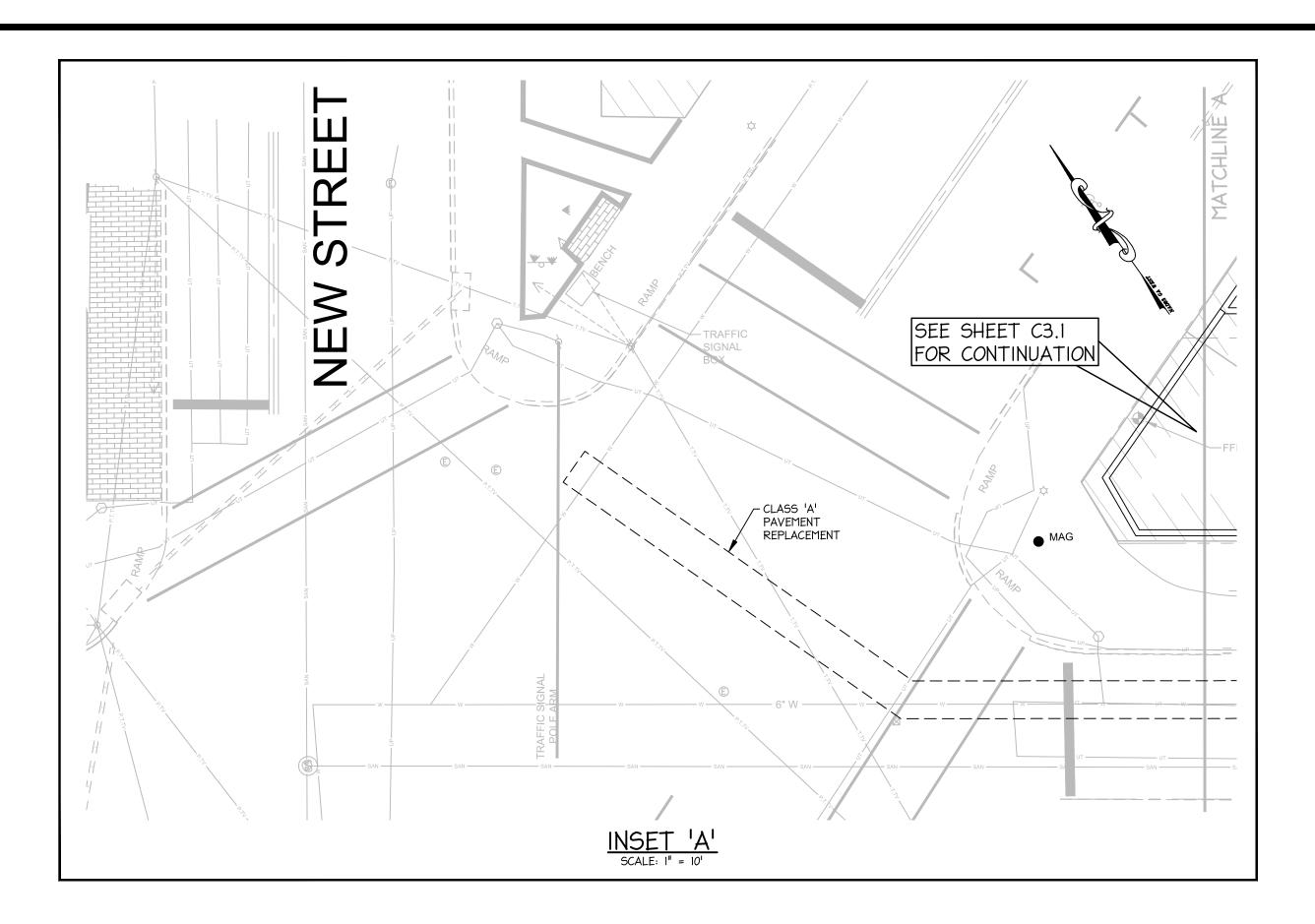
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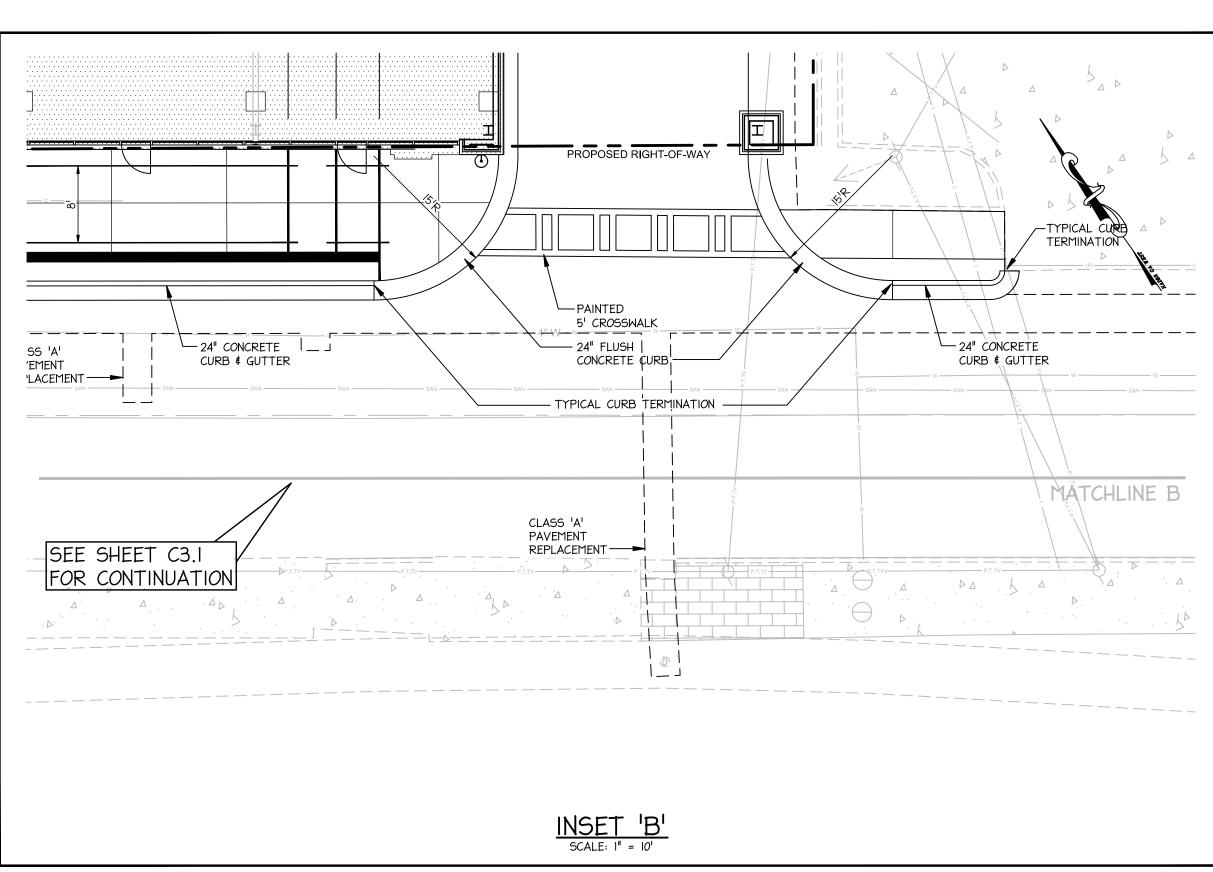
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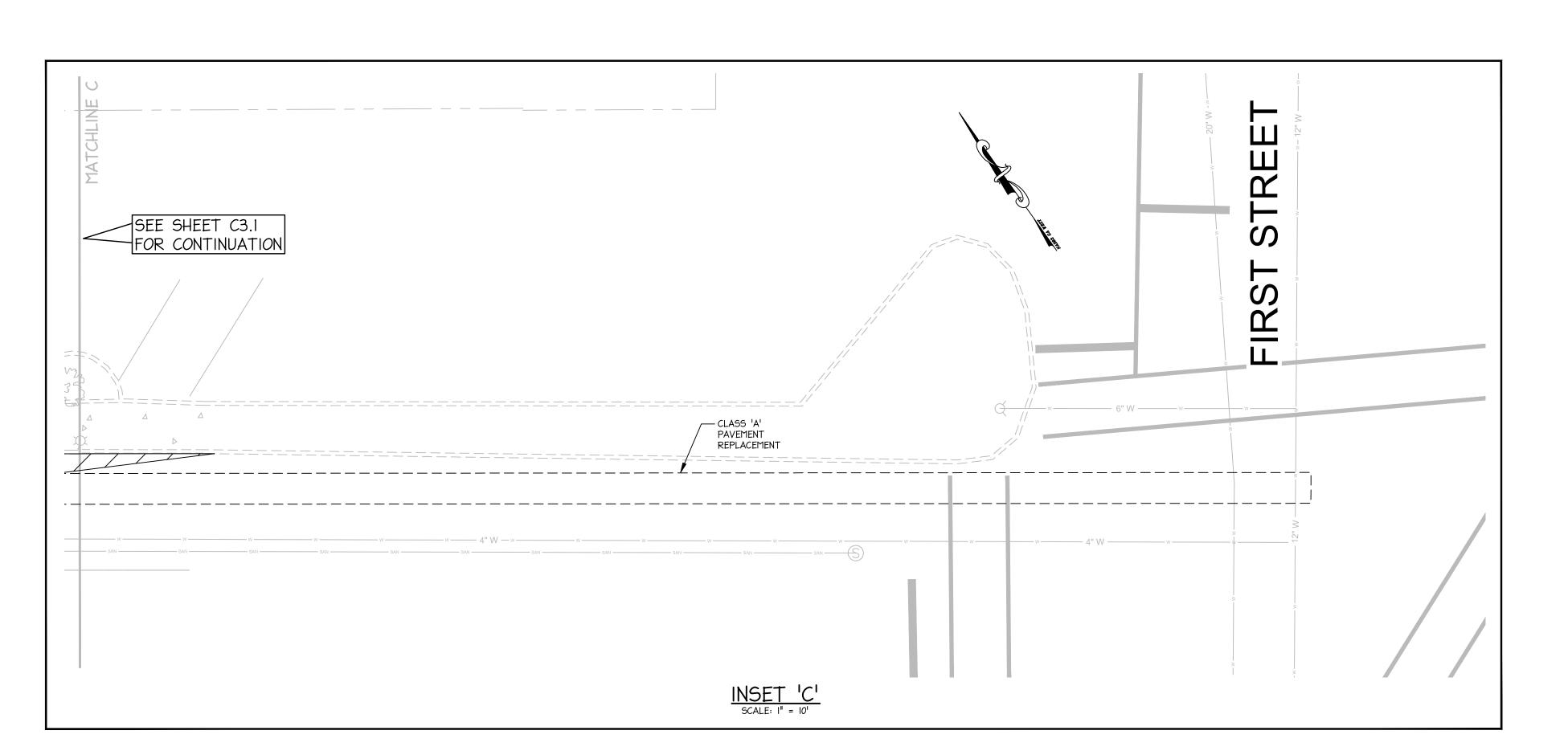
DEMOLITION PLAN

Sheet No.













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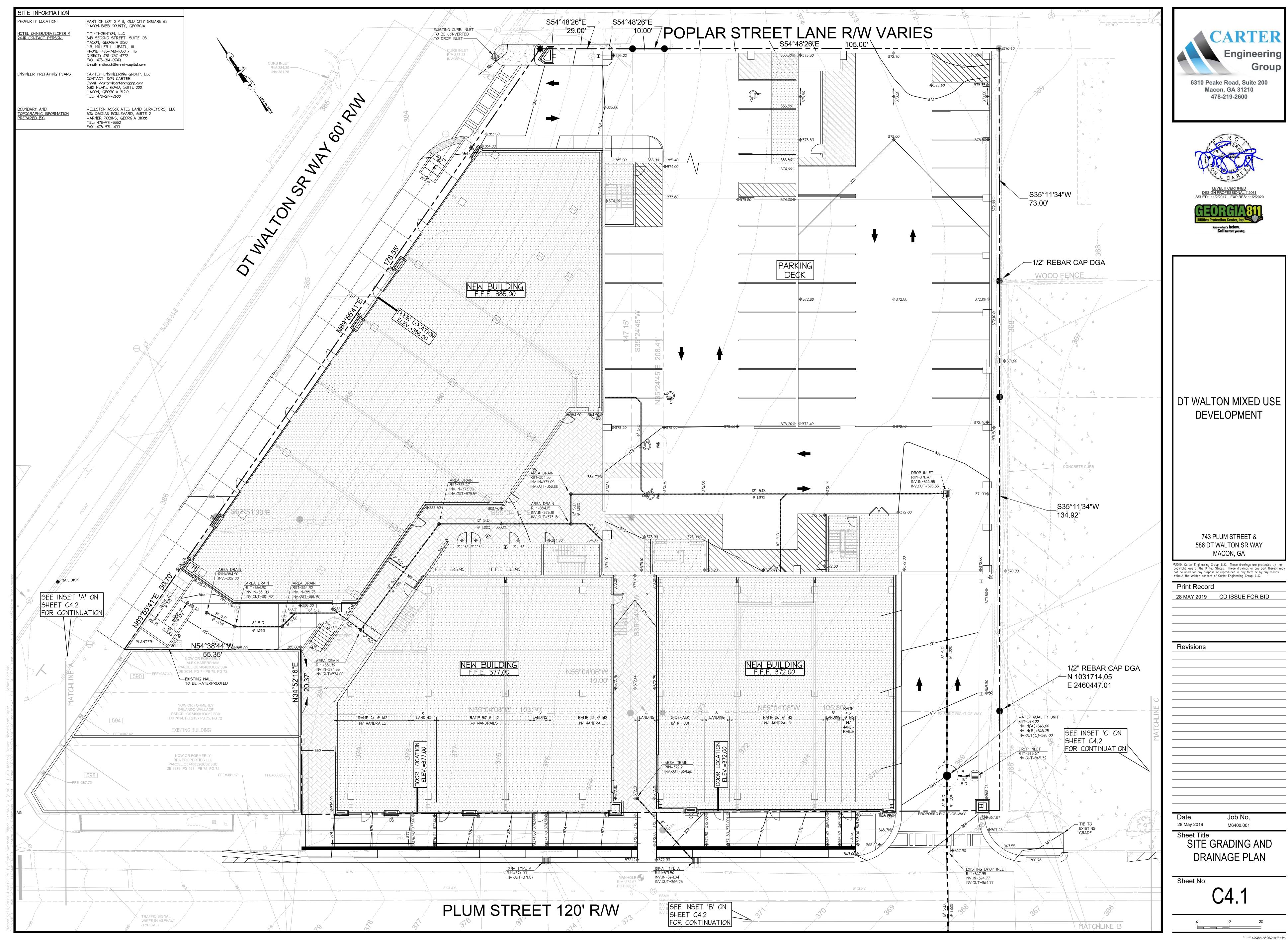
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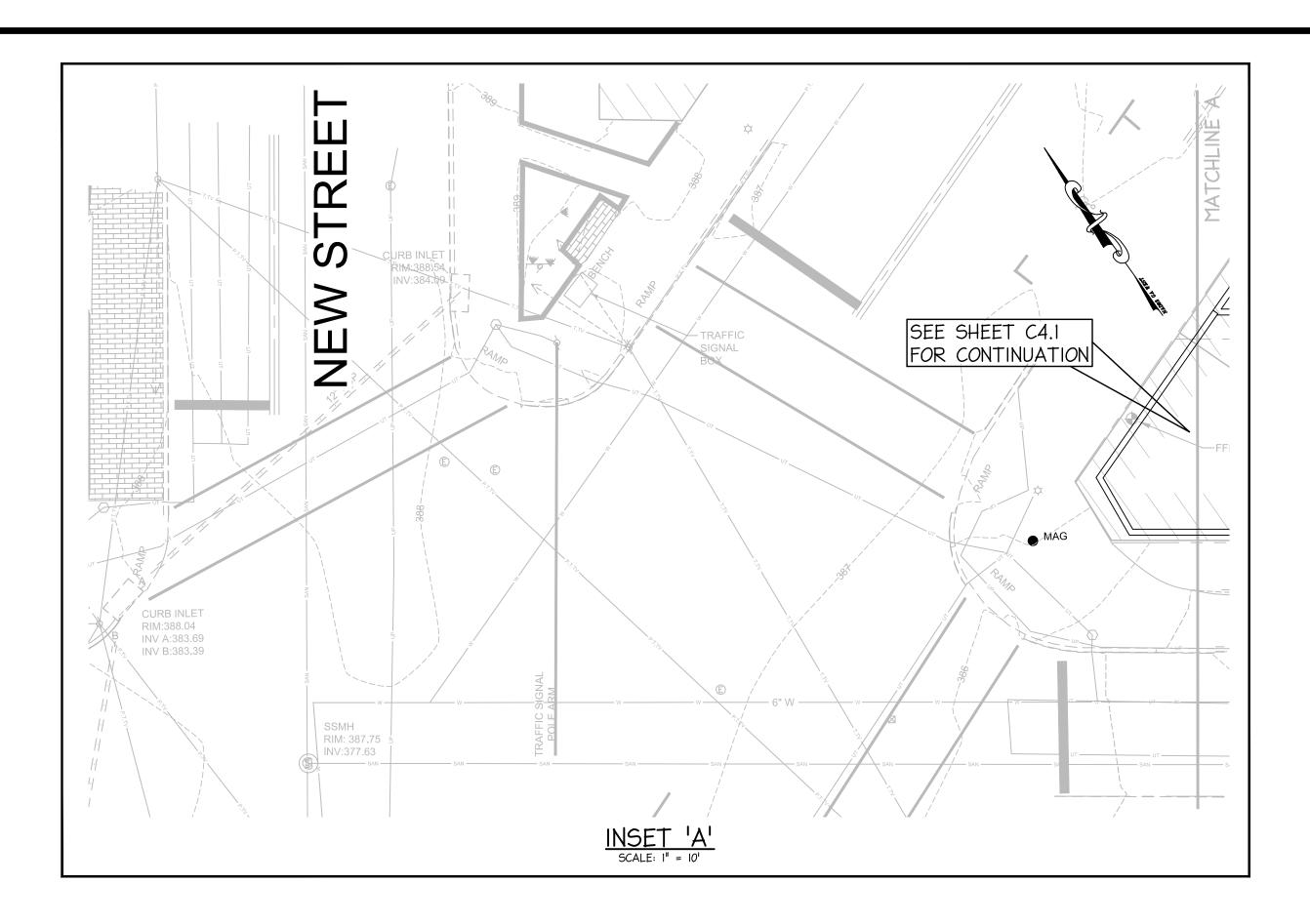
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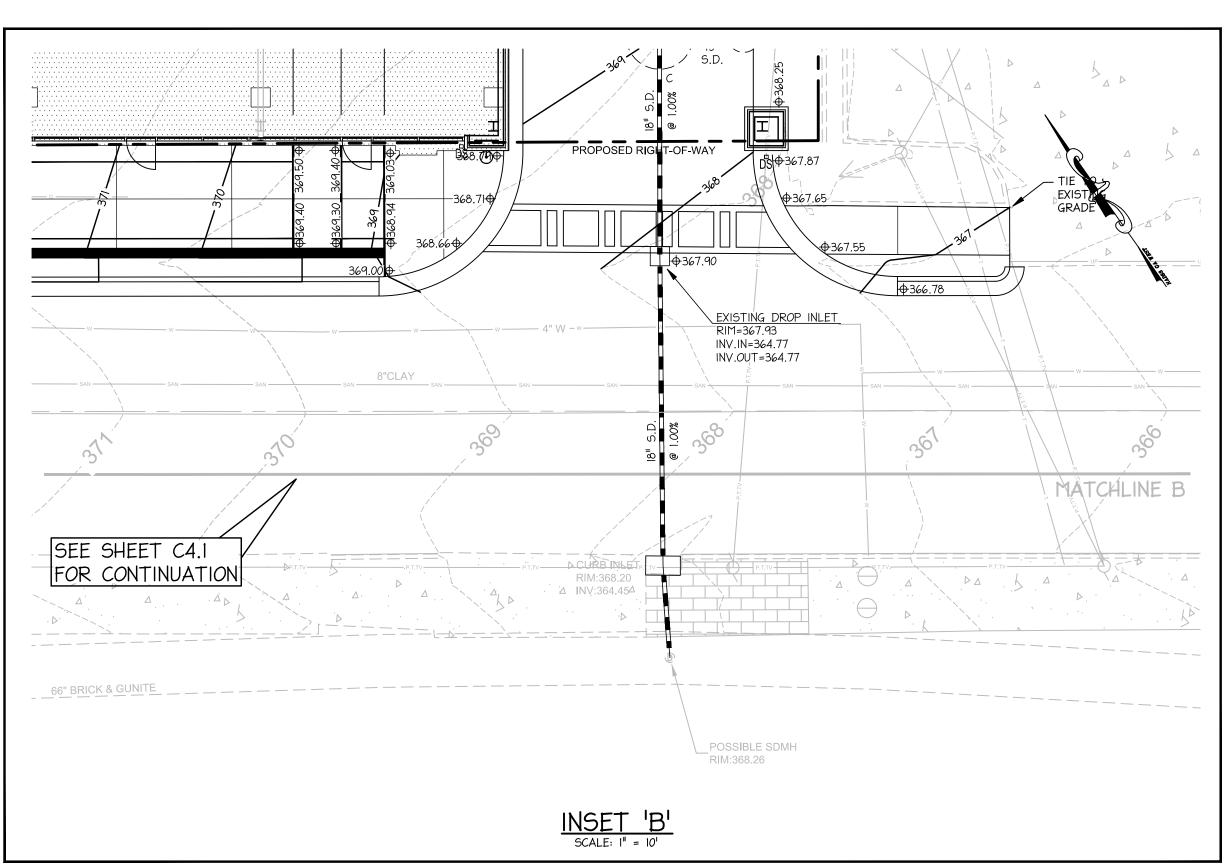
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SITE LAYOUT AND PAVING PLAN

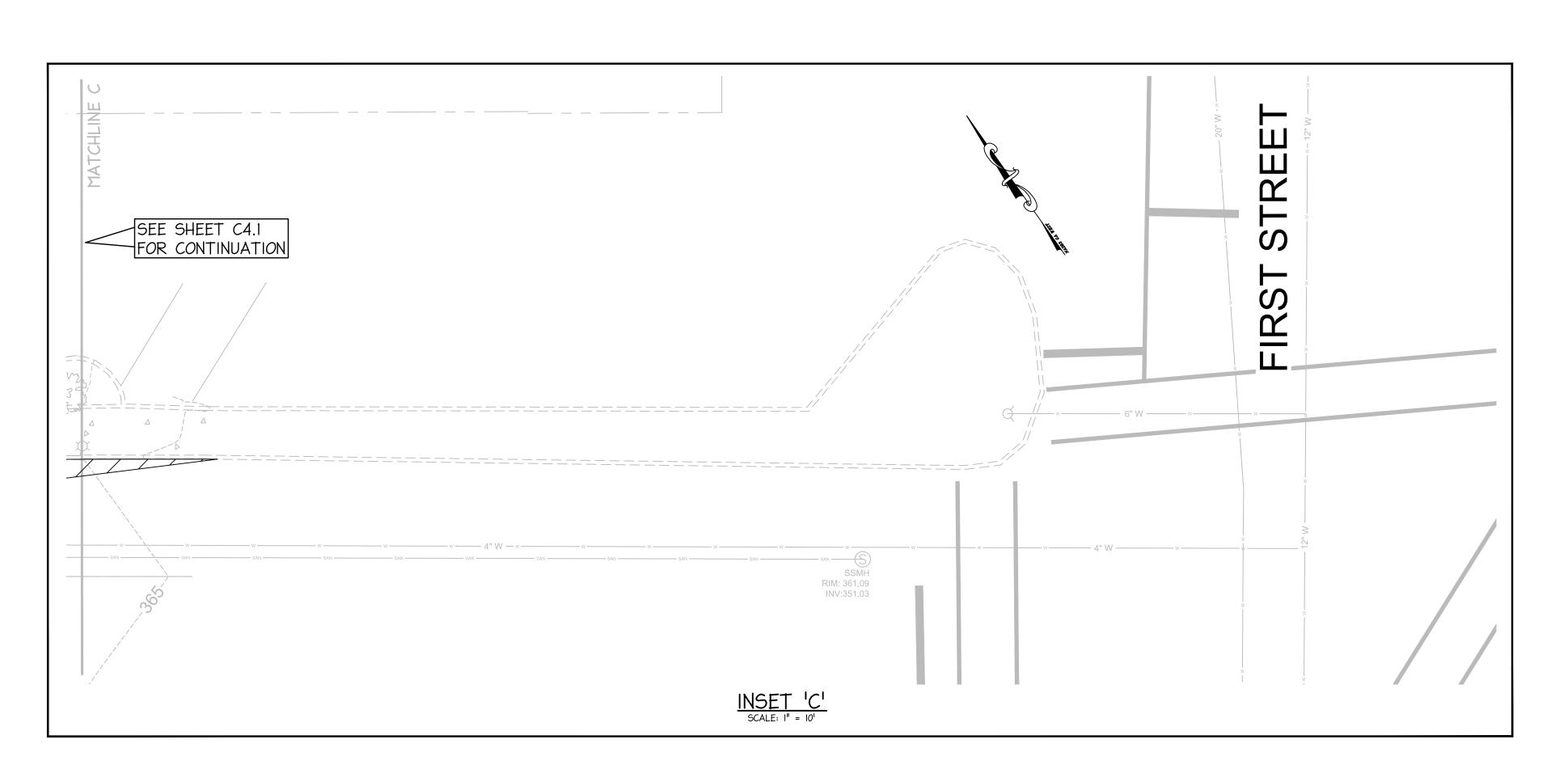
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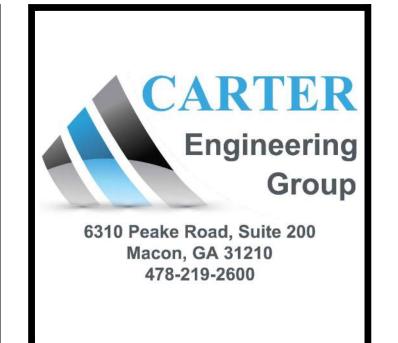


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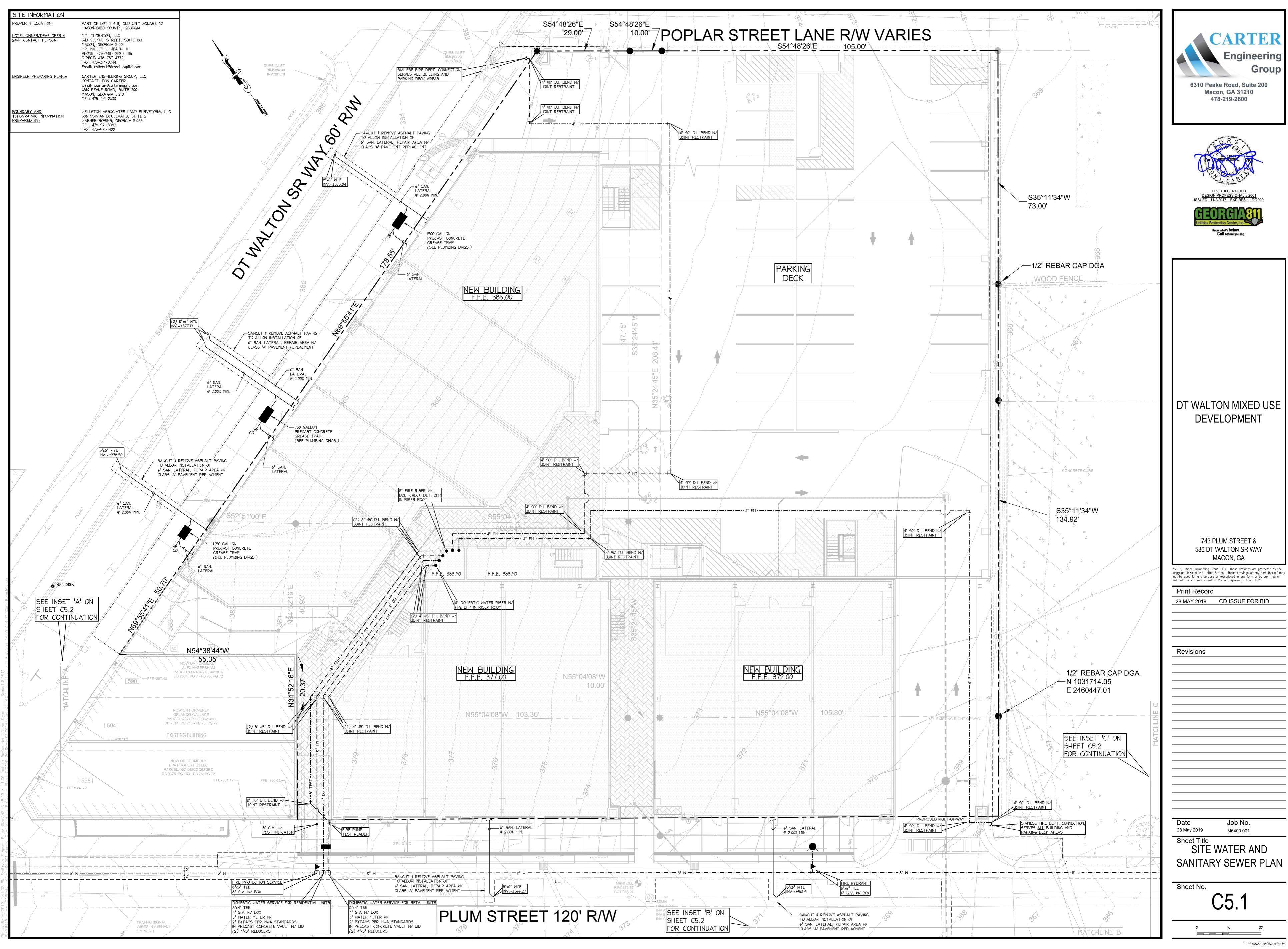
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SITE GRADING AND
DRAINAGE PLAN
INSETS

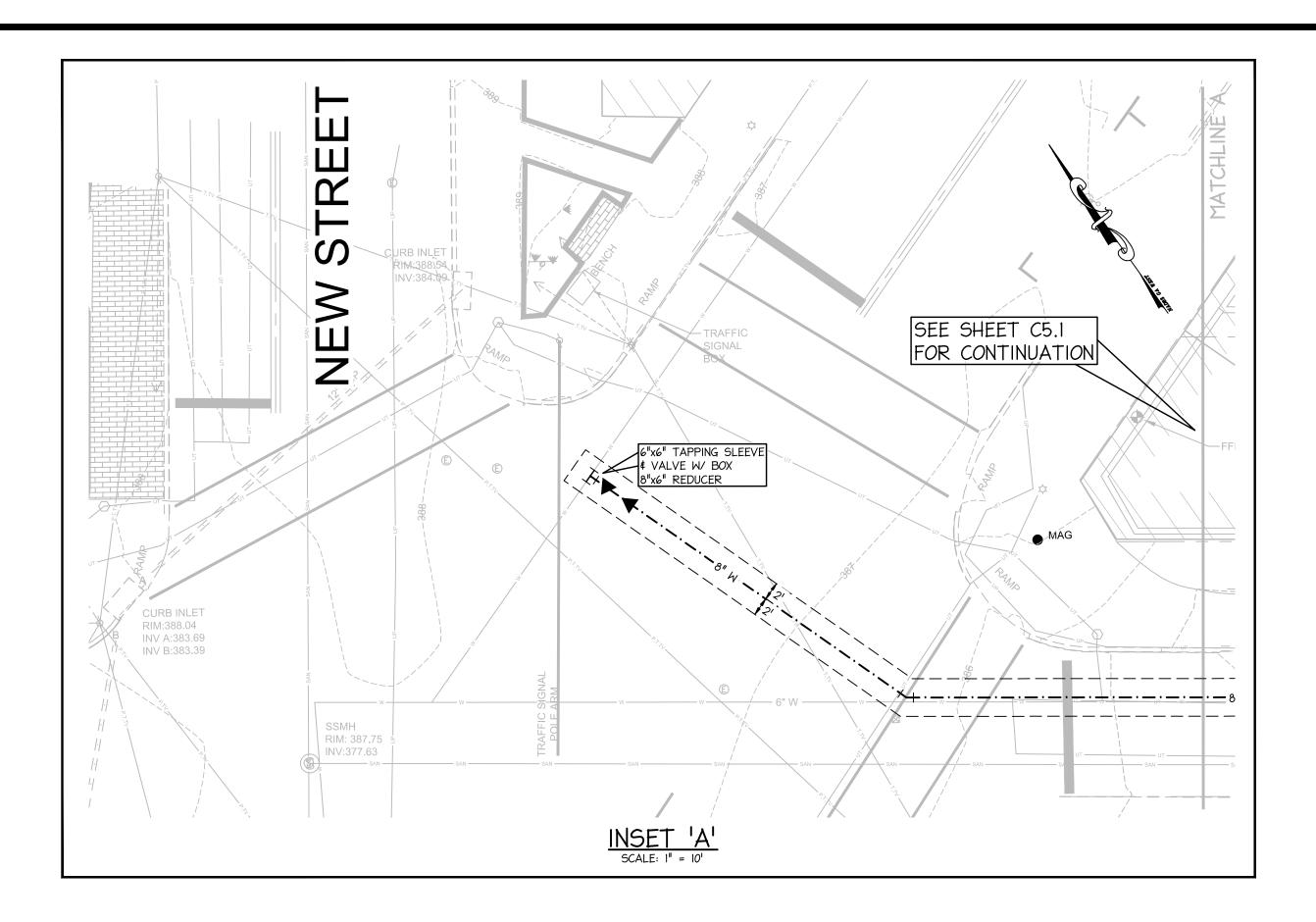
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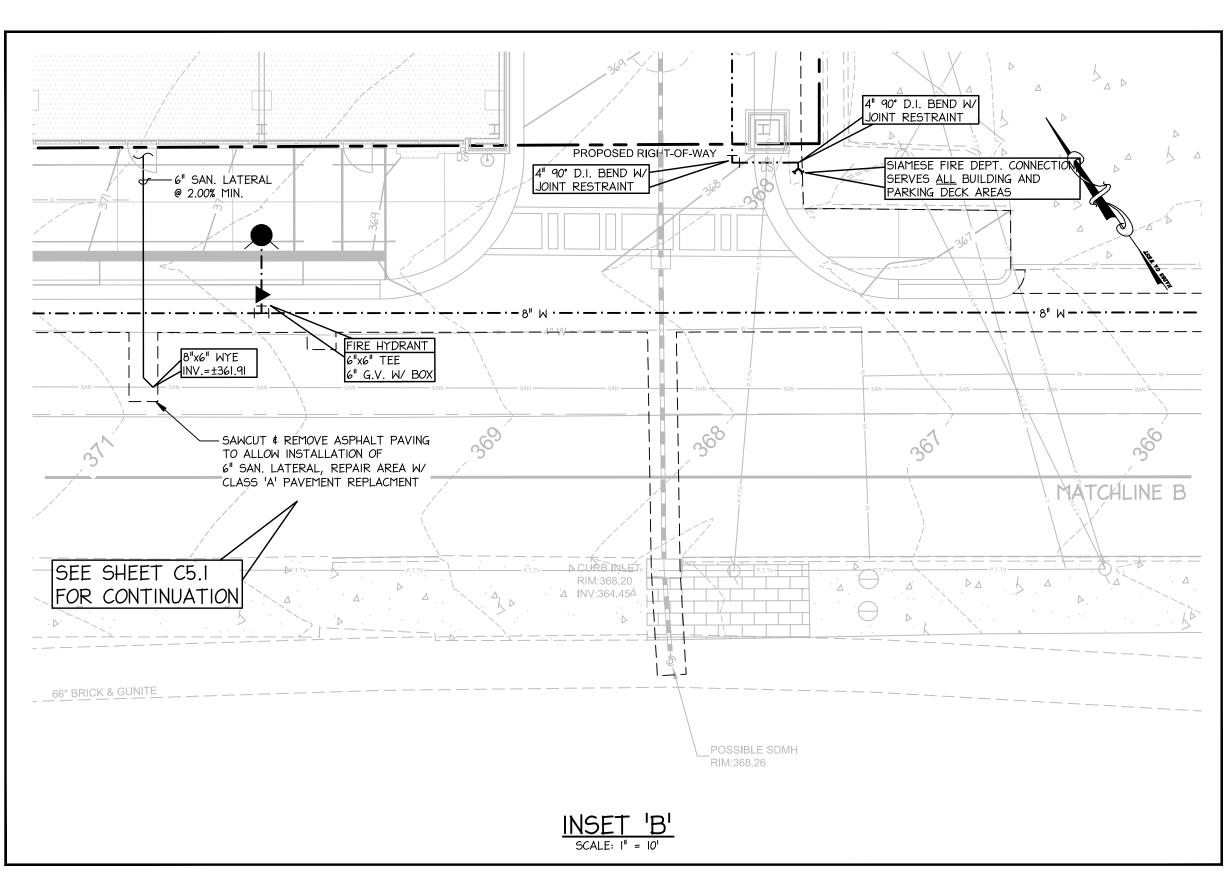
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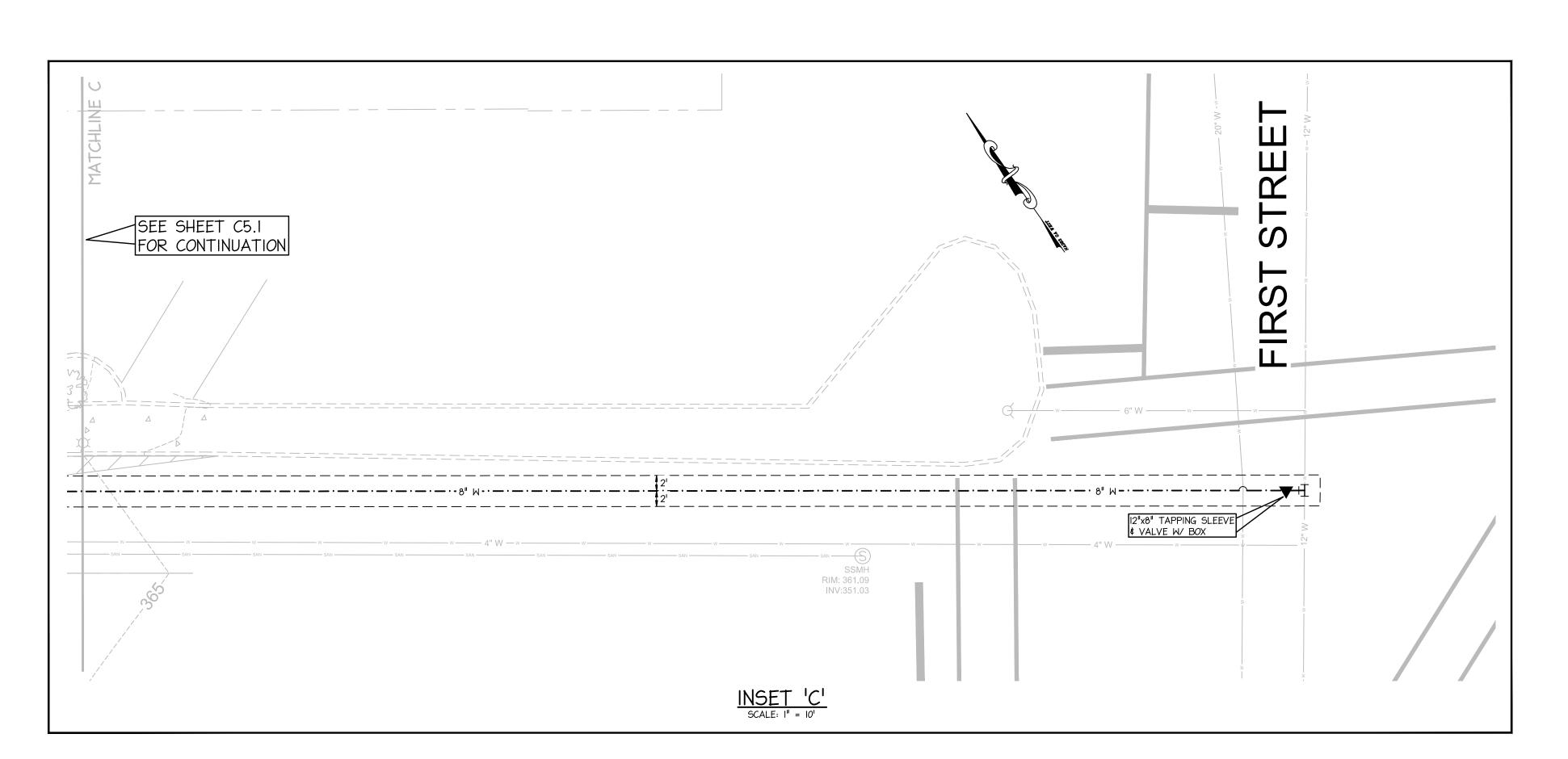
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SITE WATER AND

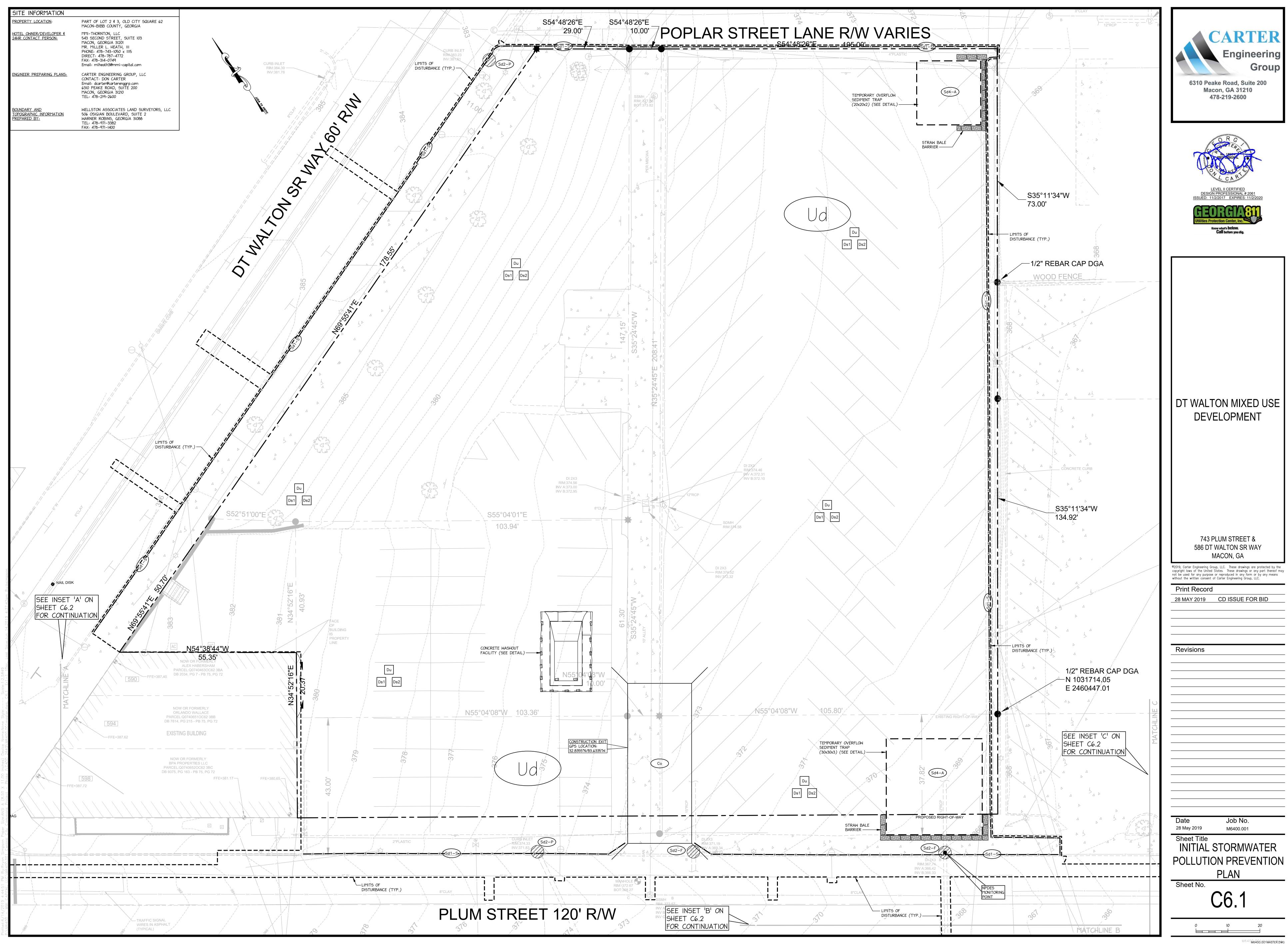
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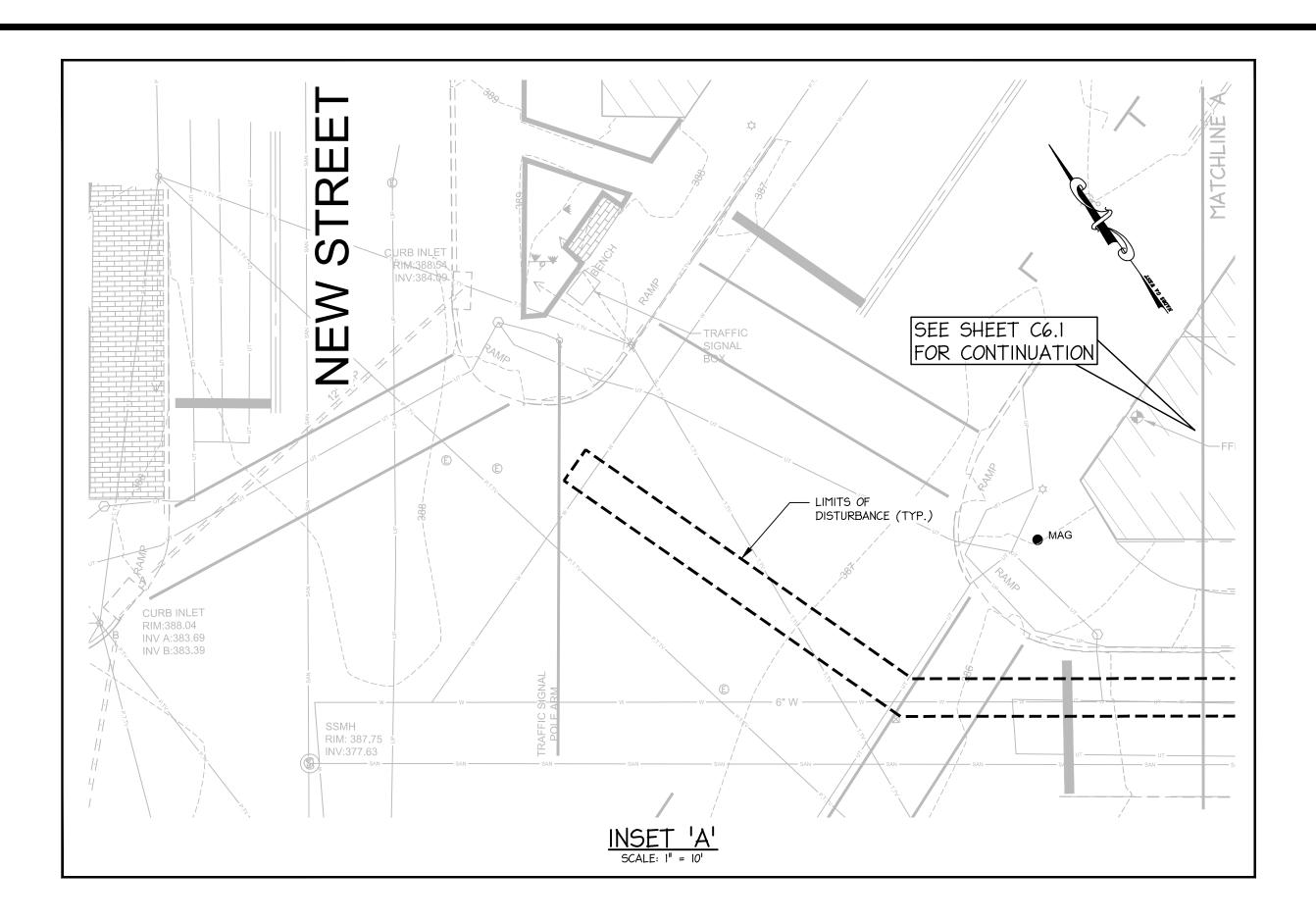
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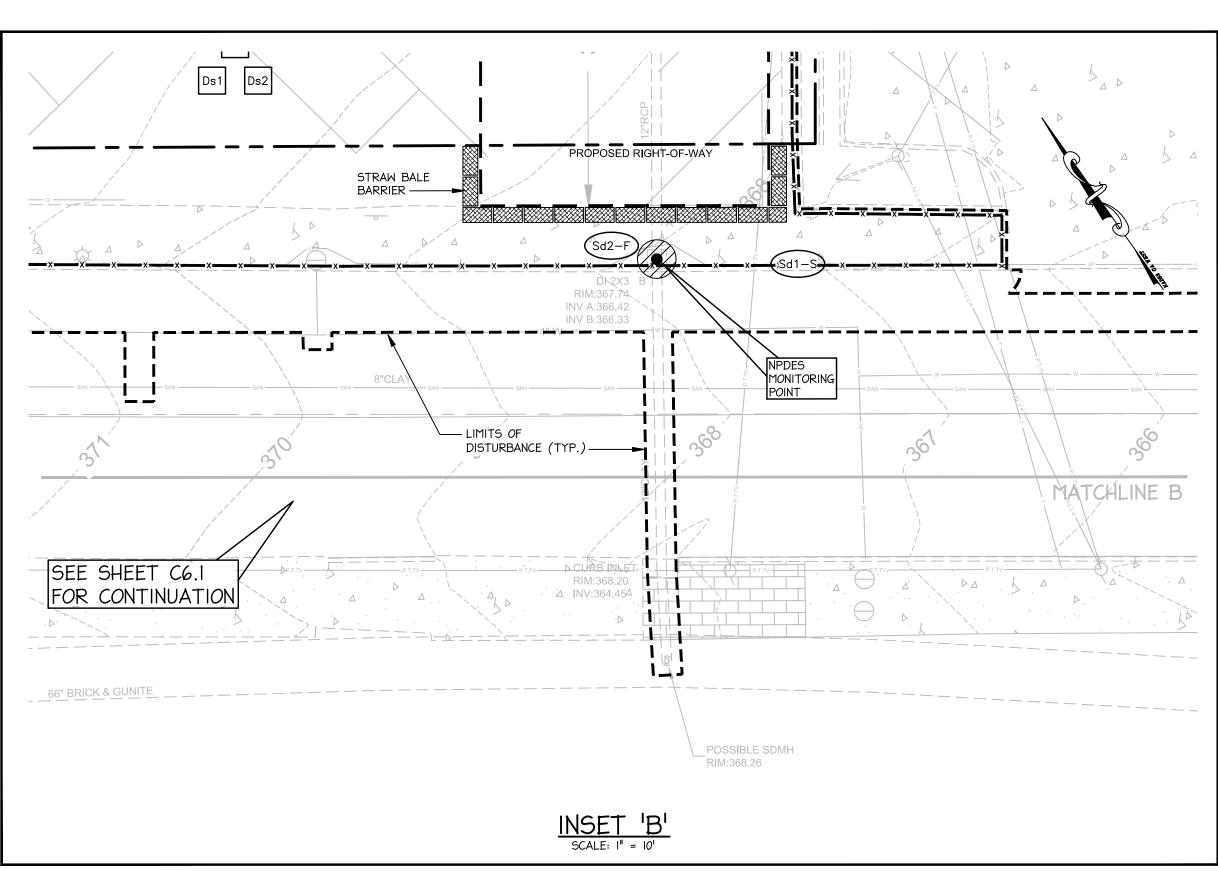
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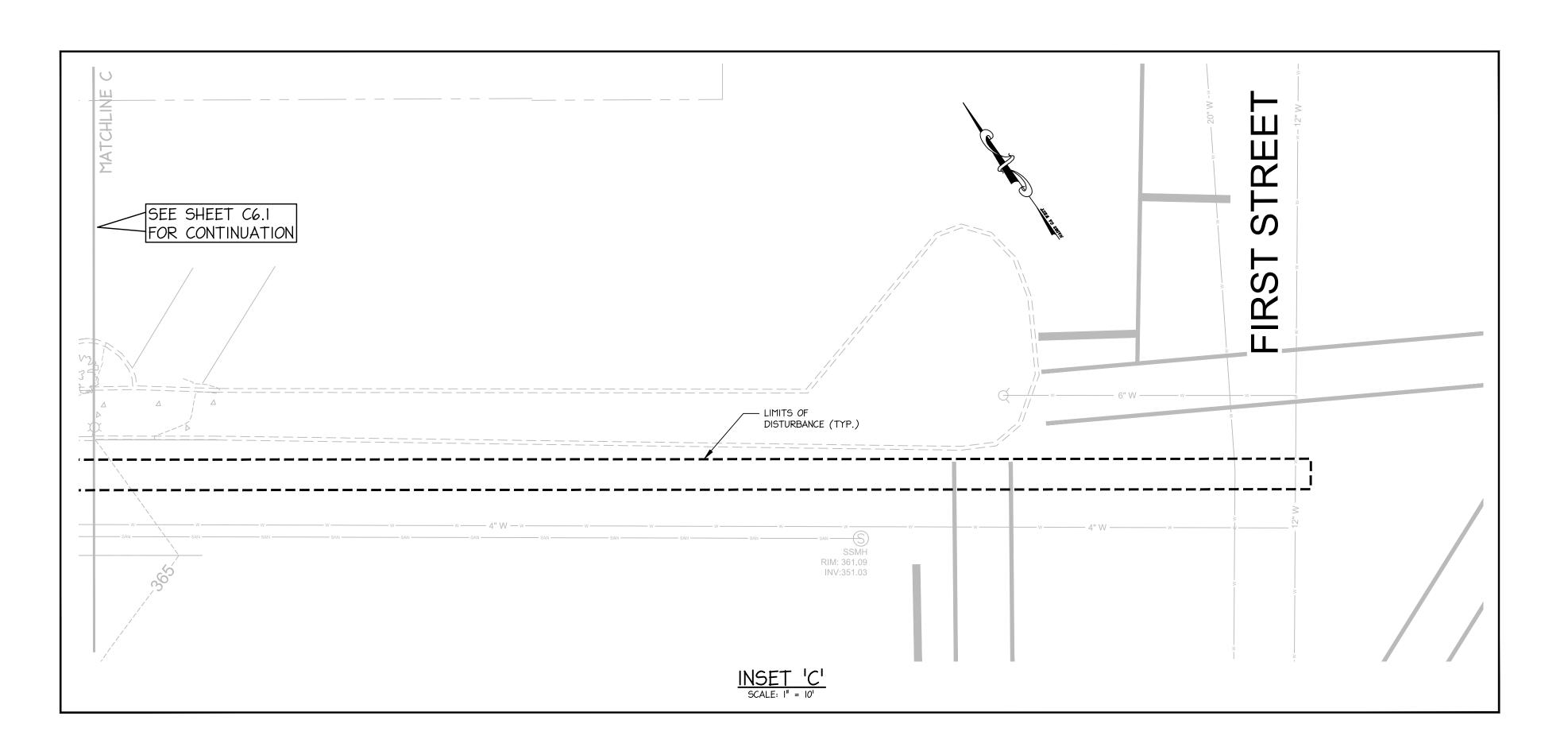
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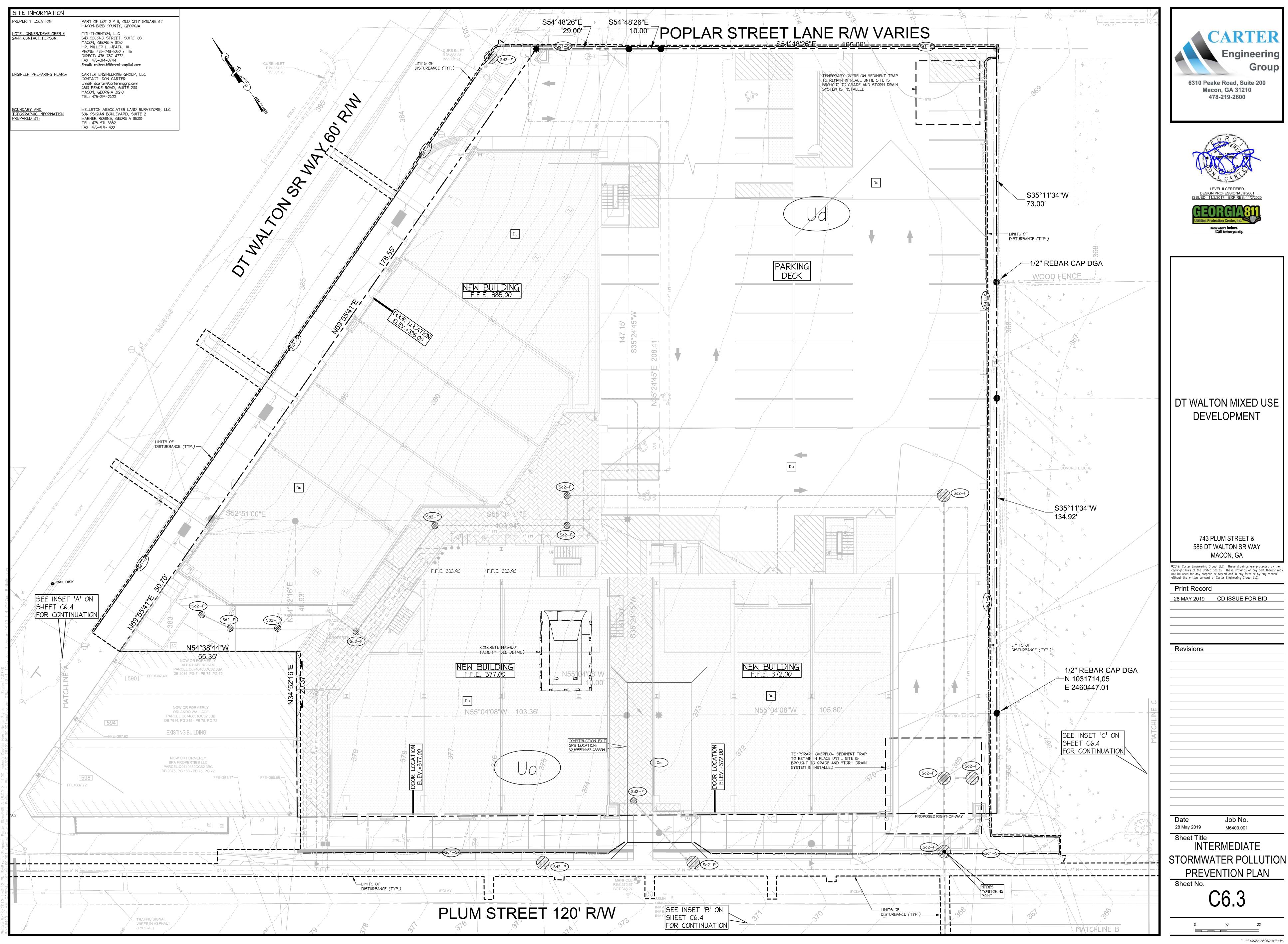
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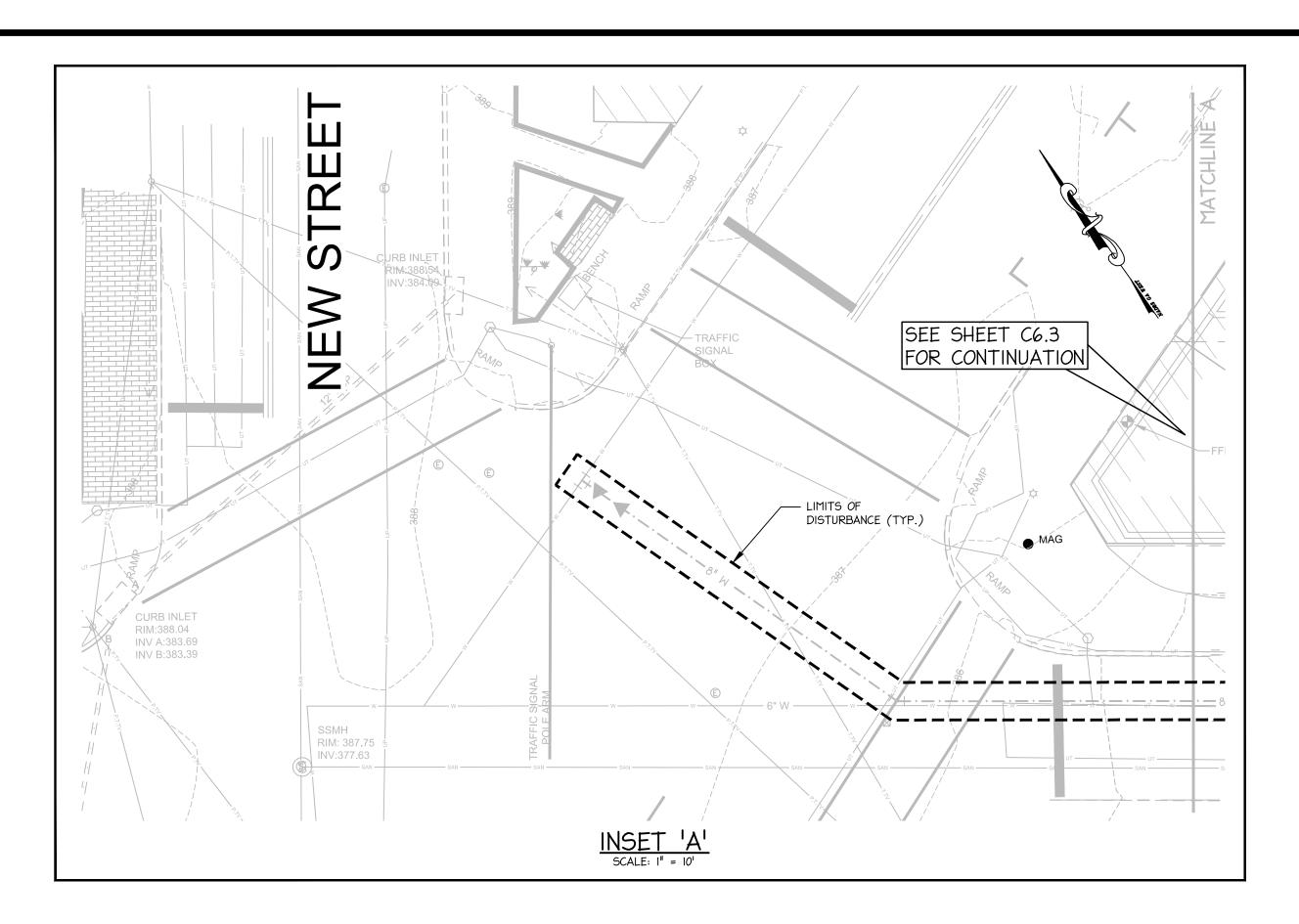
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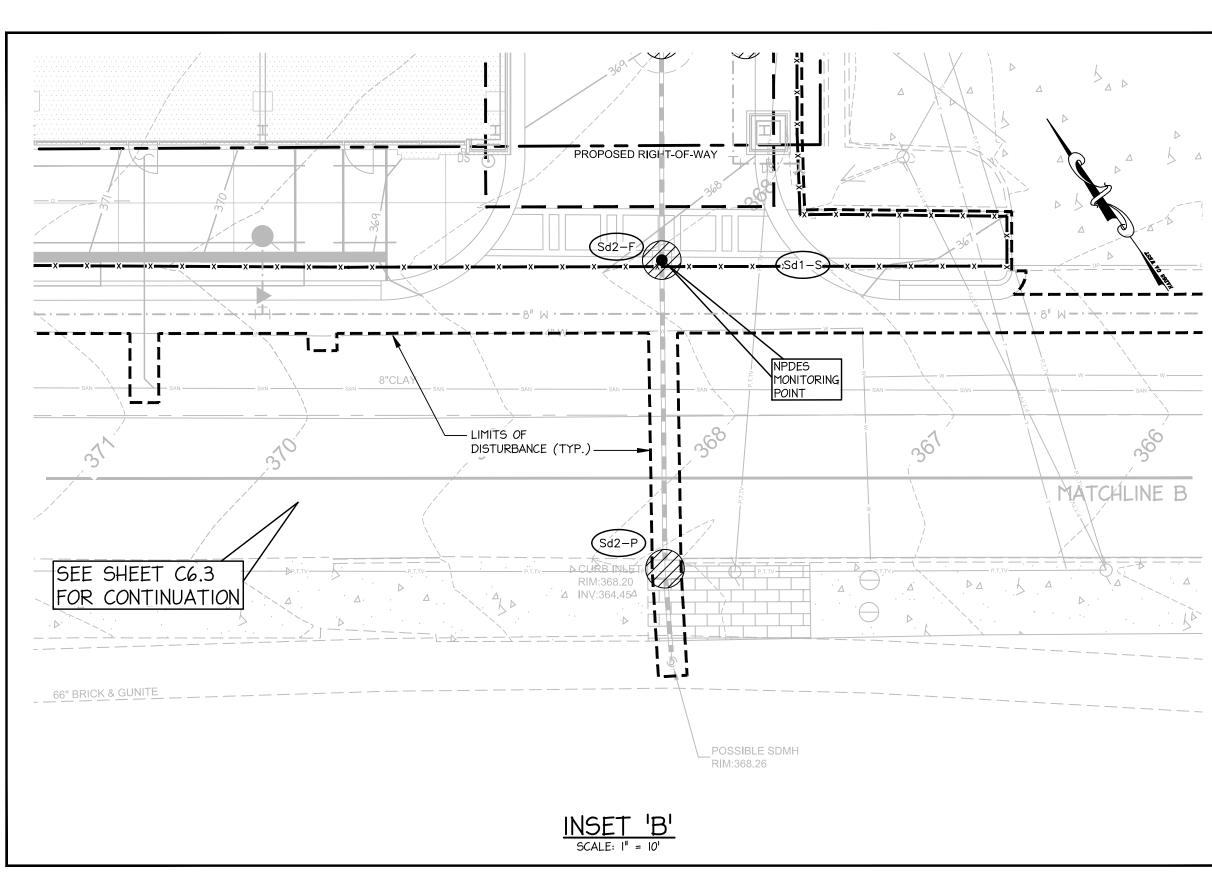
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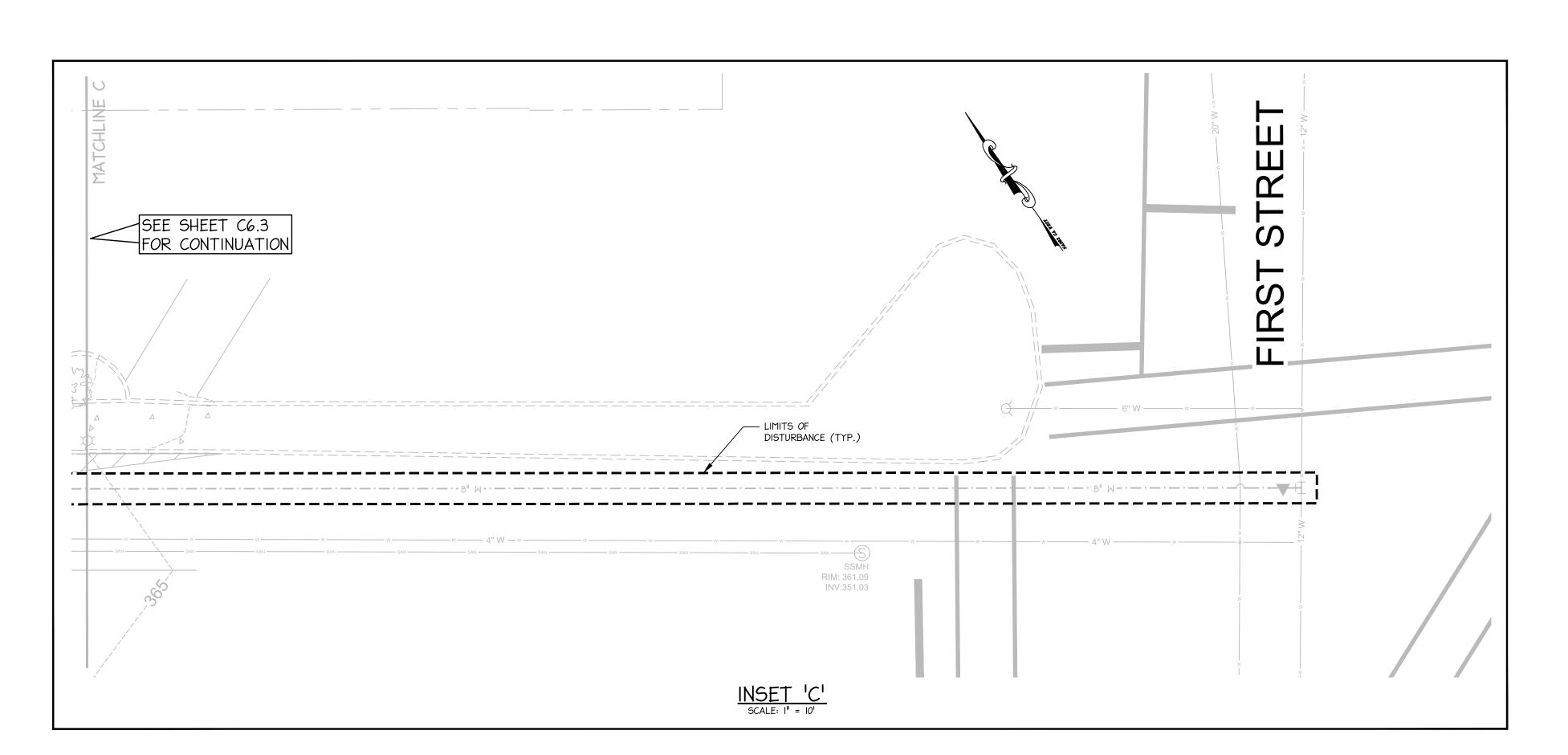
28 May 2019 Sheet Title
INITIAL STORMWATER

POLLUTION PREVENTION PLAN INSETS













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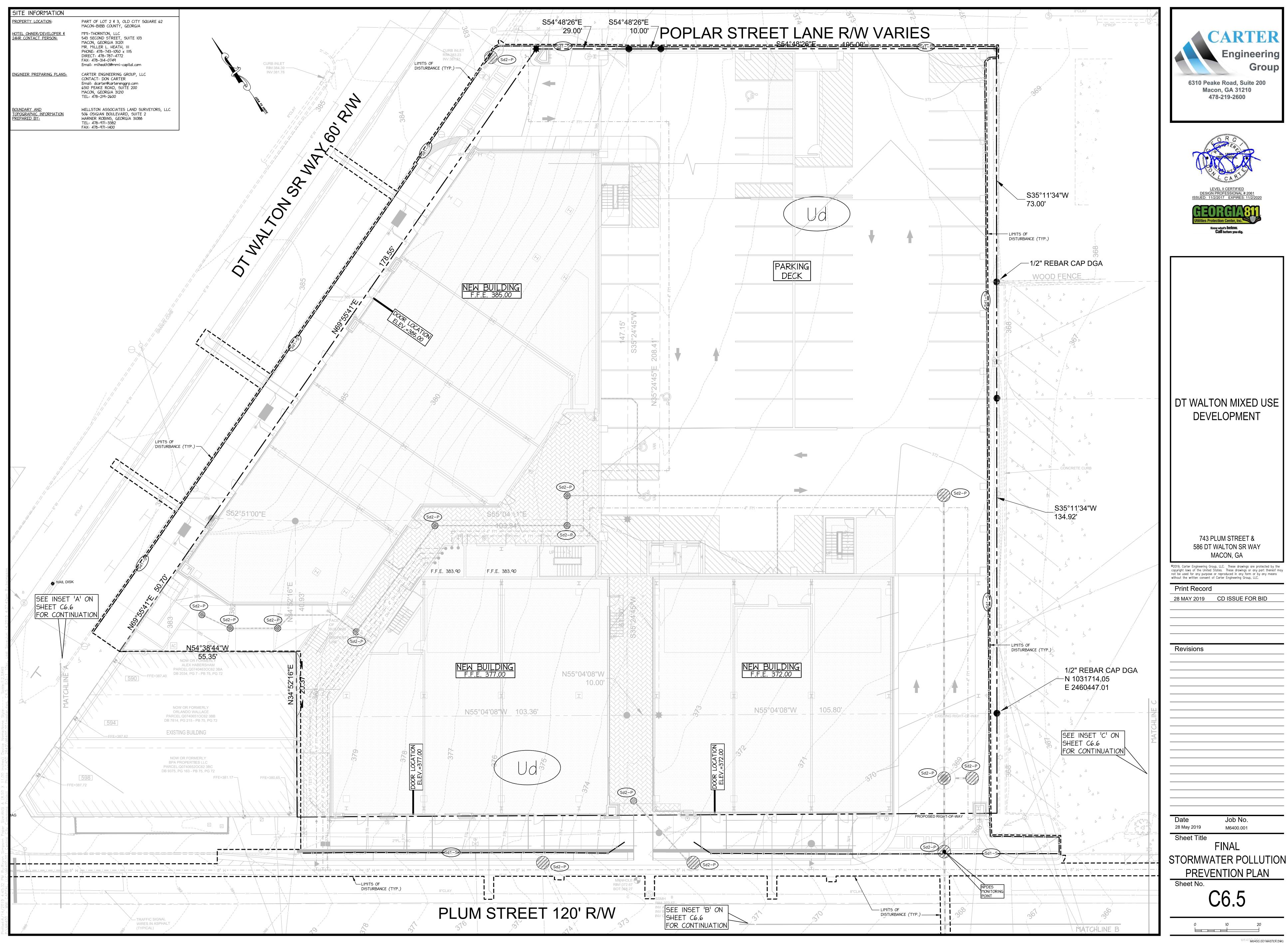
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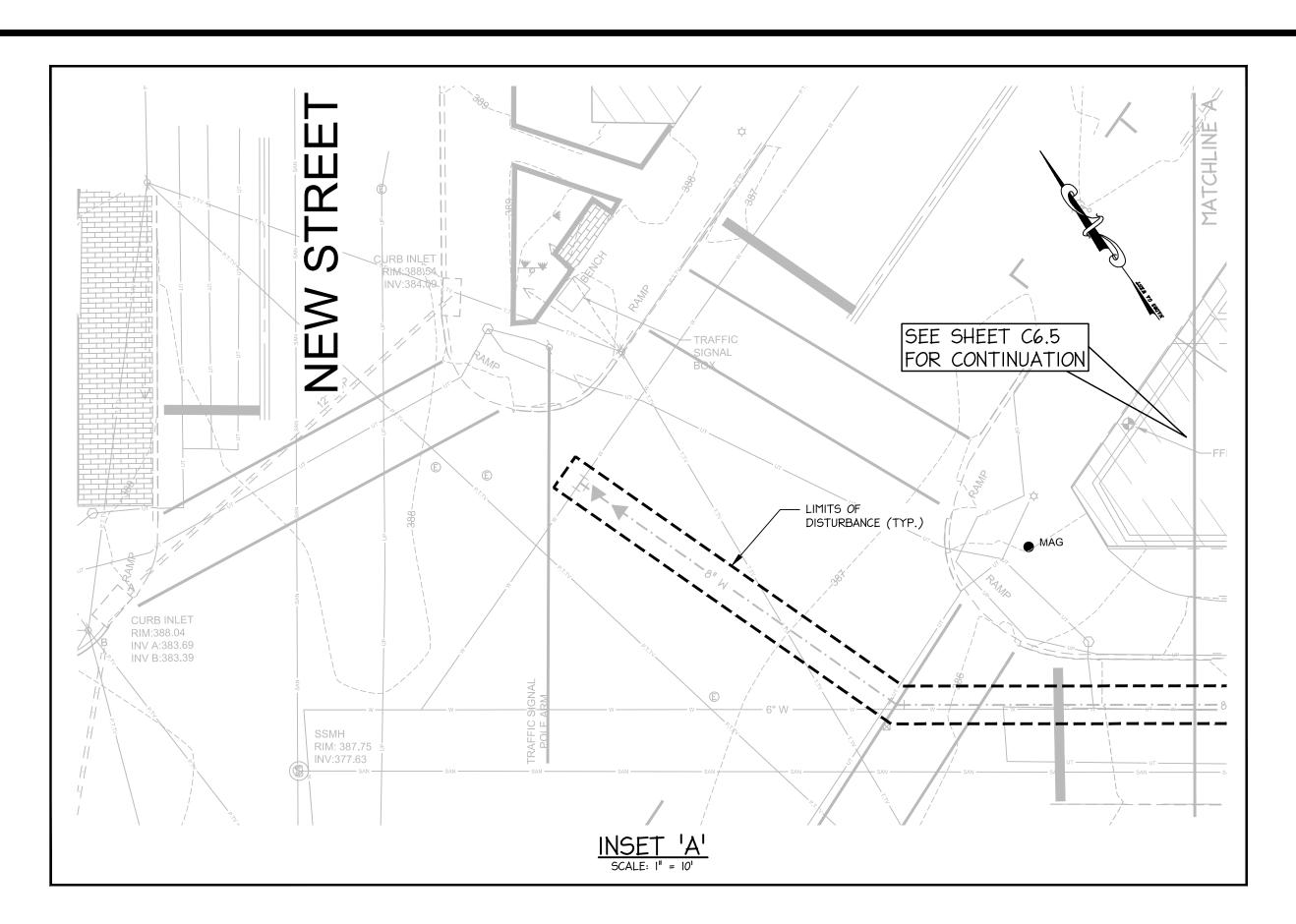
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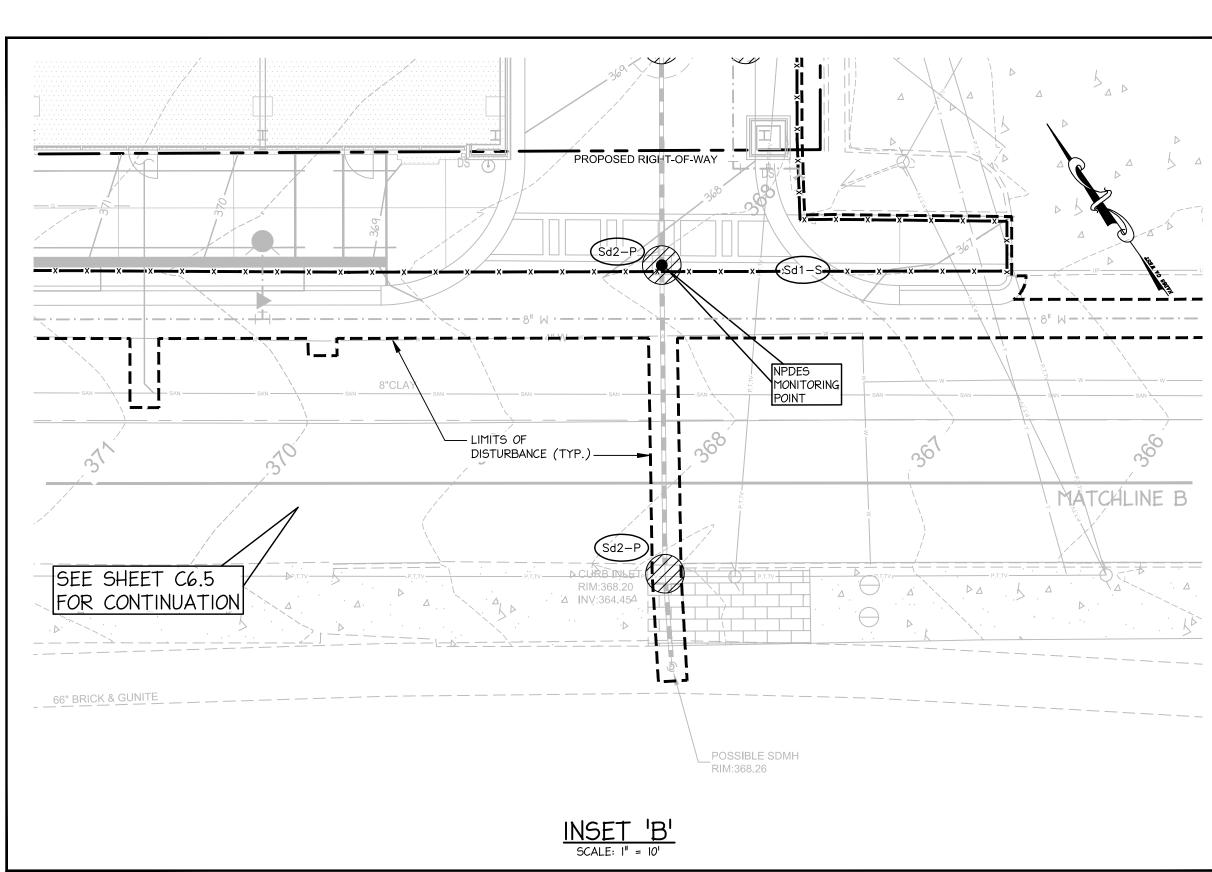
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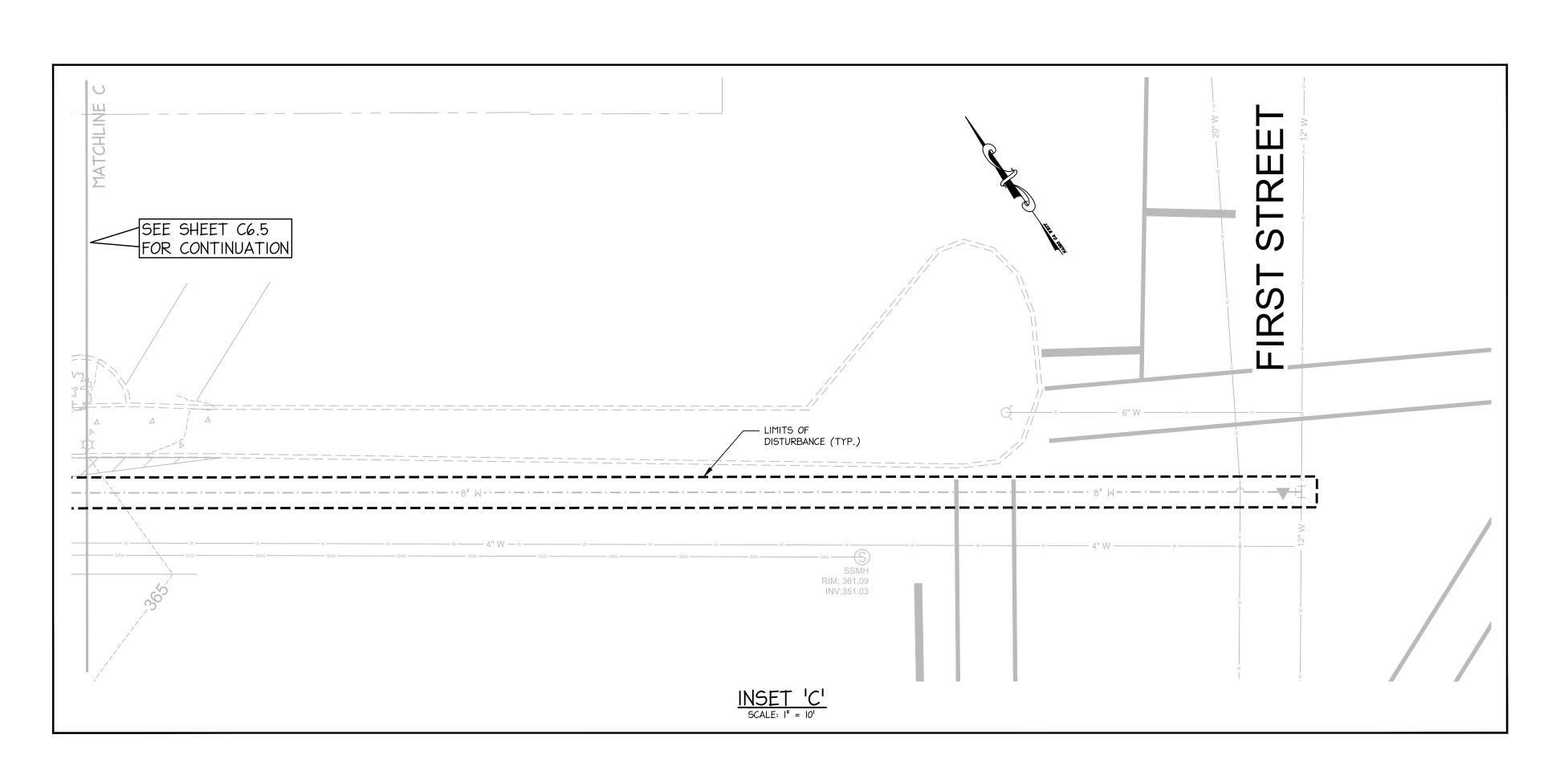
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Sheet Title
INTERMEDIATE STORMWATER POLLUTION PREVENTION PLAN INSETS
Sheet No.













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28 May 2019

Sheet Title
FINAL STORMWATER POLLUTION PREVENTION PLAN INSETS

COMPREHENSIVE MONITORING PROGRAM STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES **ENVIRONMENTAL PROTECTION DIVISION** NPDES STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES GENERAL PERMIT No. GAR100001

CONTRACTOR SHALL FILE ALL PAPERWORK FOR THE NOI AND SHALL BE THE PRIMARY PERMITTEE AS SUCH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NPDES TESTING AND MONITORING REQUIREMENTS STATED ON THE CONSTRUCTION DOCUMENTS AND WITHIN STATE OF GEORGIA GENERAL PERMIT NO. 100001. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION AND FILING OF NOTICE OF INTENT. NOTICE OF TERMINATION AND ALL OTHER REPORTING DOCUMENTS. ALL COSTS FOR TESTING, MONITORING, REPORTING, FEES AND FILING SHALL BE PAID BY THE CONTRACTOR.

THE CONTRACTOR SHALL SUBMIT (1) A COPY OF THE CHECK TO THE EPD, (2) THE NOI AND (3) THE APPROVED NPDES PLANS TO MACON-BIBB COUNTY FOR THEIR RECORDS.

FEE SCHEDULE

EPD PORTION: DISTURBED AREA x \$40/ACRE = 1.40 AC x \$40 = \$56.00 MACON-BIBB COUNTY PORTION: DISTURBED AREA x \$40/ACRE = 1.40 AC x \$40 = \$56.00

I. SITE / OWNER / OPERATOR INFORMATION

PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT PROJECT ADDRESS: PLUM STREET & DT WALTON, SR. WAY PART OF LOT 2 & 3, OLD CITY SQUARE 62 MACON. GEORGIA 31201

GPS LOCATION OF CONSTRUCTION EXIT 32.8355°N/83.6335°W

HOTEL OWNER/DEVELOPER: MMI-THORNTON, LLC 543 SECOND STREET, SUITE 103 MACON GEORGIA 31201

PHONE: 478-743-1050 x 1115 DIRECT: 478-787-4772 FAX: 478-314-0749

DIRECT: 478-787-4772

FAX: 478-314-0749

24HR CONTACT PERSON: MMI-THORNTON, LLC MR. MILLER HEATH, III 543 SECOND STREET SUITE 103 MACON, GEORGIA 31201 PHONE: 478-743-1050 x 1115

HE PERMITTEE'S COMPREHENSIVE MONITORING PROGRAM PROVIDES FOR THE MONITORING OF $\;\;\;$ THE RECEIVING WATER(S) OR THE MONITORING OF THE STORMWATER OUTFALLS AND IS EXPECTED TO MEET THE MONITORING REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT No. GAR 100001."

De 9 DON L. CARTER, P.E. LEVEL II CERTIFIED DESIGN PROFESSIONAL

THE FOLLOWING COMPREHENSIVE MONITORING PROGRAM HAS BEEN PREPARED BY A PROFESSIONAL LICENSED BY THE STATE OF GEORGIA IN THE FIELD OF ENGINEERING, ARCHITECTURE, LANDSCAPE

- ARCHITECTURE, FORESTRY, GEOLOGY, OR LAND SURVEYING. III. TOPOGRAPHIC INFORMATION FOR THIS PROJECT IS INCLUDED ON THE PLAN SHEETS.
- IV. NARRATIVE DESCRIPTION OF ALL RECEIVING WATERS, WITH LOCATIONS OF ALL SAMPLING LOCATIONS AND ONE MONITORING POINT WILL BE SAMPLED FOR THIS PROJECT. THE MONITORING POINT IS LOCATED AS MONITORING POINT No. 1: LOCATED IN AN EXISTING DROP INLET INSIDE THE PROPOSED PLUM STREET

THE APPROXIMATE LOCATION OF THE MONITORING POINT IS SHOWN ON THE PLANS.

V. SAMPLE ANALYSIS METHOD

APPENDIX B NTU VALUE: 75

CERTIFICATION NUMBER: 0000002061

ISSUED: 11/02/2014 EXPIRES: 11/02/2017

SAMPLE ANALYSIS SHALL BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136, THE GUIDANCE DOCUMENT TITLED "NPDES STORMWATER SAMPLING GUIDANCE DOCUMENT. EPA 833-B-92-001" AND OR ANY OTHER GUIDANCE DOCUMENTS THAT MAY BE

VI. THE NTU SELECTION IS MADE USING THE TABLES IN APPENDIX B OF THE GENERAL PERMIT AND THE INFORMATION USED IN THE NOI FOR THE SIZE AND THE SURFACE WATER DRAINAGE AREA.

NUMBER OF OUTFALLS: 1 SURFACE WATER DRAINAGE AREA: 0.002 SQUARE MILE SITE DISTURBED AREA: 140 ACRES

ENTRANCE, NEAR THE SOUTHEAST CORNER OF THE SITE.

	WARM WATER (SUPPORTING WARM WATER FISHERIES) SURFACE WATER DRAINAGE AREA, SQUARE MILES							
	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	75	150	200	400	750	750	750	750
10.01-25	50	100	100	200	300	500	750	750
25.01-50	50	50	100	100	200	300	750	750
50.01-100	50	50	50	100	100	150	300	600
100.01+	50	50	50	50	50	100	200	100

- RAINFALL INFORMATION SHALL BE LOGGED DAILY BY THE OPERATOR. THE RAINFALL DATA SHALL BE LOGGED AT THE SITE, NOT ANOTHER LOCATION
- ALL SAMPLES TAKEN SHALL BE GRAB SAMPLES. FOR THIS PROJECT, SAMPLES SHALL BE COLLECTED USING A MANUAL METHOD. SAMPLE CONTAINERS SHALL BE LABELED PRIOR TO COLLECTING THE SAMPLES. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. SAMPLES SHOULD BE TAKEN

IN A LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JAR. THE JAR SHOULD BE CLEANED

THOROUGHLY TO AVOID CONTAMINATION.

MANUAL SAMPLING SHALL BE UTILIZED. SAMPLES REQUIRED BY THE PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. SAMPLES ARE NOT REQUIRED TO BE COOLED. ALL SAMPLES TAKEN SHOULD BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATERS AND/OR THE STORMWATER OUTFALLS.

X. SAMPLING POINTS: SEE PARAGRAPH IV, ABOVE

XI. SAMPLING REQUIREMENTS

THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY

- A. SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING: 1. A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION. INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP. THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE
- FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP; 2. A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION:
- 3. WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE MONITORED, A RATIONALE MUST BE INCLUDED FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE. THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND
- 4. ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME
- LINE FOR SUBMITTAL. B. SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF FHESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TES PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.
- SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES

LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.

MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION HOWEVER SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.

SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

XI. SAMPLING REQUIREMENTS (continued)

C. SAMPLING POINTS.

- 1 FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S) OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:
- a. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
- b. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E. THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
- c. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).
- d. CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.
- e. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM. f. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
- g. PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION. STABILIZED SHALL MEAN. FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPE AREAS. OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A
- h. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4.., WHICHEVER IS APPLICABLE.

SEEDING TARGET CROP OF PERENNIALS APPROPRIATE FOR THE REGION.

SAMPLING FREQUENCY.

- 1. THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE
- 2. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.
- 3. SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING EVENTS:
- a. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS* AS DEFINED IN THIS PERMIT. AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;
- b. IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED BUT PRIOR TO SUBMITTAL OF A N.O.T. IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER
- 2. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE. IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED. INSTALLED AND MAINTAINED. CORRECTIVE ACTION SHALL BE DEFINED. AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED
- d. WHEN SAMPLING PURSUANT TO (a), (b) OR (c) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.a.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (a), (b) OR (c) ABOVE,
- e. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.
- *NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING AT ANY TIME OF THE DAY OR WEEK.

XII. INSPECTIONS

- A. SITE INSPECTIONS BY LICENSED PROFESSIONAL (SITE DESIGN ENGINEER) 1. FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF
 - THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND EPD HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL. TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPS HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.
- 2. THE PRIMARY PERMITTEE SHALL CORRECT ANY DEFICIENCIES IDENTIFIED BY THE LICENSED PROFESSIONAL WITHIN TWO BUSINESS DAYS OF INSPECTION AND AS NOTED IN WRITTEN INSPECTION
- 3. THE PRIMARY PERMITTEE SHALL CORRECT ANY DEFICIENCIES IDENTIFIED BY THE LICENSED PROFESSIONAL WITHIN TWO BUSINESS DAYS OF INSPECTION AND AS NOTED IN WRITTEN INSPECTION

B. PRIMARY PERMITTEE/OWNER/PRIMARY CONTRACTOR REQUIREMENTS

- 1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS
- 2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY. NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
- 3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY ORANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST):(A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- 4 CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S), EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING DRRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTE TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
- 5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING
- 6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION. SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT

SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

XIII. REPORTING

1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION. EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORMWATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A

- 2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS; THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND
- MEASUREMENTS c. THE DATE(S) ANALYSES WERE PERFORMED; THE TIME(S) ANALYSES WERE INITIATED.

NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

- THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES; REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL
- TECHNIQUES OR METHODS USED; g. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS; h. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT

CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

XIV. RETENTION OF RECORDS

- 1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD; b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS
- c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN
- ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT; d. A COPY OF ALL MONITORING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT; e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS

g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(1)(C) OF THIS PERMIT.

- f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
- 2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, REPORTS, PLANS, SAMPLING REPORTS, INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD. EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS. OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE

PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN

NOTIFICATION TO THE PERMITTEE.

ALL NOTICE OF INTENTS: NOTICE OF TERMINATIONS: CERTIFICATIONS: EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS; COMPREHENSIVE MONITORING PROGRAMS; REPORTS AND ANY OTHER INFORMATION SHALL BE SUBMITTED TO THE GEORGIA EPD ONLINE SYSTEM (GEOS) FOR PERMITTING, COMPLIANCE AND FACILITY INFORMATION.

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE CONSTRUCTION PROJECTS

SWCD: OCMULGEE PROJECT NAME: DT WALTON MIXED USE DEVELOPMENT ADDRESS: PLUM STREET & DT WALTON SR WAY CITY/COUNTY: MACON-BIBB DATE ON PLANS: 05/28/2019 NAME AND EMAIL OF PERSON FILLING OUT CHECKLIST: BRYAN SIMPSON bsimpson@carterenggrp.com

TO BE SHOWN ON ES&PC PLAN

PLAN INCLUDED THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED (THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THE ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED) ALL 2. LEVEL II CERTIFICATION NUMBER ISSUED BY THE COMMISSION, SIGNATURE AND SEAL OF THE CERTIFIED DESIGN PROFESSIONAL. (SIGNATURE. SEAL AND LEVEL II NUMBER MUST BE ON EACH SHEET PERTAINING TO ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED) LIMIT OF DISTURBANCE SHALL BE NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE EPD DISTRICT OFFICE. IF EPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME. THE PLAN MUST INCLUDE AT LEAST 4 OF THE BMPS LISTED IN APPENDIX 1 OF THIS CHECKLIST.* (A COPY OF THE WRITTEN APPROVAL BY EPD MUST BE ATTACHED TO THE PLAN FOR THE PLAN TO BE REVIEWED.) THE NAME AND PHONE NUMBER OF THE 24-HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS. PROVIDE THE NAME, ADDRESS AND PHONE NUMBER OF PRIMARY PERMITTEE. NOTE: SUCCESSFUL BIDDER (CONTRACTOR) SHALL BECOME PRIMARY PERMITTEE NOTE TOTAL AND DISTURBED ACREAGE OF THE PROJECT OR PHASE UNDER CONSTRUCTION. PROVIDE THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE. GIVE THE LATITUDE AND LONGITUDE IN DECIMAL DEGREES. INITIAL DATE OF THE PLAN AND THE DATES OF ANY REVISIONS MADE TO THE PLAN INCLUDING THE ENTITY WHO REQUESTED THE REVISIONS. DESCRIPTION OF THE NATURE OF CONSTRUCTION ACTIVITY. C6.1-C6.6 10. PROVIDE VICINITY MAP SHOWING SITE'S RELATION TO SURROUNDING AREAS. INCLUDE DESIGNATION OF SPECIFIC PHASE, IF NECESSARY. IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, ETC. WHICH MAY BE AFFECTED. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE SITE WAS VISITED PRIOR TO DEVELOPMENT OF THE ES&PC PLAN AS STATED ON PAGE 15 OF THE PERMIT. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE PERMITTEE'S ES&PC PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BMPS AND SAMPLING TO MEET PERMIT REQUIREMENTS AS STATED ON PAGE 15 OF THE C6.8 14. CLEARLY NOTE THE STATEMENT THAT "THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION."* C6.8 15. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS. N/A 16. PROVIDE A DESCRIPTION OF ANY BUFFER ENCROACHMENTS AND INDICATE WHETHER A BUFFER VARIANCE IS REQUIRED. C6.8 17. CLEARLY NOTE THE STATEMENT THAT "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."* C6.8 18. CLEARLY NOTE THE STATEMENT THAT "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A C6.8 19. CLEARLY NOTE STATEMENT THAT "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES." C6.8 20. CLEARLY NOTE STATEMENT THAT "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE." C6.8 21. CLEARLY NOTE THE STATEMENT "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING." N/A 22. ANY CONSTRUCTION ACTIVITY WHICH DISCHARGES STORM WATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT MUST COMPLY WITH PART III. C. OF THE PERMIT. INCLUDE THE COMPLETED APPENDIX 1 LISTING ALL THE BMPS THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT.* N/A 23. IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 21 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOI, THE ES PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN.* (SEE PROJECT RECEIVING WATERS NOTE ON C6.8) C6.8 24. BMPS FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED * C6.8 25. PROVIDE BMPS FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS C6.8 26. DESCRIPTION OF THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.* C6.1-C6.9 27. DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE.* C6.8 28. DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES.* C6.7 29. DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR THE MAJOR PORTIONS OF THE SITE (I.E., INITIAL PERIMETER AND SEDIMENT STORAGE BMPS, CLEARING AND GRUBBING ACTIVITIES, EXCAVATION ACTIVITIES, UTILITY ACTIVITIES, TEMPORARY AND FINAL STABILIZATION). C6.7 30. PROVIDE COMPLETE REQUIREMENTS OF INSPECTIONS AND RECORD KEEPING BY THE PRIMARY PERMITTEE.* C6.7 31. PROVIDE COMPLETE REQUIREMENTS OF SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS.* C6.7 32. PROVIDE COMPLETE DETAILS FOR RETENTION OF RECORDS AS PER PART IV.F. OF THE PERMIT. C6.7 33. DESCRIPTION OF ANALYTICAL METHODS TO BE USED TO COLLECT AND ANALYZE THE SAMPLES FROM EACH LOCATION.* C6.7 34. APPENDIX B RATIONALE FOR NTU VALUES AT ALL OUTFALL SAMPLING POINTS WHERE APPLICABLE.* C6.1-C6.6 35. DELINEATE ALL SAMPLING LOCATIONS, PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS C6.1-C6.9 36. A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS, (2) INTERMEDIATE GRADING AND DRAINAGE BMPS, AND (3) FINAL BMPS. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL PERIMETER CONTROL BMPS, INTERMEDIATE GRADING AND DRAINAGE BMPS, AND FINAL BMPS ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMPS INTO A SINGLE PHASE C3.1-C3.2 37. GRAPHIC SCALE AND NORTH ARROW. [C3.1-C3.2] 38. EXISTING AND PROPOSED CONTOUR LINES WITH CONTOUR LINES DRAWN AT AN INTERVAL IN ACCORDANCE WITH THE FOLLOWING: MAP SCALE GROUND SLOPE CONTOUR INTERVALS, FT. 1 INCH=100FT OR | FLAT 0-2% LARGER SCALE | ROLLING 2-8% 2.5 OR 10 STEEP 8%+ N/A 39. USE OF ALTERNATIVE BMPS WHOSE PERFORMANCE HAS BEEN DOCUMENTED TO BE EQUIVALENT TO OR SUPERIOR TO CONVENTIONAL BMPS AS CERTIFIED BY A DESIGN PROFESSIONAL (UNLESS DISAPPROVED BY EPD OR THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION). PLEASE REFER TO THE ALTERNATIVE BMP GUIDANCE DOCUMENT FOUND AT WWW.GASWCC.ORG. N/A 40. USE OF ALTERNATIVE BMP FOR APPLICATION TO THE EQUIVALENT BMP LIST. PLEASE REFER TO APPENDIX A-2 OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA 2016 EDITION Print Record N/A 41. DELINEATION OF THE APPLICABLE 25-FOOT OR 50-FOOT UNDISTURBED BUFFERS ADJACENT TO STATE WATERS AND ANY ADDITIONAL BUFFERS REQUIRED BY THE LOCAL ISSUING AUTHORITY. CLEARLY NOTE AND DELINEATE ALL AREAS OF IMPACT. N/A 42. DELINEATION OF ON-SITE WETLANDS AND ALL STATE WATERS LOCATED ON AND WITHIN 200 FEET OF THE PROJECT SITE. HYDRO 43. DELINEATION AND ACREAGE OF CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE. HYDRO 44. PROVIDE HYDROLOGY STUDY AND MAPS OF DRAINAGE BASINS FOR BOTH THE PRE- AND POST-DEVELOPED CONDITIONS. HYDRO 45. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO AND AFTER CONSTRUCTION ACTIVITIES ARE C6.1-C6.6, C6.8 46. STORM-DRAIN PIPE AND WEIR VELOCITIES WITH APPROPRIATE OUTLET PROTECTION TO ACCOMMODATE DISCHARGES WITHOUT EROSION. IDENTIFY/DELINEATE ALL STORM WATER DISCHARGE POINTS. C6.1-C6.6, C6.8 47. SOIL SERIES FOR THE PROJECT SITE AND THEIR DELINEATION. C6.1-C6.6 48. THE LIMITS OF DISTURBANCE FOR EACH PHASE OF CONSTRUCTION. C6.1-C6.6, C6.9 49. PROVIDE A MINIMUM OF 67 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE DRAINED USING A TEMPORARY SEDIMENT BASIN, RETROFITTED DETENTION POND, AND/OR EXCAVATED INLET SEDIMENT TRAPS FOR EACH COMMON DRAINAGE LOCATION. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED. A WRITTEN JUSTIFICATION EXPLAINING THE DECISION TO USE EQUIVALENT CONTROLS. WHEN A SEDIMENT BASIN IS NOT ATTAINABLE MUST BE INCLUDED IN THE PLAN FOR EACH COMMON DRAINAGE LOCATION IN WHICH A SEDIMENT BASIN IS NOT PROVIDED. A WRITTEN JUSTIFICATION AS TO WHY 67 CUBIC YARDS OF STORAGE IS NOT ATTAINABLE MUST ALSO BE GIVEN. WORKSHEETS FROM THE MANUAL MUST BE INCLUDED FOR STRUCTURAL BMPS AND ALL CALCULATIONS USED BY THE DESIGN PROFESSIONAL TO OBTAIN THE REQUIRED SEDIMENT STORAGE WHEN USING EQUIVALENT CONTROLS. WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. C6.1-C6.9 50. LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. USE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6, WITH LEGEND. C6.9 51. PROVIDE DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES. SPECIFICATIONS MUST, AT A MINIMUM, MEET THE GUIDELINES SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. C6.8 52. PROVIDE VEGETATIVE PLAN, NOTING ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES. INCLUDE SPECIES, PLANTING DATES AND SEEDING, FERTILIZER, LIME AND MULCHING RATES. VEGETATIVE PLAN SHALL BE SITE SPECIFIC FOR APPROPRIATE TIME OF YEAR THAT SEEDING WILL TAKE PLACE AND FOR THE APPROPRIATE GEOGRAPHIC REGION OF GEORGIA. *IF USING THIS CHECKLIST FOR A PROJECT THAT IS LESS THAN 1 ACRE AND NOT PART OF A COMMON DEVELOPMENT BUT WITHIN 200 FT OF A PERENNIAL STREAM THE * CHECKLIST ITEMS WOULD BE N/A. EFFECTIVE: JANUARY 1, 2019



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743 PLUM STREET &

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28 MAY 2019 CD ISSUE FOR BID

Revisions

28 May 2019 M6400.001

Sheet Title NPDES COMPREHENSIVE

(THE CONTRACTOR WILL SIGN THESE DRAWINGS AS THE PRIMARY PERMITTEE AT SAME TIME N.P.D.E.S. NOTICE OF INTENT IS FILED.)

CERTIFICATION STATEMENTS:

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS! DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION." "I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA." (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001." "I UNDERSTAND THAT AS THE PLAN PREPARER, RETAINED BY THE PRIMARY PERMITTEE, I MUST VISIT THE SITE WITHIN 7 DAYS AFTER INSTALLATION ONCE THE CONSTRUCTION ACTIVITIES COMMENCE, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S."

REGULATIONS REGARDING DEVELOPMENT ACTIVITIES ADJACENT TO FLOODPLAINS, STATE WATERS AND WETLANDS AND HAVE DETERMINED THAT THIS DEVELOPMENT PLAN SATISFIES THE STANDARDS PRESENTED IN ALL APPLICABLE REGULATIONS."

"THE OWNER/DEVELOPER AND ENGINEER HAVE REVIEWED THE APPROPRIATE LOCAL, STATE AND FEDERAL

"I CERTIFY THAT GEORGIA'S 2018 305(b)/303(d) LIST DOCUMENTS HAVE BEEN CONSULTED TO DETERMINE IF SITE DISCHARGES TO AN IMPAIRED STREAM SEGMENT OR WITHIN 1 MILE UPSTREAM OF A BIOTA IMPAIRED

DON L. CARTER, P.E. LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER: 0000002061 ISSUED: 11/2/2014 EXPIRES: 11/2/2017

MAINTENANCE STATEMENT:

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THI APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

14 DAY DISTURBANCE NOTE:

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

EROSION CONTROL NOTE: THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

FLOODPLAIN NOTE:

NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A FLOOD ZONE AREA, AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP 13021C0134G, DATED JUNE 7, 2017, FOR MACON BIBB COUNTY, GEORGIA NO DISTURBANCE OF THE FLOODPLAIN IS ANTICIPATED.

THE PROPOSED BUILDING IS NOT LOCATED IN A 100-YEAR 0R 500-YEAR FLOOD ZONE AREA.

NO JURISDICTIONAL WETLANDS ARE LOCATED ON OR WITHIN 200 FEET OF THE PROJECT AREA.

STATE WATERS NOTE:

ALL STATE WATERS AND STATE WATERS BUFFERS LOCATED ON OR WITHIN 200 FEET OF THE PROJECT AREA HAVE BEEN DELINEATED AND SHOWN ON THE CONSTRUCTION PLANS.

STATE WATERS BUFFER REQUIREMENTS:

-ALL STATE WATERS BUFFERS AND UNDISTURBED BUFFERS SHALL BE FIELD LOCATED, STAKED AND FLAGGED OR MARKED WITH "TENZAL" OR SIMILAR TYPE FENCING AND SHALL BE SUBMITTED TO MACON-BIBB COUNTY FOR APPROVAL PRIOR TO GRADING.

-EXISTING VEGETATION SHALL BE PRESERVED WITHIN ALL BUFFER AREAS.

-ANY CONTEMPLATED DISTURBANCES SHALL FIRST BE BROUGHT TO THE ATTENTION OF THE MACON-BIBB COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT AND FORMAL APPROVAL SECURED PRIOR TO INITIATING ACTIVITY WITHIN THE REQUIRED BUFFER AREAS.

-NO BUFFER ENCROACHMENTS OR BUFFER VARIANCES ARE NECESSARY FOR THIS PROJECT. -NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

PROJECT RECEIVING WATERS:

TORMWATER DISCHARGE FROM THIS PROJECT SITE FLOWS INTO THE OCMULGEE RIVER (R030701031617). THIS WATERWAY IS LISTED IN THE 2018 INTEGRATED 305(b)/(303)d LIST OF WATERWAYS AS SUPPORTING

ADJACENT PROPERTIES:

ADJACENT PROPERTIES INCLUDE EXISTING COMMERCIAL BUILDINGS TO SOUTHWEST AND TO THE EAST. PLUM STREET IS LOCATED TO THE SOUTH, AND POPLAR STREET LANE IS LOCATED TO THE NORTH. DT WALTON SR. WAY IS LOCATED TO THE WEST.

EROSION NOTES: EXISTING LAND USE: THE SITE CURRENTLY CONTAINS EXISTING ASPHALT PARKING LOTS.

PROPOSED PROJECT: THE PROJECT INCLUDES THE CONSTRUCTION OF TWO MIXED-USE BUILDINGS AND AN ASSOCIATED PARKING DECK. THE MIXED-USE BUILDINGS WILL CONTAIN COMMERCIAL RETAIL

& 24-HOUR CONTACT:

MMI-THORNTON, LLC MR MILLER HEATH III 543 SECOND STREET, SUITE 103 MACON, GEORGIA 31201 PHONE: 478-743-1050 x 1115 DIRECT: 478-787-4772 FAX: 478-314-0749

SPACE ON THE FIRST FLOOR, WITH APARTMENTS ABOVE.

PROJECT ACREAGE: ±1.163 ACRES

DISTURBED AREA: 1.40 ACRES

EFFECTS TO DOWNSTREAM PROPERTIES

CRITICAL AREAS ONSITE: POTENTIAL ONSITE EROSION AND SEDIMENT PROBLEMS INCLUDE FILL SLOPES AND STORMWATER DISCHARGE FROM STORM SEWERS. SEDIMENT BARRIER SILT FENCING WILL BE PLACED ALONG THE PERIMETER OF THE SITE AT CRITICAL LOCATIONS. BERMS, SWALES AND DIVERSION DITCHES WILL BE EMPLOYED TO PREVENT RUNOFF FROM WASHING OVER SLOPES. RIP RAP STONE AND RIP RAP SEDIMENT BARRIERS WILL BE USED AT STORM DRAIN OUTLETS AND ALONG DITCHES. A FLOATING SKIMMER WILL BE UTILIZED TO PREVENT SILT FROM BEING DISCHARGED FROM THE SEDIMENT/DETENTION BASINS. CONSTRUCTION ACTIVITIES AT THIS SITE SHOULD HAVE NO ADVERSE

AMENDMENTS / REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP's WITH A

HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION:

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

CERTIFICATION #

GSWCC LEVEL II DESIGN PROFESSIONAL INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN:

THESE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED. THE DESIGN PROFESSIONAL WHO PREPARED THE ES & PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER

INITIAL PHASE EROSION CONTROL NOTES:

CONTROL BMP's WITHIN 7 DAYS AFTER INSTALLATION.

DON L. CARTER, P.E.

PHASE EROSION CONTROL PLAN

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND AREA STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN MANAGEABLE QUANTITIES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. MMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXITS, ALL PERIMETER EROSION CONTROL AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING

TYPE "S" SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-20.2. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES ½ HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE

SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITY SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF SAID EROSION CONTROL

MEASURES. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTION. AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH

CLEARING AND GRUBBING ACTIVITIES. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT PONDS AND DIVERSION DIKES AS SHOWN ON THE PLAN TO CONTROL EROSION AND STORMWATER RUNOFF. THE CONTRACTOR CAN UTILIZE MULCHED CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURN PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND THE GOVERNING AUTHORITIES. IF BURNING IS NOT PERMITTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL WASTE MATERIALS AND MATERIALS FROM CLEARING AND GRUBBING OPERATIONS.

NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND SEDIMENT PONDS ARE CONSTRUCTED AS SHOWN ON THE INITIAL PHASE EROSION CONTROL PLAN. NO BURY PITS SHALL BE PERMITTED ON SITE.

INTERMEDIATE PHASE EROSION CONTROL NOTES:

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID ENCROACHMENT INTO THE BUFFER AREAS.

AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL

CUT AND FILL SLOPES ARE NOT TO EXCEED "2.5H:IV"

ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

TYPE "NS" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION ON TYPE OF INLET PROTECTION SPECIFIED.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED AND STABILIZED SO IT WILL NOT ENTER THE INLETS. STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION. ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

FINAL PHASE EROSION CONTROL NOTES:

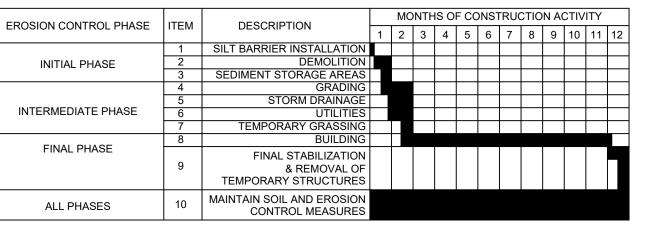
THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE HALF WAY POINT ON THE RISER.

AFTER CURBING, GRADED AGGREGATE BASE, AND PAVEMENT HAS BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON CATCH BASINS AND CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER INLET PROTECTION. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL ROADWAY SHOULDERS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.

UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCING, MULCH BARRIERS, TEMPORARY PIPING AND STRUCTURES. CONSTRUCTION EXIT PADS, TEMPORARY SEDIMENT TRAPS, ETC.) AND DISPOSE OF THEM UNLESS OTHERWISE NOTED ON PLANS.

> APPROX. STARTING DATE: 07/01/2019 APPROX. COMPLETION DATE: 06/30/2020



NOTES: STARTING & COMPLETION DATES ARE APPROXIMATE AND ARE NOT INTENDED TO BE CONTRACTUAL. THE INSTALLATION OF SOIL EROSION CONTROL MEASURES & PRACTICES SHALL BE INSTALLED PRIOR TO LAND-DISTURBING

NAME	SYMBOL	DEPTH FROM SURFACE (inches)	USDA TEXTURE	PERMEABILITY (in./hr.)	AVAIL. WATE CAPACITY (in./in. of soil)
URBAN DEVELOPMENT	Ud		PREVIOUSLY DISTURBED SOILS		

EROSION & SEDIMENTATION, & POLLUTION CONTROL NOTES:

SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. AND LOCAL AND STATE REQUIREMENTS AND SPECIFICATIONS MUST MEET, AT A MINIMUM, GUIDELINES SET FORTH IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA." FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES CAN RESULT IN CONSTRUCTION BEING HALTED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE

AS DIRECTED BY THE ON SITE INSPECTOR OR THE CIVIL ENGINEER. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE, CERTIFIED PERSONNEL SHAL INSPECT (A) ALL AREAS WHERE PETROLEUM PRODUCTS ARE STORED, USED OR HANDLED AND (B) ALL

LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A SITE INSPECTION SHALL BE CONDUCTED WITHIN 24 HOURS OF THE END OF ANY RAINFALL EVENT THAT IS GREATER THAN OR EQUAL TO 0.5-IN., AND AT LEAST, EVERY SEVEN (7) DAYS. EACH DEVICE IS TO BE

MAINTAINED OF REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ON HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

ANY DEFICIENCIES IDENTIFIED DURING THE INSPECTION OF BMP's SHALL BE CORRECTED WITHIN SEVEN (7) DAYS OF THE INSPECTION.

FACH DAY THERE IS A FAILURE TO PROPERLY INSTALL AND MAINTAIN ES&PC BMP's CONSTITUTES A

VIOLATION OF THE NPDES PERMIT. A VIOLATION OF THE TURBIDITY LIMITS FOR RECEIVING STREAMS DEFINED BY THE NPDES PERMIT SHALL CONSTITUTE A SECOND VIOLATION OF THE PERMIT. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE

THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES AND EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. THE LOCATION OF CERTAIN EROSION CONTROL DEVICES MAY REQUIRE ALTERING FROM THE LOCATIONS SHOWN ON THE DRAWING IF DRAINAGE PATTERNS DURING CONSTRUCTION DIFFER FROM THE FINAL GRADING PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. AT ALL TIMES, 67 CUBIC YARDS OF SEDIMENT STORAGE MUST BE AVAILABLE FOR EACH

ACRE OF DISTURBED LAND. - ALL B.M.P. DEVICES, PRACTICES, AND MATERIALS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND EFFECTS OF A MINIMUM 25-YEAR STORM EVENT. - DIVERSION DITCHES, BERMS AND TEMPORARY DOWN DRAINS SHALL BE USED DURING GRADING OPERATIONS TO PROVIDE SEDIMENT CONTROL FOR DISTURBED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF THESE MEASURES DURING THE VARIOUS PHASES OF GRADING. THESE MEASURES MAY OR MAY NOT BE INDICATED ON THE DRAWINGS. SILT MATERIALS SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE HALF THE

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 300 FEET OF DESIGNATED TREE PROTECTION AREAS.

SEDIMENT BARRIERS SHALL MEET D.O.T. STANDARDS AND SPECIFICATIONS AND SHALL BE INSTALLED AS DETAILED ON THE DRAWINGS. CONSTRUCT CONSTRUCTION EXITS AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. EXIT SHALI

BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:

D448 SIZE #1 (1.5 TO 3.5 INCH STONE). STONE SHALL BE UNDERLAYED WITH GEOTEXTILE PAD WIDTH: AT AT MINIMUM, SHOULD EQUAL FULL WIDTH OF ALL POINTS OF VEHICULAR EGRESS, BUT NOT LESS THAN 20 FEET WIDE AND 50 FEET LONG. WASHING: WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE PERFORMED ON AN AREA STABILIZED WITH CRUSHED

GREGATE SIZE: WILL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION ASTM

STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. MAINTENANCE: THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT RACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED BY CONTRACTOR IF DEEMED NECESSARY BY ON-SITE INSPECTION.

ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATION FOR THIS PROJECT SHALL CONSIST OF HE FOLLOWING: THE GROUND PREPARATION, SEEDING, MULCHING AND HYDROSEEDING OF ALL DISTURBED AREAS IN THE PROJECT AREA IN ACCORDANCE WITH THE FOLLOWING SCHEDULE. GROUND PREPARATION SEEDING, MULCHING AND HYDROSEEDING METHODS SHALL CONFORM TO THE SPECIFICATIONS.

ALL EXPOSED AREAS BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE MULCHING ALONE: MULCHING ALONE CAN BE USED ON ROUGH GRADED AREAS FOR UP TO SIX MONTHS IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH. ANCHORED, AND MAINTAIN A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. SEE MULCHING TABLE. FEMPORARY SEEDING: SHALL BE USED ON AREAS THAT WILL BE UNDISTURBED FOR LESS THAN SIX MONTHS. SEE GRASSING TABLE.

PERMANENT VEGETATION: SHALL BE USED ON AREAS THAT ARE AT FINAL GRADE OR ON AREAS THAT WILL BE UNDISTURBED FOR MORE THAN SIX MONTHS. SEE GRASSING TABLE AND MULCHING SCHEDULE. EROSION CONTROL BLANKETS OR SODDING SHALL BE USED ON (1) ALL SLOPES STEEPER THAN 2 1/2:1

CUTS AND FILLS ADJACENT TO STATE WATERS. REFER TO DRAWINGS FOR AREAS REQUIRING THESE 5. CONTRACTOR SHALL MAINTAIN ON PROJECT SITE DIRECTIONS FOR NECESSARY ACTIONS SHOULD ANY FUEL OR HAZARDOUS CHEMICAL SPILL OCCUR AT THE PROJECT SITE OR DURING

TRANSPORTATION OPERATIONS TO OR FROM THE PROJECT SITE.

AND GREATER THAN OR EQUAL TO 10 FEET IN HEIGHT, (2) ALL CONCENTRATED FLOW AREAS, AND (3)

CONTRACTOR SHALL EMPLOY APPROPRIATE MEASURES TO CONTROL DUST WITH THE UNDERSTANDING WATER USE RESTRICTIONS COULD BE IMPOSED DURING SOME OR ALL PHASES OF CONSTRUCTION.

PREPARATION OF ES&PC PLAN AND ACTIVITIES OF CONTRACTOR SHALL BE IN COMPLIANCE WITH WASTE DISPOSAL. SANITARY SEWER. OR SEPTIC TANK REGULATIONS. TEMPORARY MEASURES SUCH AS SILT FENCING SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR ONCE THE AREA DRAINING TO THE BMP HAS REACHED FINAL STABILIZATION. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT FOR

UNIFORMLY COVERED IN PERMANENT VEGETATION OR THAT EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS RIP RAP, GABIONS, PERMANENT MULCHES, OR GEOTEXTILES) HAVE BEEN PERMANENT CONTROL STRUCTURES SHALL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF 1

UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, THE SOIL SURFACE IS

YEAR FOLLOWING ACCEPTANCE OF THE PROJECT. . A COPY OF THE LDA PERMIT, APPROVED ES&PC PLAN, AND ALL REQUIRED NPDES DOCUMENTATION SHALI BE PRESENT ON THE SITE UNTIL A NOTICE OF TERMINATION IS FILED.

PIEDMONT VEGETATIVE COVERS						
MONTH	TEMPORARY SEED	TEMP RATE/ACRE	PERMANENT SEED (LANDSCAPES/SHOULDERS)	PERM. RATE/ACRE	PERMANENT SEED (SLOPES 2:1 AND STEEPER)	PERM. RATE/ACRE
JANUARY	ANNUAL RYEGRASS	40 LB.	UNHULLED BERMUDA	40 LB.	SERICEA LESPEDEZA	75 LB.
FEBRUARY	ANNUAL RYEGRASS	40 LB.	UNHULLED BERMUDA	40 LB.	SERICEA LESPEDEZA	75 LB.
MARCH	ANNUAL RYEGRASS	40 LB.	HULLED BERMUDA	40 LB.	SERICEA LESPEDEZA & WEEPING LOVEGRASS	75 LB. 4 LB.
APRIL	BROWN TOP MILLET	40 LB.	HULLED BERMUDA	40 LB.	SERICEA LESPEDEZA & WEEPING LOVEGRASS	75 LB. 4 LB.
MAY	BROWN TOP MILLET	40 LB.	HULLED BERMUDA	40 LB.	SERICEA LESPEDEZA & WEEPING LOVEGRASS	75 LB. 4 LB.
JUNE	BROWN TOP MILLET	40 LB.	HULLED BERMUDA	40 LB.	SERICEA LESPEDEZA & WEEPING LOVEGRASS	75 LB. 4 LB.
JULY	BROWN TOP MILLET	40 LB.			SERICEA LESPEDEZA	75 LB.
AUGUST	ANNUAL RYEGRASS	40 LB.			SERICEA LESPEDEZA	75 LB.
SEPTEMBER	ANNUAL RYEGRASS	40 LB.			SERICEA LESPEDEZA	75 LB.
OCTOBER	ANNUAL RYEGRASS	40 LB.	UNHULLED BERMUDA	40 LB.	SERICEA LESPEDEZA	75 LB.
NOVEMBER	ANNUAL RYEGRASS	40 LB.	UNHULLED BERMUDA	40 LB.	SERICEA LESPEDEZA	75 LB.
DECEMBER	ANNUAL RYEGRASS	40 LB.	UNHULLED BERMUDA	40 LB.	SERICEA LESPEDEZA	75 LB.

TEMPORARY VEGETATION/ MULCHING - DS2 LIME: APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE

<u>FERTILIZER:</u> APPLY 10-10-10 FERTILIZER AT A RATE OF 500 LBS PER ACRE.

MULCHING RATES: FOR TEMPORARY VEGETATION 1 - DRY STRAW: 2 TONS PER ACRE

2 - DRY HAY: 2.5 TONS PER ACRE 3 - WOOD CELLULOSE MULCH OR WOOD PULP FIBER: 500 LBS PER ACRE

PERMANENT VEGETATION/ MULCHING - DS3 LIME: APPLY AGRICULTURAL LIME AT A RATE OF ONE TO TWO TONS PER ACRE AS RECOMMENDED BY SOIL TESTS.

FERTILIZER: APPLY 6-12-12 FERTILIZER AT A RATE OF 1500 LBS PER ACRE.

MULCHING RATES: FOR PERMANENT VEGETATION 1 - DRY STRAW: 2 TONS PER ACRE

' - DRY HAY: 2.5 TONS PER ACRE 3 - WOOD CELLULOSE MULCH OR WOOD PULP FIBER: 500 LBS PER ACRE

NOTE: PERMANENT VEGETATION INDICATED ABOVE IS REQUIRED FOR ALL DISTURBED AREAS OF THE SITE EXCEPT: 2 - SPORTS FIELDS WHICH ARE TO BE PERMANENTLY SEEDED WITH PRINCESS-77 BERMUDA 80 LBS./ACRE (SEE SPECS.)

POLYACRYLAMIDE - PM

CONTRACTOR SHALL INCORPORATE USE OF POLYACRYLAMIDE WITH ALL TEMPORARY AND PERMANENT GRASSING FOR AREAS THAT HAVE NOT BEEN STABILIZED WITH TEMPORARY OR PERMANENT COVER WITHIN 7 DAYS OF INITIAL DISTURBANCE ANIONIC PAM APPLICATION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, RULES, OR REGULATIONS GOVERNING ANIONIC PAM. THE OPERATOR IS RESPONSIBLE FOR SECURING REQUIRED PERMITS. USERS OF ANIONIC PAM SHALL OBTAIN AND FOLLOW ALL MATERIAL SAFETY DATA SHEET REQUIREMENTS AND MANUFACTURER'S

STRUCTURAL PRACTICES

REMEDIATION OF PETROLEUM SPILLS AND LEAKS

POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY

- MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE

- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS

- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS

FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL

- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED

- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE

- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP

1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY

ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A

WASTE DISPOSAL, SANITARY SEWER, AND/OR SEPTIC TANK REGULATIONS

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE,

WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR

EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND

USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS.

AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND

ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION

TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL

BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING

OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED

WILL BE CONTAINED ONSITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL

RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE

SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE

CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE

IMPLEMENTED. SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE

BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF

SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, BY THE

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY/SEPTIC SYSTEM AT THE COMPLETION OF

ETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS

MAINTENANCE AREAS SHALL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER

DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT

PROHIBITED. PROPER DISPOSAL METHODS SHALL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND

WHEN NOT IN USE. EXCESS PRODUCT SHALL NOT BE DISCHARGED TO THE STORM WATER COLLECTION

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS SHALL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS

SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS SHALL

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE. CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER

CHUTES HOPPERS AND THE REAR OF VEHICLES SHALL BE CONTAINED IN A PIT OR TRENCH WITH NO

MATERIAL LEAVING THE SITE OR IMPACTING VEGETATED OR NON-DISTURBED AREAS. CONTRACTOR SHALL

DISPOSE OF MATERIAL BY BREAKING OF MATERIAL INTO SMALL AMOUNTS AND DISPOSING OF MATERIAL

IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE

I. BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS SHALL BE BURIED OR DISPOSED OF

2. SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE

4. THE COMPLETED FACILITY WILL HAVE WASTE DUMPSTERS THAT WILL BE SERVICED BY A CONTRACT HAULER.

3. WASTE DISPOSAL CONTAINERS WILL BE PROVIDED BY CONTRACT HAULER FOR WASTE MATERIALS

PRACTICES TO REDUCE POLLUTANTS IN STORM WATER DISCHARGE

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS

SHALL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ONSITE VEHICLE AND MACHINERY

DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT

LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS

PROHIBITED. PROPER DISPOSAL METHODS SHALL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS SHALL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS

SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS SHALL

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE. CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER

MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR

CHUTES, HOPPERS AND THE REAR OF VEHICLES SHALL BE CONTAINED IN A PIT OR TRENCH WITH NO

FERTILIZER/HERBICIDES - THESE PRODUCTS SHALL BE APPLIED AT RATES THAT DO NOT EXCEED THE

IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE

I. BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS SHALL BE BURIED OR DISPOSED OF

4. THE COMPLETED FACILITY WILL HAVE WASTE DUMPSTERS THAT WILL BE SERVICED BY A CONTRACT HAULER

ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

3. WASTE DISPOSAL CONTAINERS WILL BE PROVIDED BY CONTRACT HAULER FOR WASTE MATERIALS

COVER FOR BUILDING MATERIALS & PRODUCTS - FOR BUILDING MATERIALS, BUILDING PRODUCTS,

PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO

CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES,

DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (E.G.

PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE

POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

MEASURES TO BE INSTALLED DURING CONSTRUCTION TO CONTROL

FOR THIS PROJECT, MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL

NOTE: THE PERMITTEE IS ONLY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF STORMWATER

SUCH STRUCTURES AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. (PERMIT IV.D.3.B PG 29)

POLLUTANTS IN STORMWATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED

-UNDERGROUND STORMWATER DETENTION SYSTEM WITH WATER QUALITY TREATMENT. REDUCTION IN

MANAGEMENT DEVICES PRIOR TO FINAL STABILIZATION OF THE SITE AND NOT THE OPERATION AND MAINTENANCE OF

POLLUTANTS IN STORMWATER AFTER CONSTRUCTION

STORMWATER RUNOFF RATE WILL OCCUR AFTER INSTALLATION OF THIS SYSTEM.

DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF

2. SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE

MATERIAL LEAVING THE SITE OR IMPACTING VEGETATED OR NON-DISTURBED AREAS, CONTRACTOR SHALL

DISPOSE OF MATERIAL BY BREAKING OF MATERIAL INTO SMALL AMOUNTS AND DISPOSING OF MATERIAL

WHEN NOT IN USE. EXCESS PRODUCT SHALL NOT BE DISCHARGED TO THE STORM WATER COLLECTION

BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

MAINTENANCE AREAS SHALL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER

DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT

ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

FERTILIZER/HERBICIDES - THESE PRODUCTS SHALL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR

SHALL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ONSITE VEHICLE AND MACHINERY

DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT

LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS

BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

PRACTICES TO REDUCE POLLUTANTS IN STORM WATER DISCHARGE

REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE

ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT

CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED

DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

OFF-SITE INTO A LANDFILL APPROVED TO ACCEPT SUCH WASTE.

MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

OFF-SITE INTO A LANDFILL APPROVED TO ACCEPT SUCH WASTE.

MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS

SOLID WASTE DISPOSAL

STATE OR BURIED ON SITE.

GENERATED DURING CONSTRUCTION

SOLID WASTE DISPOSAL:

STATE OR BURIED ON SITE.

GENERATED DURING CONSTRUCTION.

PRODUCT SPECIFIC PRACTICES

PRODUCT SPECIFIC PRACTICES

TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH OCCURS, THE STORM WATER DISCHARGE

FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEFING THAT THESE PRACTICES ARE FOLLOWED

AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE

SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN

RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.

AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS,

MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND

SOIL CLEANUP AND CONTROL PRACTICES

REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.

AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

METAL WASTE CONTAINERS

NECESSARY TO PREVENT FUTURE SPILLS.

WITHIN 24 HOURS AT 1-800-426-2675.

CONTACTED WITHIN 24 HOURS.

REGULATIONS.

CHARGE INTERIOR CONSTRUCTION CO			SYMBOL	DETAIL	PRACTICE	
channel, ordering stroom, or disch. CONSTRUCTION CONSTRU	er or dam cons ditch or area	oss a swale, drainage ditch or area	J		CHECKDAM	Cd
CONSTRUCTION DETERMINED ON DET			T			Ch
A temporary construction of michalding decrease roads, subdivision roads, purificial reasons of michalding decreases and other construction plant including decreases roads, subdivision roads, purificial reasons and other construction. A temporary channel constructed to earny and a temporary channel constructed to the construction of the decreated as the while in permanent structure is being constructed. A temporary channel constructed to the construction of an effect of a dispersion of the michalding decreases. A temporary and measurement of dispersion of the construction is designed to astery conductive construction. A temporary solid responsibility of the construction of the construction. PREMANDING PREMANDIN	provide a plac	nstruction site exit to provide a pla noving mud from tires thereby prot	//,			Co
DO DICEBION DIC	ng access roac g areas and ot	nstruction plan including access roa odivision roads, parking areas and o	Cr (ABEL)		ROAD	Cr
DEMONDRANY STRUCTURE PERMANENT DOMORANY STRUCTURE A parent charter, pipe, sectional conduit or similar materiar designed to safely conduct as surface runnific designed to safely conduct as under current classification and single. A parent charter, pipe, sectional conduit or similar materiar designed to safely conduct as under current conduits or similar materiar designed to safely conduct as under current conduits or similar materiar designed to safely conduct as under current conduits or similar material designed to safely conduct as under current curr	on site while a	w around a construction site while o			DIVERSION	Dc
the material designed to sofely conduct aurace runoff core in sizes. It is a surface runoff core in sizes. A promote future, pies, sectional conduit or a surface runoff core in sizes. A promote future, pies, sectional conduit and a surface runoff core in sizes. A temporary stone barrier constructed at storm drain infest and prod outlets. STABLIZATION STRUCTURE STABLIZATION STRUCTURE STABLIZATION STRUCTURE A structure to convert concentrated flow suffer into less erosive sheet flow. This should be constructed only on undisturbe soils. A permanent or temporary stone filter de installed corosa small streams or drainage. A evolt installed to stabilize cut and fill at where maximum permissible sloses are in substituted in the require species. A device on structure piaced in front of a permanent startward detarition pard outletted. A device on structure piaced in front of a permanent startward detarition pard outletted. A device on structure structure piaced in front of a permanent startward detarition pard outletted. A device on structure piaced in front of a permanent startward detarition pard outletted. A device on structure piaced in front of a permanent startward detarition pard outletted. A device on structure piaced in front of a permanent startward detarition pard outletted in the structure start and structure structure. A device on structure piaced in front of a permanent startward detarition and structure start and structure structure. A device on structure structure structure structure structure structure structure. A device on structure structure structure structure structure structure structure. A permanent structure structure structure structure structure structure. A permanent s	to divert rund	ow, or across a slope to divert run s may be a temporary or permaner			DIVERSION	Di
DOWNDRAIN STRUCTURE STRUCTURE THEY RING A temporary stone barrier constructed at storm drain interes matched and storm drain interes and sond outlets. A temporary stone barrier constructed at storm drain interes installed to protect channels or waterways where otherwise the storm would be sufficient for the running structures. A structure to convert concentrated flow water into less erosive sheet flow. This should be constructed only on undisturbed soils. A permonent or temporary stone filter do included corose small streams or drainageways. A permonent or temporary stone filter do included corose small streams or drainageways. A permonent or temporary stone filter do included corose small streams or drainageways. A permonent attructure placed in front of a permonent stormwater detention pand outstructure to serve as a temporary sediment. A barrier to prevent sediment from leaving the surface water run is semporary sediment. The construction activities. A barrier to prevent sediment from leaving the surface water run is semporary sediment to strony bull. BENDORIENT STRUCTURE TRAP SEDIMENT	to safely condi lope. This is	er material designed to safely conc face runoff down a slope. This is			DOWNDRAIN	Dn1)
TOPSOLING Topsoling or staked barrier installed to protect of the position forming sell stabilizing structures installed to protect of concentrate of the protect of	I to safely con-	nilar material designed to safely cor	Dn2		DOWNDRAIN	Dn2
CASION CRANC STRUCTURE CRANC STRUCTURE CRANC STRUCTURE CRANC STRUCTURE CROCK STRUCTURE						Fr
SELIMENT BASHIN SELIMENT SELIME		o position forming soil stabilizing			GABION	Ga
REPREADER ROCK FUTURE DAM RETAINING WALL RETRO FITTING RETRO F	here otherwise	annels or waterways where otherwise pe would be sufficient for the runni	<i>F</i>		STABILIZATION	Gr
installed across small streams or drainageways. A wall installed to stabilize out and fill st where maximum permissible slopes are no obtainable. Each situation will require specialism. A device or structure placed in front of a permanent stormwater detention pond our structure to serve as a temporary sediment filter. A barrier to prevent sediment from leaving the construction site. It may be sandbog belos of straw or hay, brush, logs and provides of strawing area created by excavation and straw or hay brush, logs and provides or construction or structure provides or strawing and prov	sheet flow. This	ter into less erosive sheet flow. Thi ould be constructed only on undistu		Annual V		Lv
where maximum permissible slopes are no dotariable. Each situation will require spe design. RETRO FITTING A device or structure placed in front of operament stormwater detention pond ou structure to serve as a temporary sediment filter. A barrier to prevent sediment from leaving the construction site. It may be sandbagg does of straw or hay, brush, logs and purgavel, or a silt fence. An impounding area created by excavation or a darm around a storm drain drop inlet. The excavated area will be filled and stabilized construction construction construction construction construction construction construction activities. RETRO FITTING RETRO FITTING RETRO FITTING RETRO FITTING RETRO FITTING A device or structure placed in front of operamenent stormwater detention pond out structure or hay be sending filled. A housing read created by excavation or a darm around a storm drain drain and advances are not only and purgavel, or a silt fence. An impounding area created by excavation or a darm around a storm drain drain and purgavel, or a silt fence. An impounding area created by excavation or a darm around a storm drain drain and advances are not only and purgavely stored allowing the bulk of sediment to drop out. A small temporary pond that drains a disturbed area so that sediment to drain a disturbed area so that sediment to a set out. The principle feature distinguishing a temporary sediment trap from a temp		talled across small streams or			FILTER	Rd
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SEEP BERM	may be sandb orush, logs and	e construction site. It may be sandl es of straw or hay, brush, logs and avel, or a silt fence.	(INDICATE TYPE)			Sd1)
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the water (it may also be referred to as floating boom, silt barrier, or silt curtain) TOPSOILING TOPSOILING TOPSOILING TOPSOILING TOPSOILING The practice of stripping off the more fe soil, storing it, then spreading it over the disturbed area after completion of construction activities.	our or slopes le	pressions on a contour or slopes I	⊢Su →			Su
TOPSOILING Topsoi	be referred to	e water (it may also be referred to	Tc			Tc
To protect desirable trace from injury due	eading it over	l, storing it, then spreading it over turbed area after completion of	(SHOW STRIPING AND STORAGE AREAS)		TOPSOILING	Тр
PROTECTION TREE PROTECTION (CENOTE TREE CENTERS) TO Protect desirable trees from injury during the construction activity.	es from injury	protect desirable trees from injury nstruction activity.	(DENOTE TREE CENTERS)	\odot	TREE PROTECTION	Tr
VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL Paved or vegetative water outlets for diversions, terraces, berms, dikes or simils structures.		ersions, terraces, berms, dikes or s			WATERWAY OR STORMWATER CONVEYANCE	Wt
VEGETATIVE PRACTICES		ACTICES	VE P	EGETATI	VI	
DDE PRACTICE DETAIL MAP SYMBOL DESCRIPTION	PTION	DESCRIPTION		DETAIL	PRACTICE	CODE

Bf	BUFFER ZONE		Bf (LABEL)	Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	FRENCH CANADA CONTRACTOR	Cs	Planting vegetation on dunes that are denuded, artificially constructed, or re—nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not hav a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	10, 10, 10 mg	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
FI-Co	FLOCCULANTS AND COAGULANTS		FI-Co	Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)		Sb	The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION		Ss	A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Тас	TACKIFIERS AND BINDERS		Tac	Substance used to anchor straw or hay mulch by causing the organic material to bind together.

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478-219-2600

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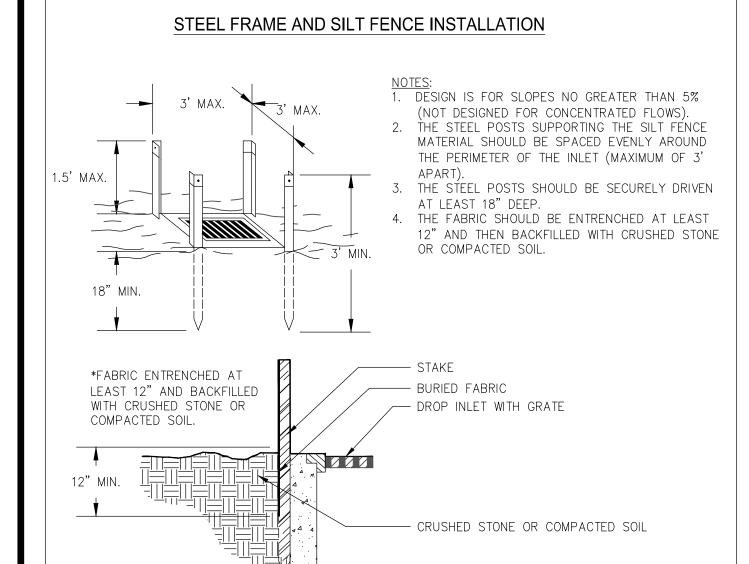
28 MAY 2019 CD ISSUE FOR BID

Revisions

28 May 2019 M6400.001 Sheet Title POLLUTION PREVENTION

8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE). 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF

NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL <u>SUITABLE</u> FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT. 10.MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES

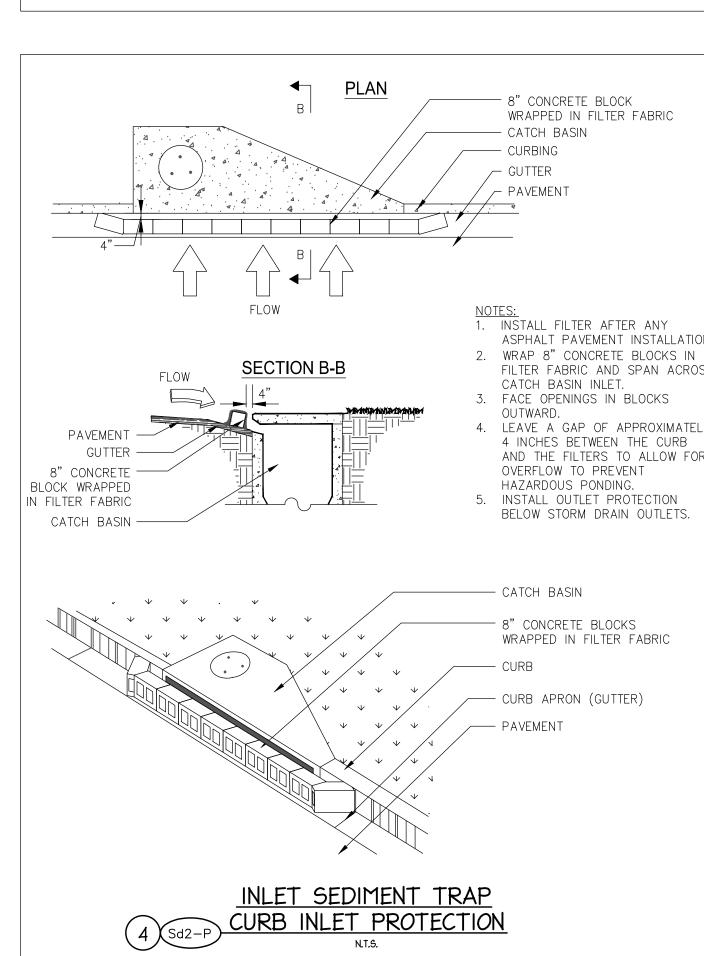


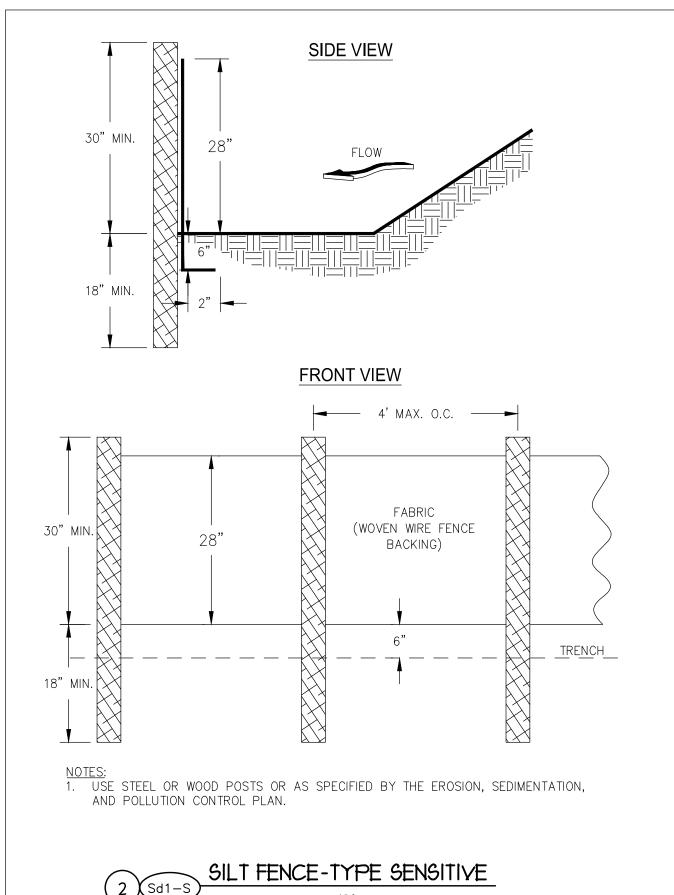
- WIRE-BACKING

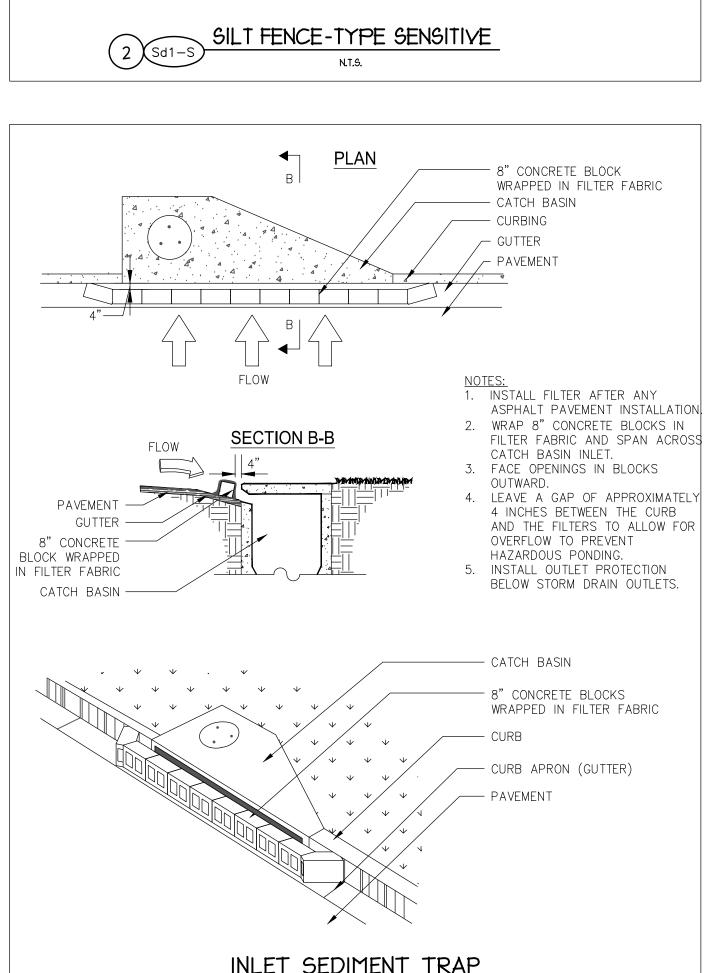
INLET SEDIMENT TRAP

—— GATHER EXCESS AT CORNERS

- FABRIC WITH WIRE-BACKING SUPPORT







MULCHING MATERIALS:

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED: . DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. 2. CUTBACK ASPHALT (SLOW CURLING) SHALL BE APPLIED AT 1200 GALLONS PER ACRE

WHEN MULCH IS USED WITH OUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA. I. DRY STRAW OR HAY MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT. 2. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC.

ANCHORING MULCH: . STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MULCH IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. 2. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-I). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS ON BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT.

> DISTURBED AREA STABILIZATION (W/ MULCH ONLY)

> > GENTLE

SLOPES

OVERLAND FLOW (SEE NOTE 1)

— DIVERSION BERM

OR SWALE

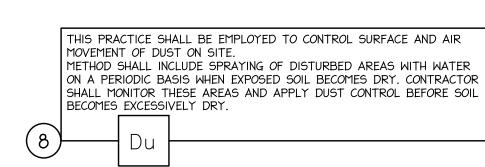
OVERFLOW DIVERSION BERM OR SWALE (TYPICAL) — SEDIMENT CONTROLS (STRAW BALE BARRIER ----OR SILT FENCE) TO "POLISH" THE TREATED STORMWATER FROM SEDIMENT TRAP SLOPES MAXIMUM AREA FOR OVERFLOW SEDIMENT TRAP IS USUALLY 1 ACRE. MUST HAVE GENTLE - STRAW BALE BARRIER (TYPICAL) SLOPES (LESS THAN 2% GRADUALLY) AND PREDOMINATELY OVERLAND SHEET FLOW. MAXIMUM PERMANENT WET DEPTH IS 2 FEET. OVERFLOW SEDIMENT TRAPS MAY NOT BE EFFECTIVE FOR HIGH GROUNDWATER TABLE AND

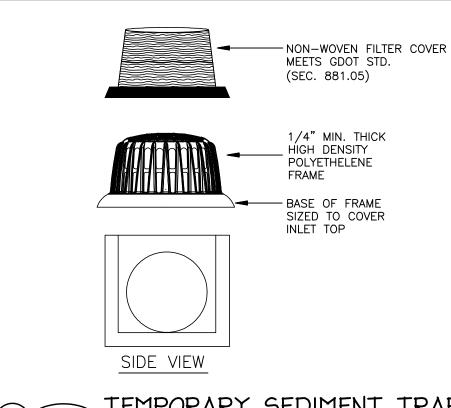
3. USE THE MOST PERMEABLE SEDIMENT CONTROL

TIME AND SETTLING OF SEDIMENT.

IN LABELED AREA SO AS TO MAXIMIZE TRAVEL







N.T.S.

EXCAVATION REQUIREMENTS FOR THE SITE. MAINTENANCE REQUIREMENTS FOR FRAME AND FILTER ASSEMBLY 1. MAINTENANCE IS REQUIRED WHEN ERODED SOILS REACH A POINT OF 65% OF THE TOTAL HEIGHT OF THE FRAME OR APPROXIMATELY 7 TO 9 INCHES OF THE GREY FILTER MATERIAL IS SHOWING. 2. REMOVE THE IMAPCTED MATERIAL BY HAND OR MACHINE METHOD, PAYING CLOSE ATTENTION NOT TO DAMAGE THE FRAME OR FILTER. 3. BRUSH, SWEEP OR WASH FILTER AND INSPECT FOR ANY CUTS AND/OR ABRASIONS. REPLACE FILTER AS NECESSARY. INSPECT FRAME FOR ANY STRESS OR DAMAGE, REPLACE AS NECESSARY

4. REFILL FILTER POCKETS, BACKFILL AS REQUIRED BY JOBSITE CONDITIONS.

TYPICAL CONSTRUCTION SEQUENCE

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE

2. PLACE THE FRAME ONTO THE INLET STRUCTURE. ENSURE THE FRAME COVERS STRUCTURE COMPLETELY

EQUIVALENT. THE FILTER POCKETS SHOULD BE

4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR

COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN

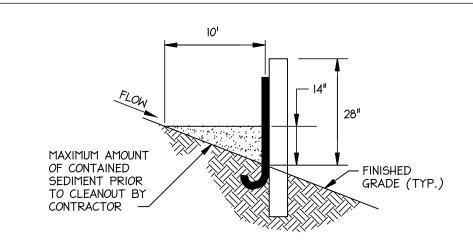
5. BACKFILL AROUND THE FRAME AND FILTER ASSEMBLY

IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACKFILLING MAY BE NECESSARY TO COMPLETE

FOR FRAME & FILTER ASSEMBLY

TOP OF THE INLET STRUCTURE.

3. PLACE THE FILTER OVER THE FRAME.



CALCULATION: 3'L x 1.17'H x 1'W=1.76 C.F. OF STORAGE PER I L.F. OF SILT FENCE.

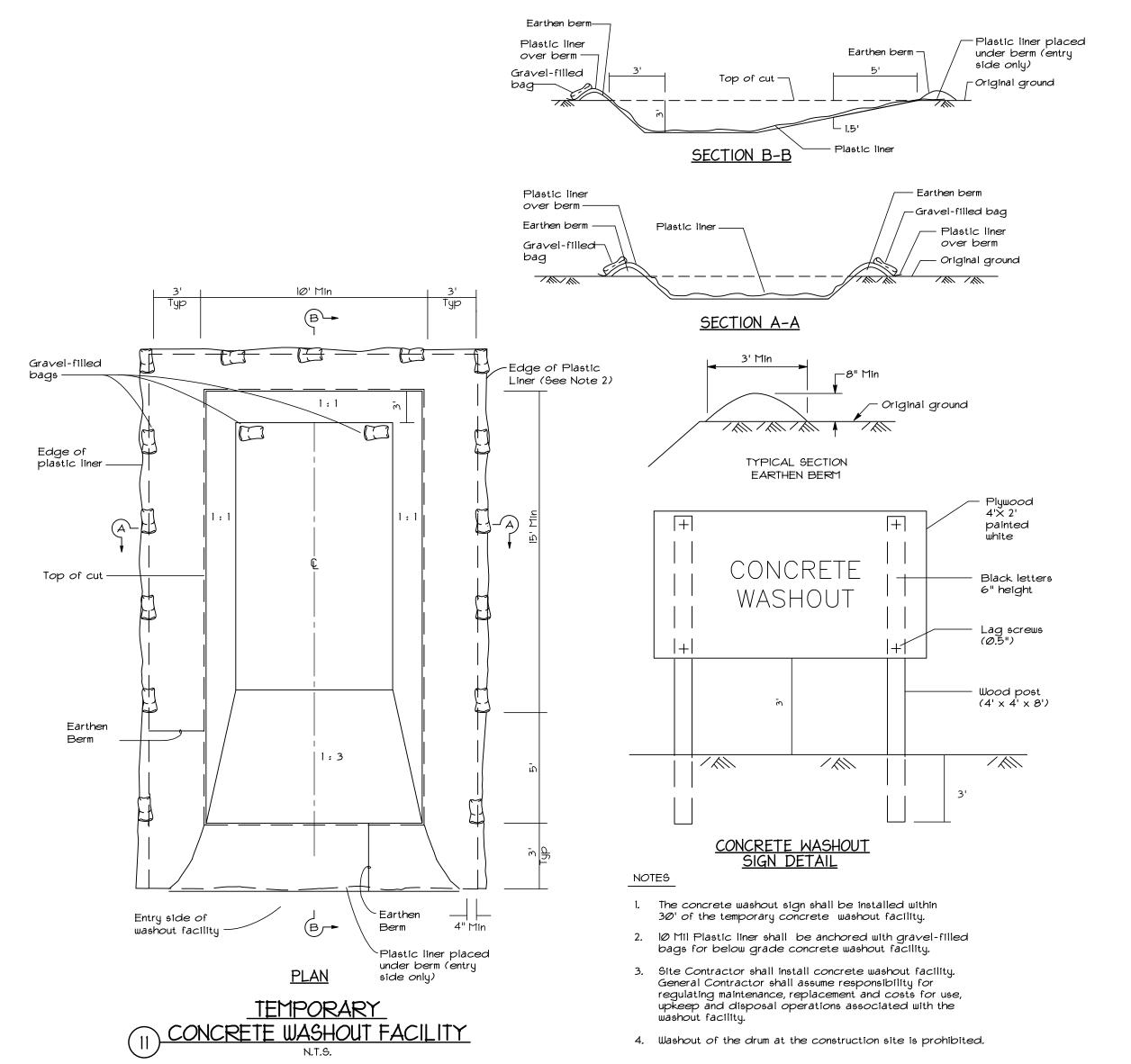
SEDIMENT STORAGE BEHIND

WRITTEN RATIONALE FOR ABSENCE OF TEMPORARY

SEDIMENT BASIN

THIS PROJECT SHALL INCLUDE A TOTAL LAND DISTURBANCE OF 1.4 ACRES. WHERE FEASIBLE, TEMPORARY SEDIMENT STORAGE SHALL BE PROVIDED IN EXCAVATED SEDIMENT TRAPS. SEDIMENT STORAGE FOR AREAS THAT DO NOT FLOW TO AN EXCAVATED INLET AREA SHALL BE PROVIDED BEHIND TYPE 'S' SILT FENCE (SEE DETAILS). BASED ON THE DEVELOPED NATURE OF THIS PROPERTY AND THE SHORT CONSTRUCTION TIME FRAME, A

TEMPORARY SEDIMENT BASIN IS NOT FEASIBLE OR NECESSARY





478-219-2600

DT WALTON MIXED USE **DEVELOPMENT**

> 743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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Revisions

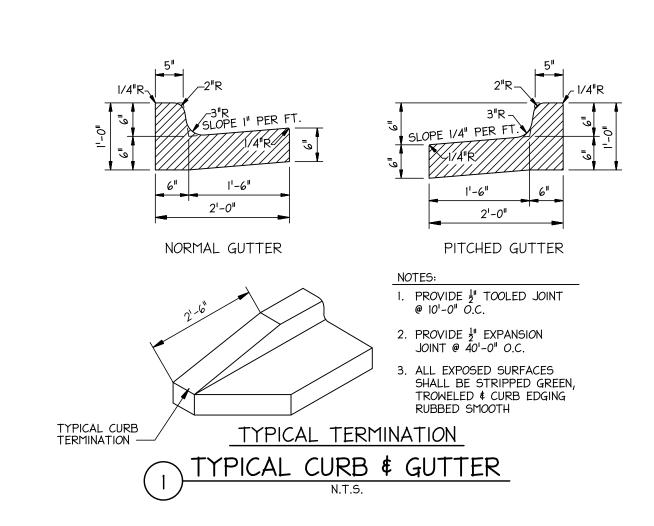
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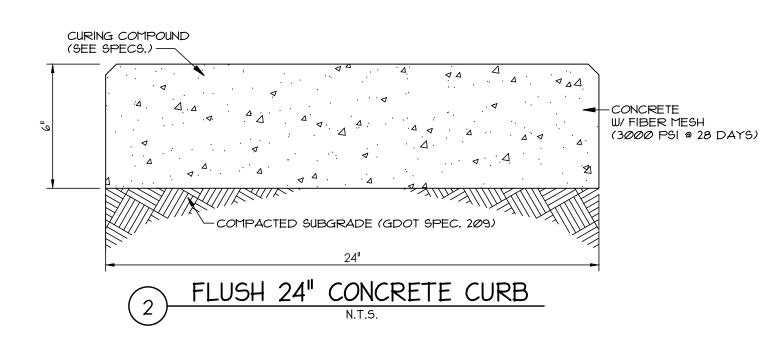
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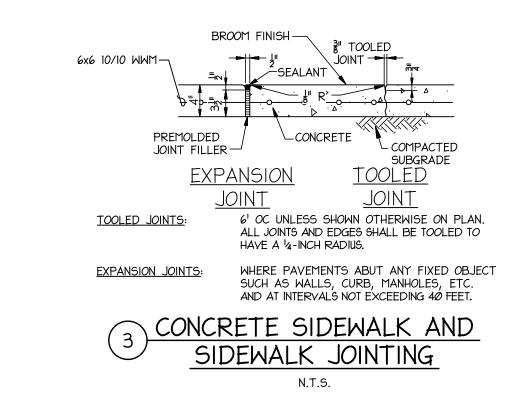
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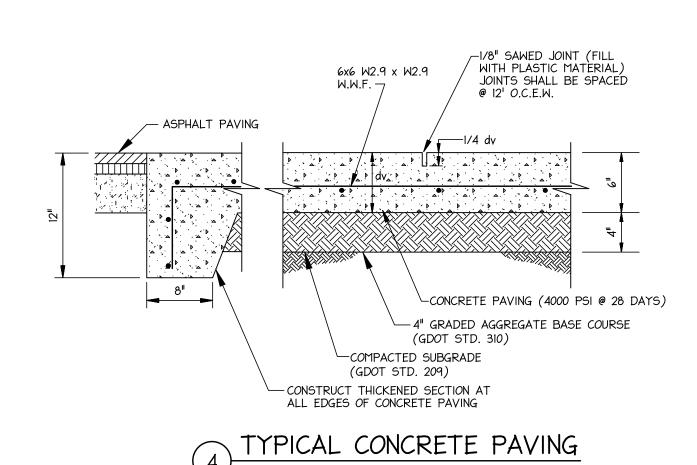
POLLUTION PREVENTION **DETAILS**

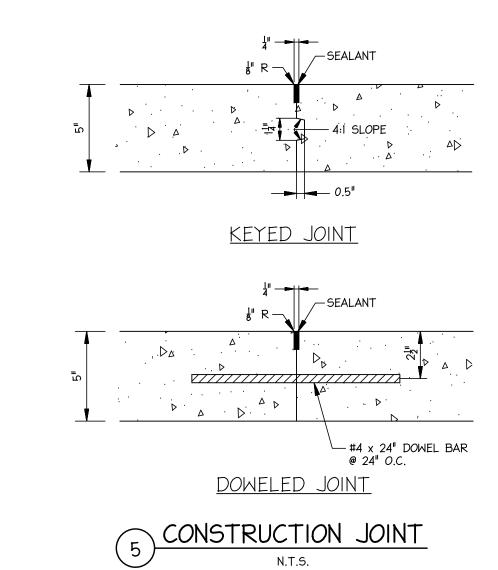
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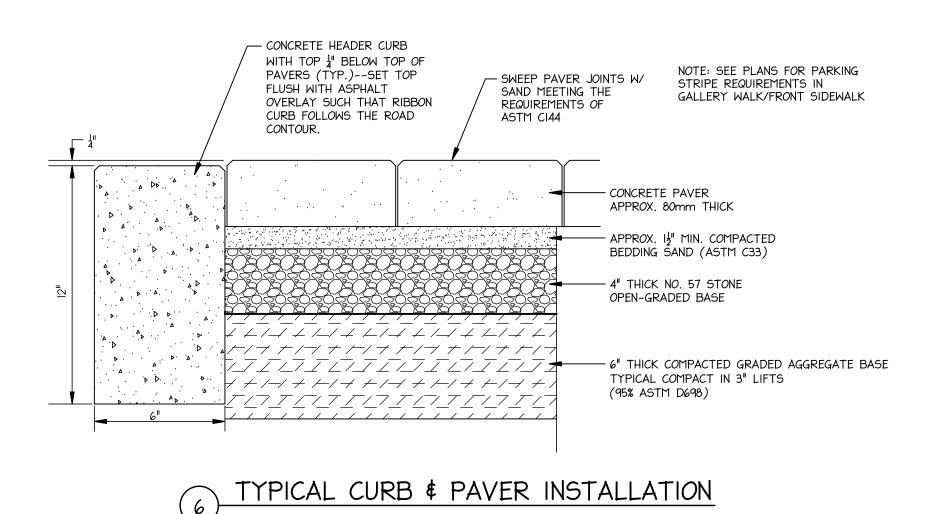


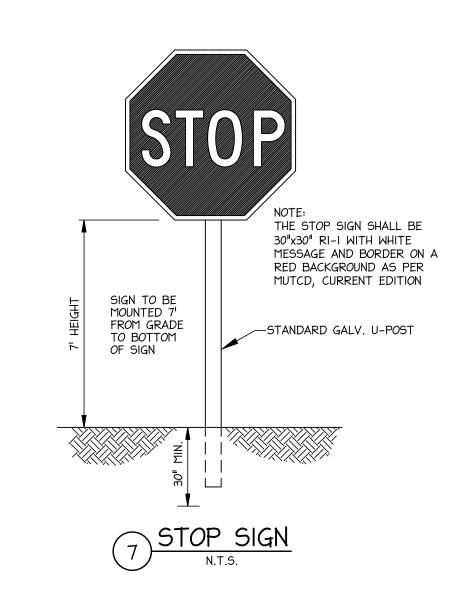


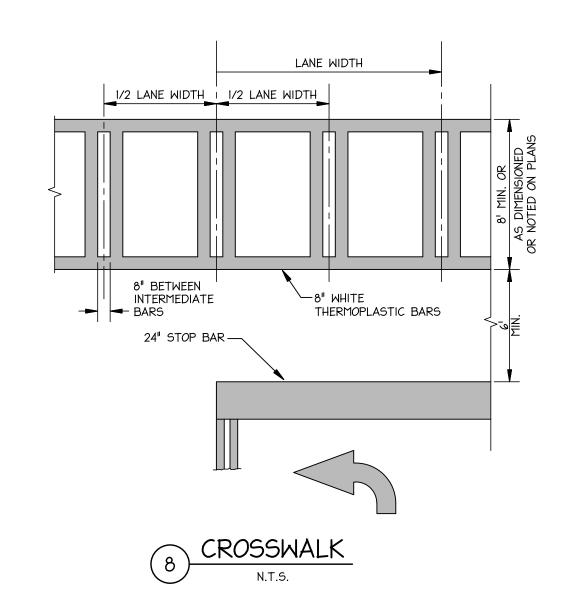


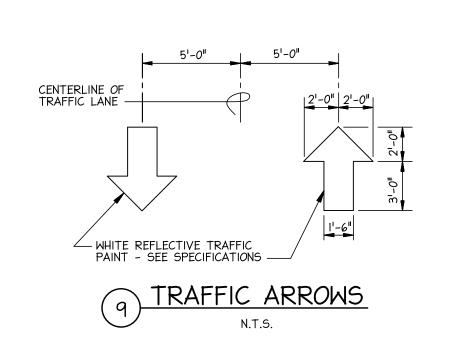


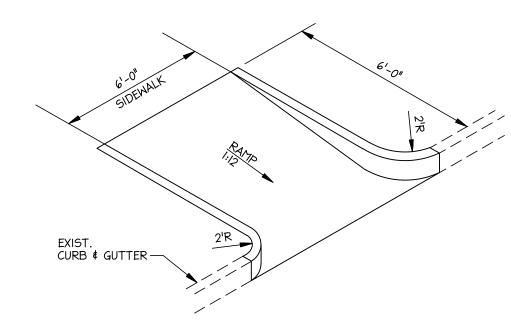




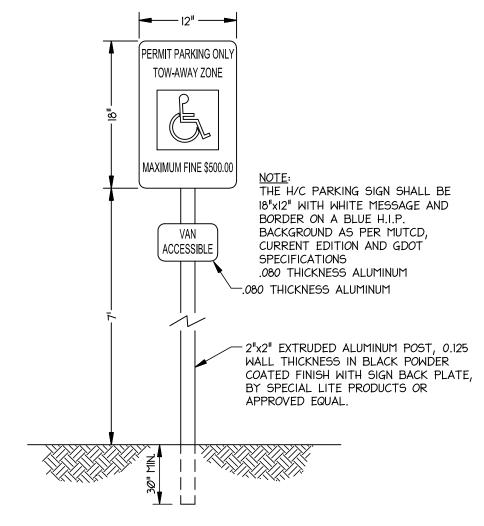




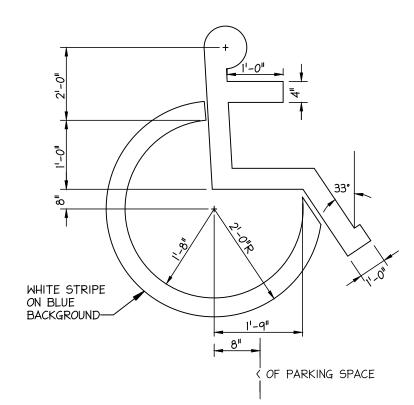


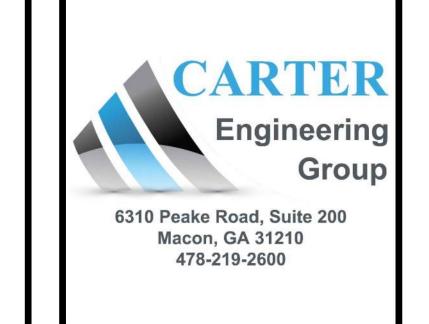


TYPE 2 HANDICAP RAMP



HANDICAP PARKING SIGN HANDICAP PARKING SIGN SHALL COMPLY WITH OFFICIAL CODE OF GEORGIA SECTION 40-6-221







Γ	WALTON	MIXED	USE
	DEVELO	PMENT	•

743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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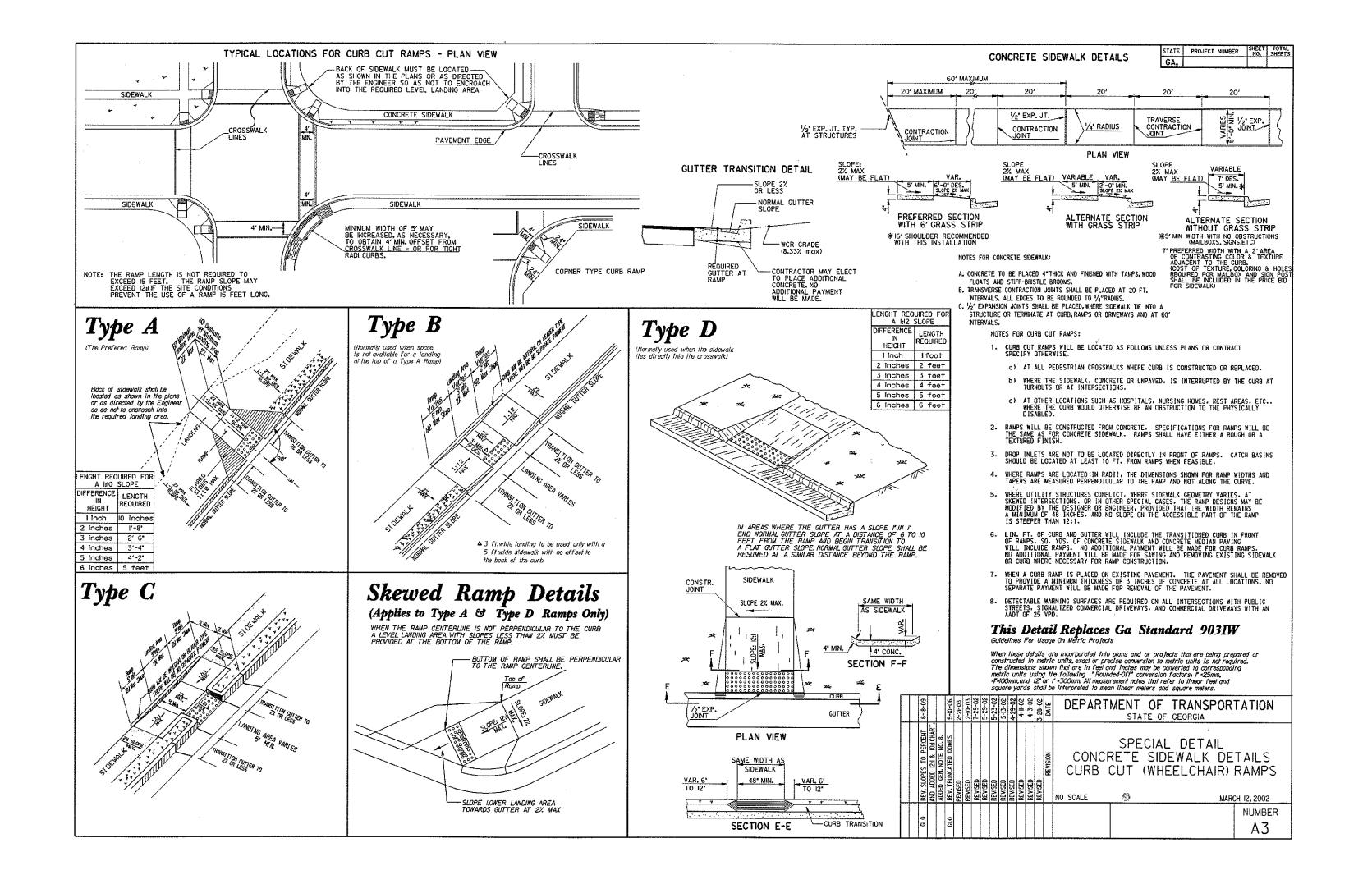
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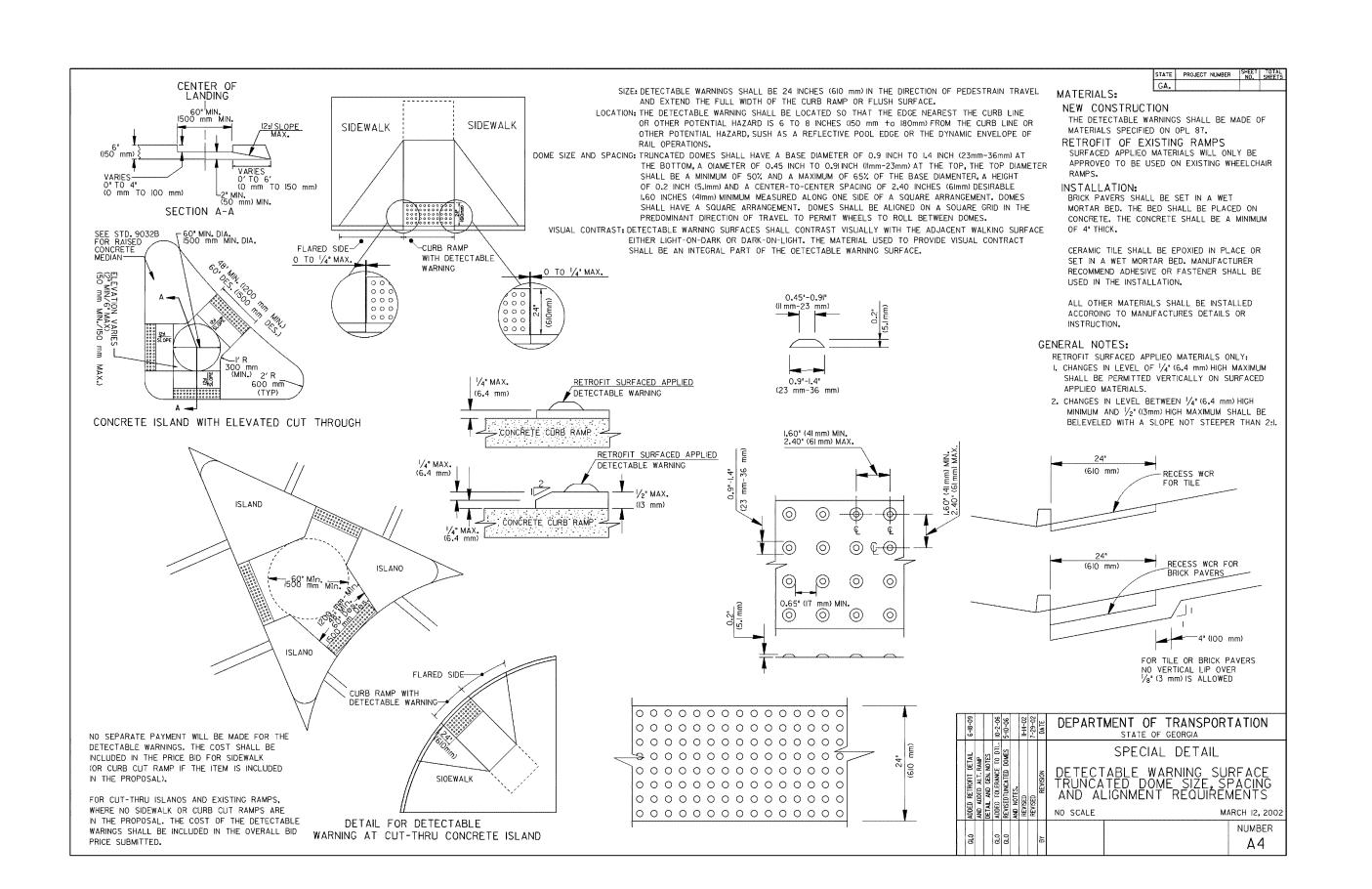
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Sheet Title MISCELLANEOUS

Sheet No.

SITE DETAILS









DT WALTON MIXED USE

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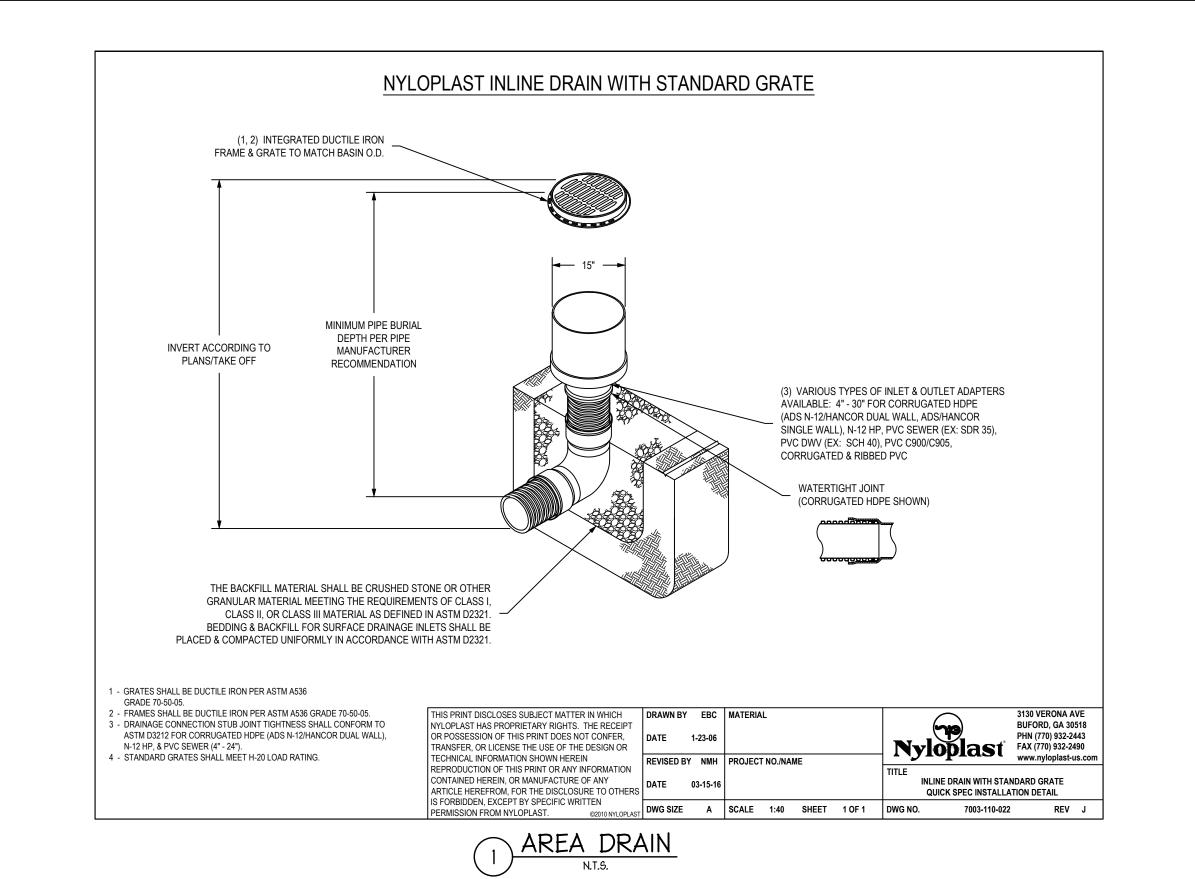
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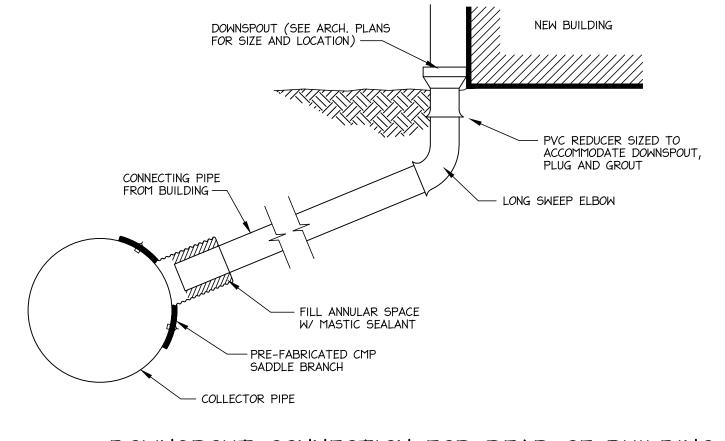
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MISCELLANEOUS SITE DETAILS

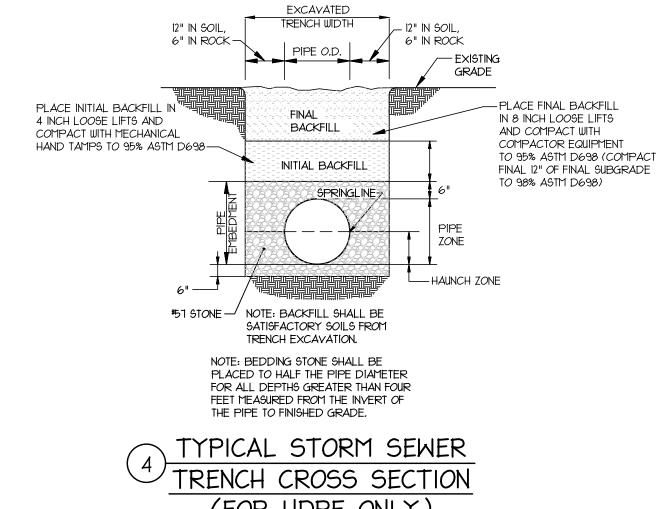
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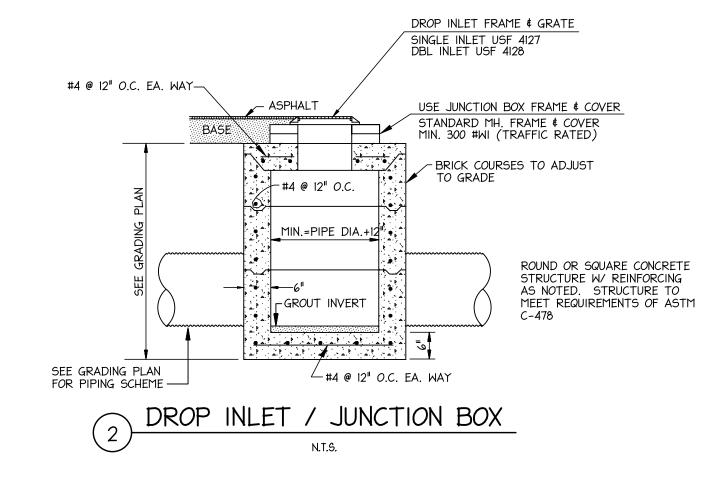


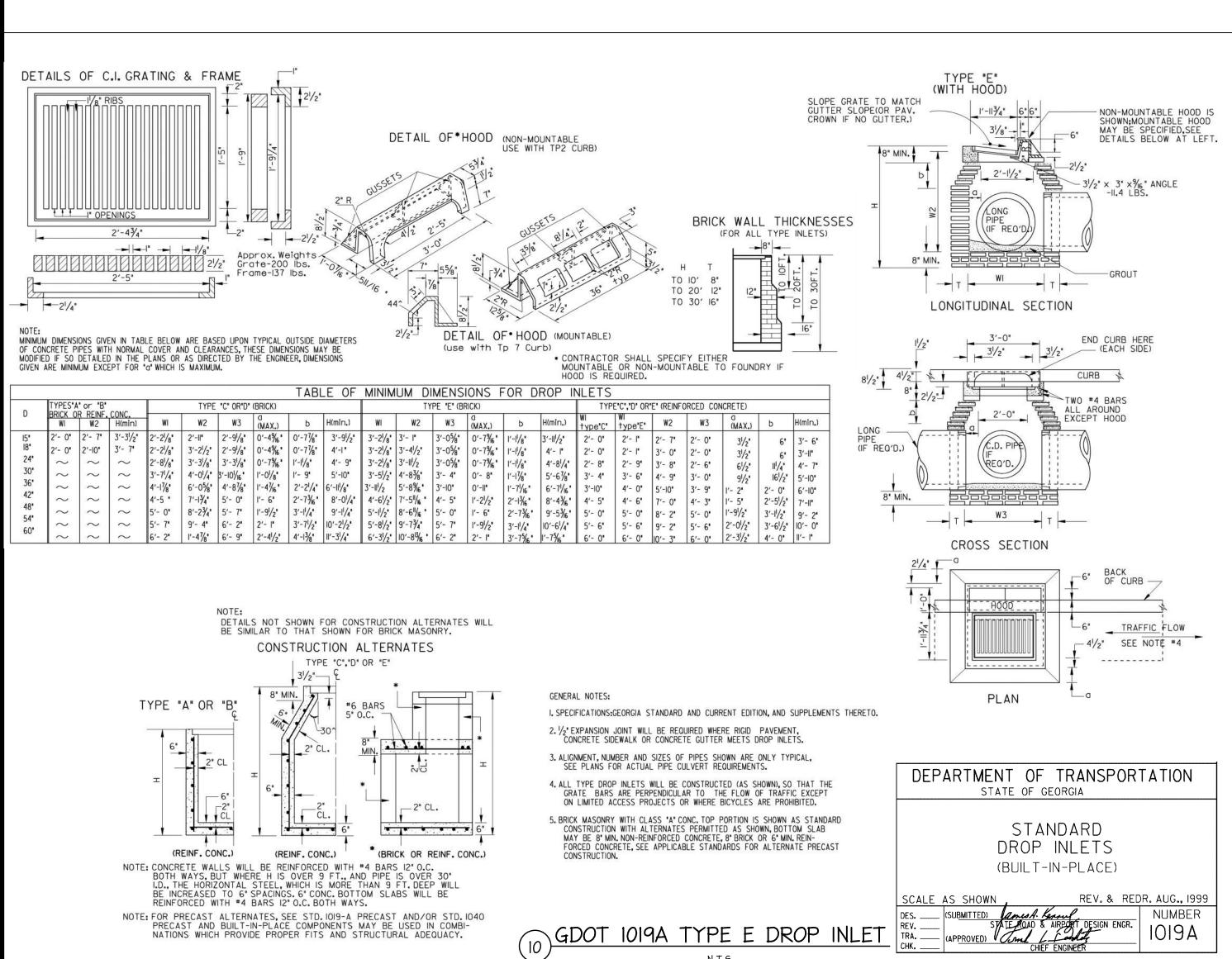
DOWNSPOUT CONNECTION FOR REAR OF BUILDING N.T.S.

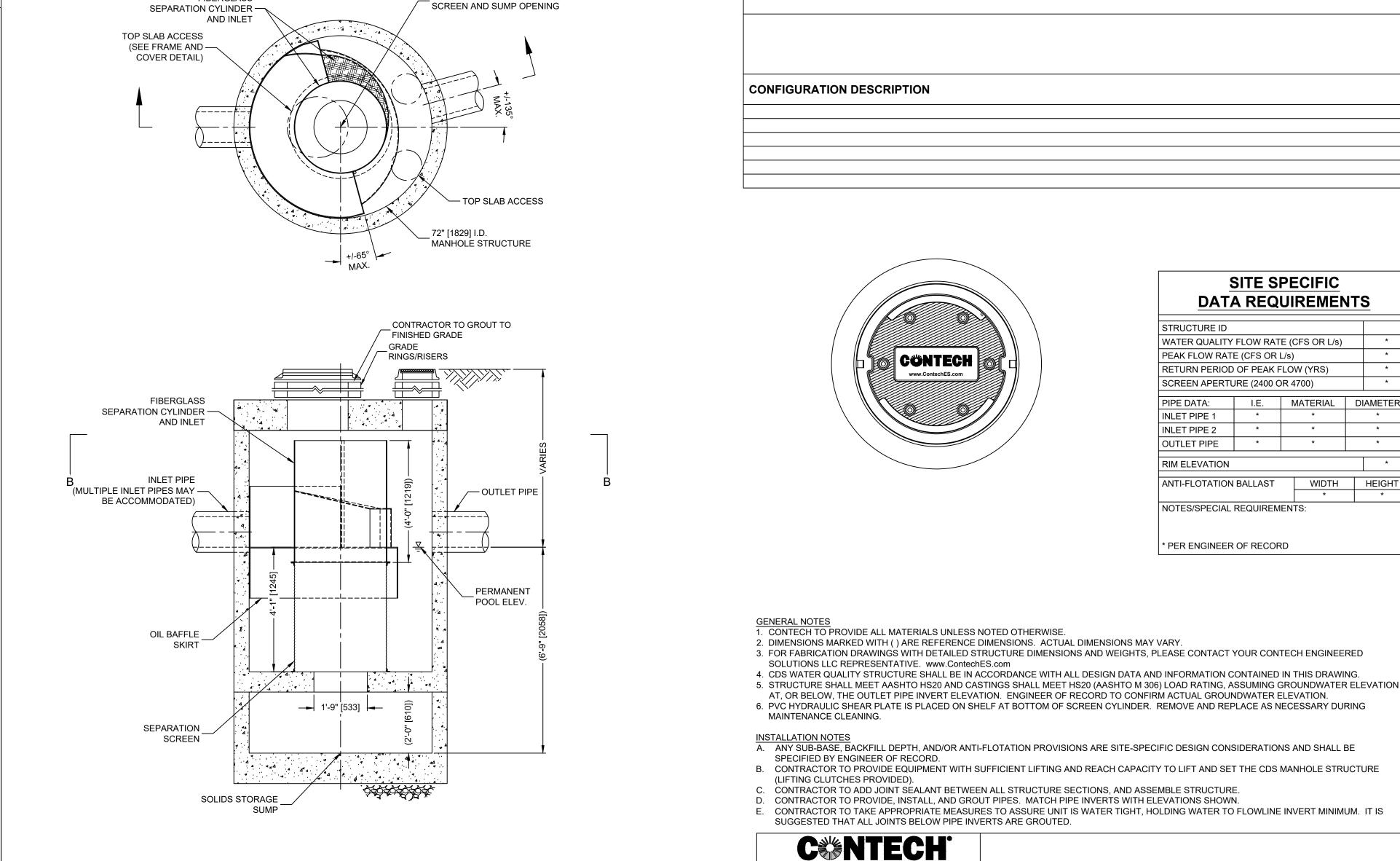


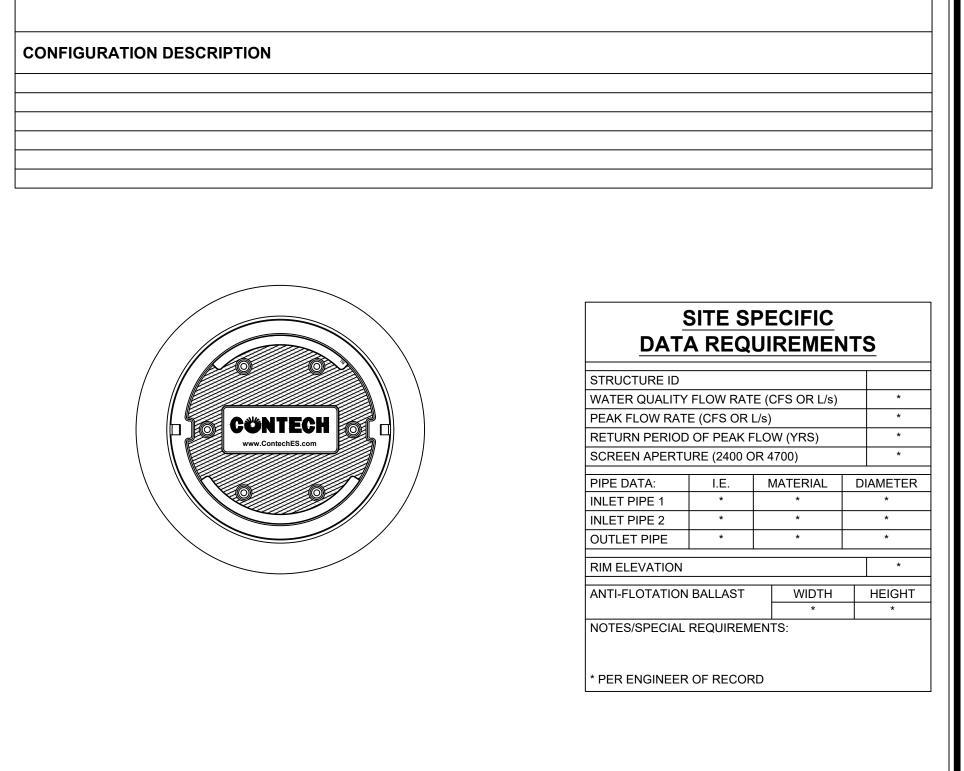
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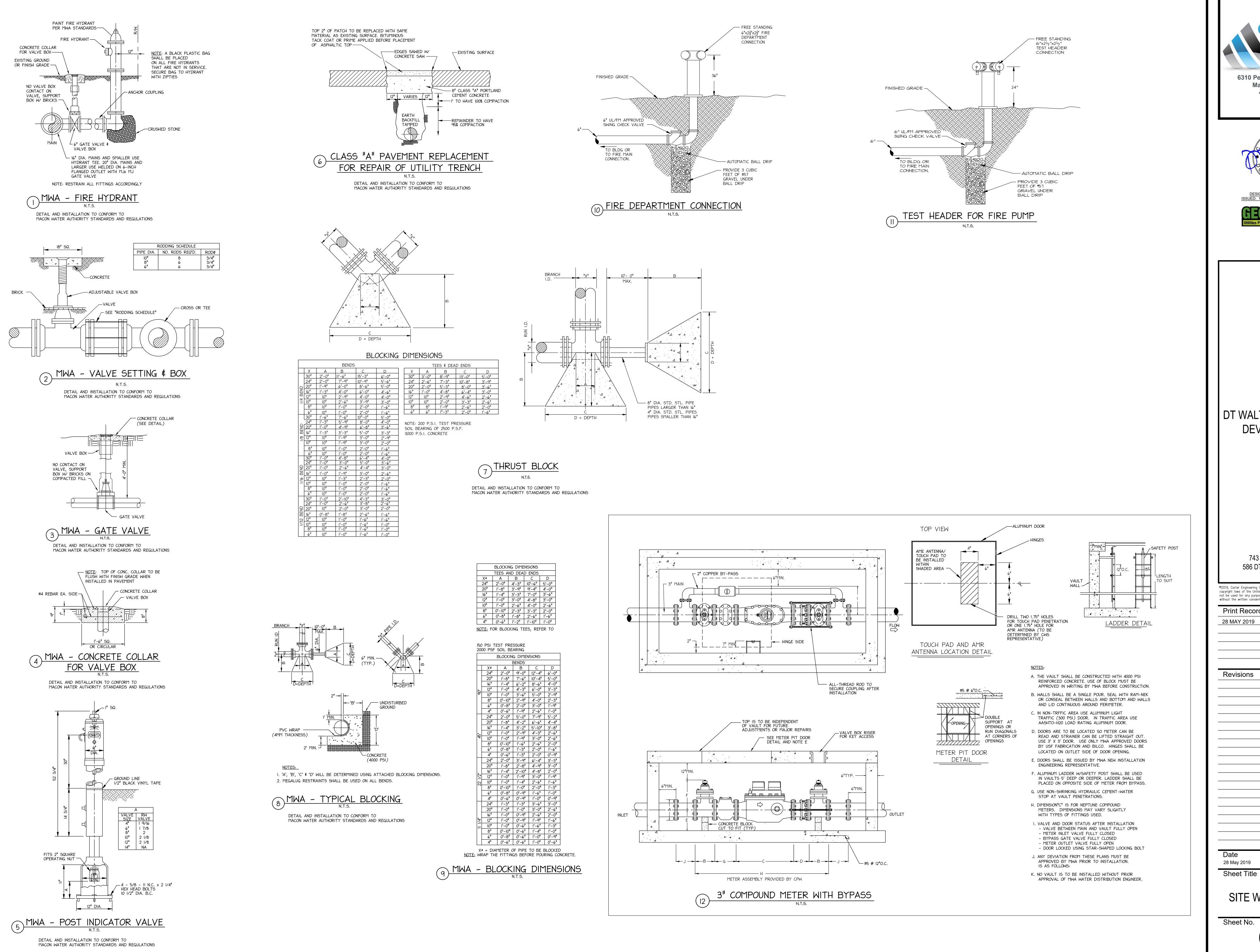
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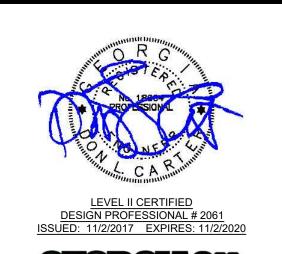
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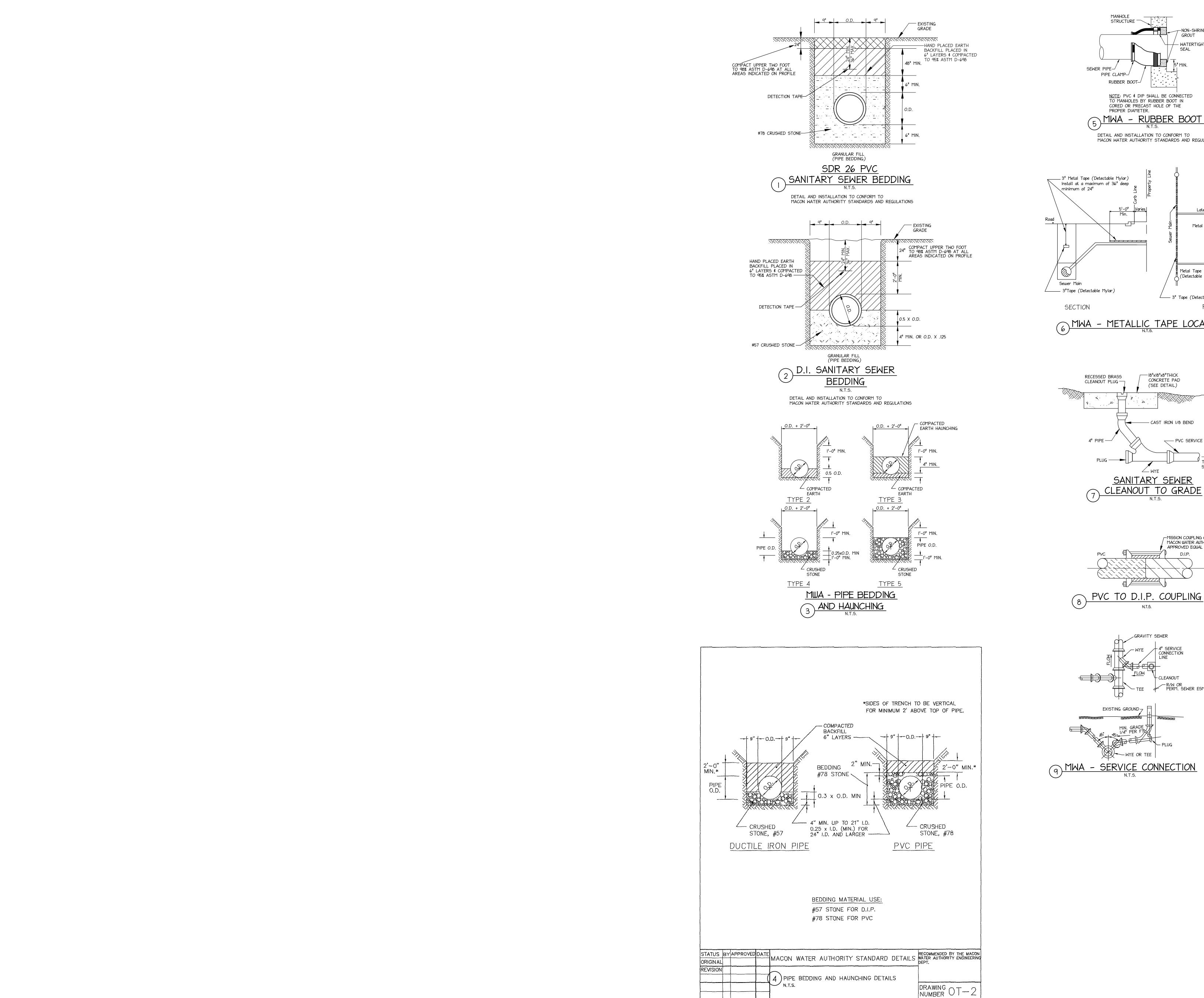
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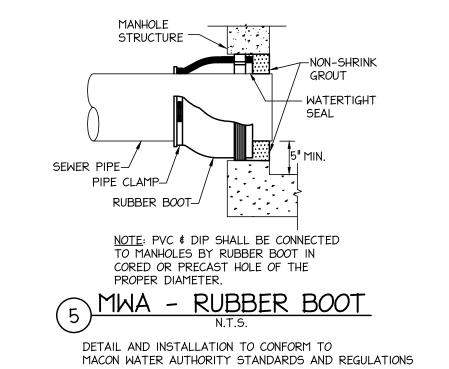
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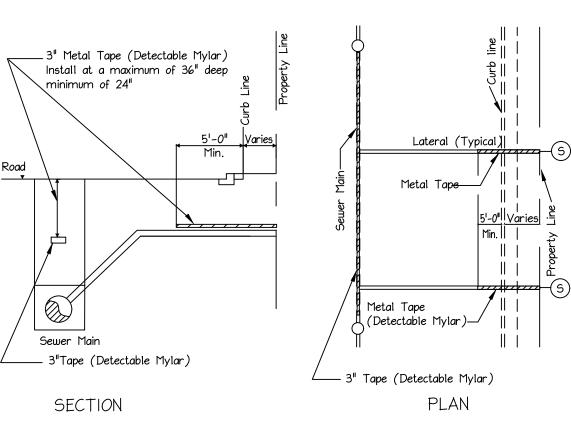
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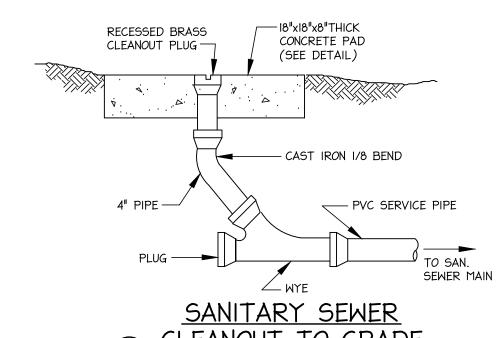
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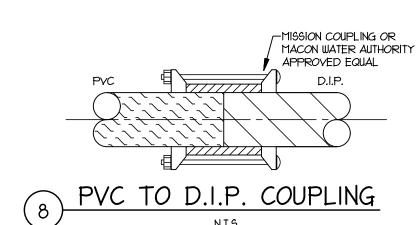
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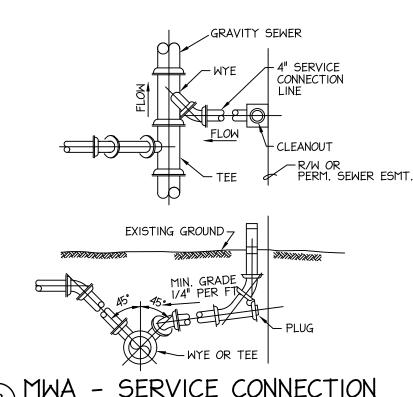
















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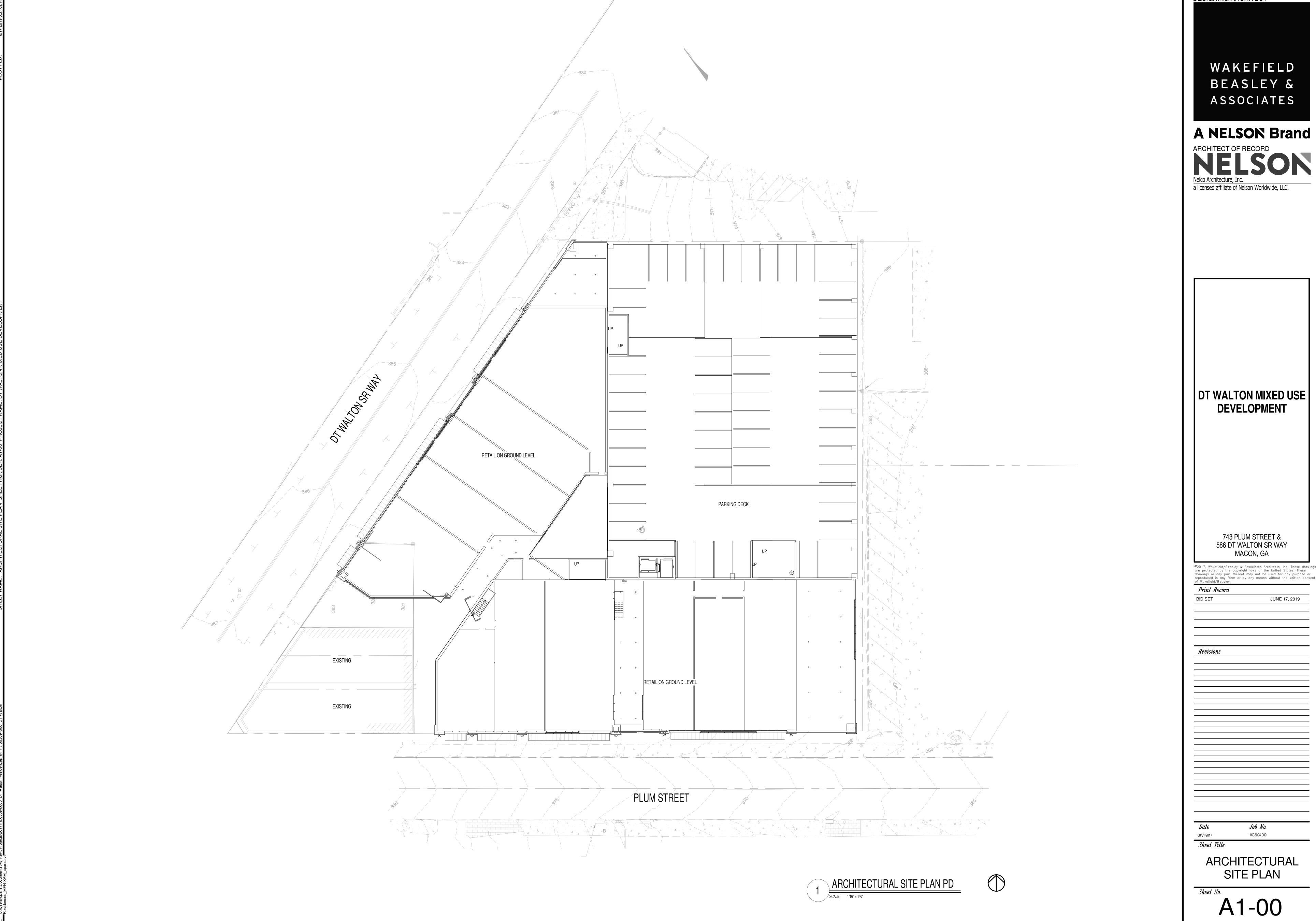
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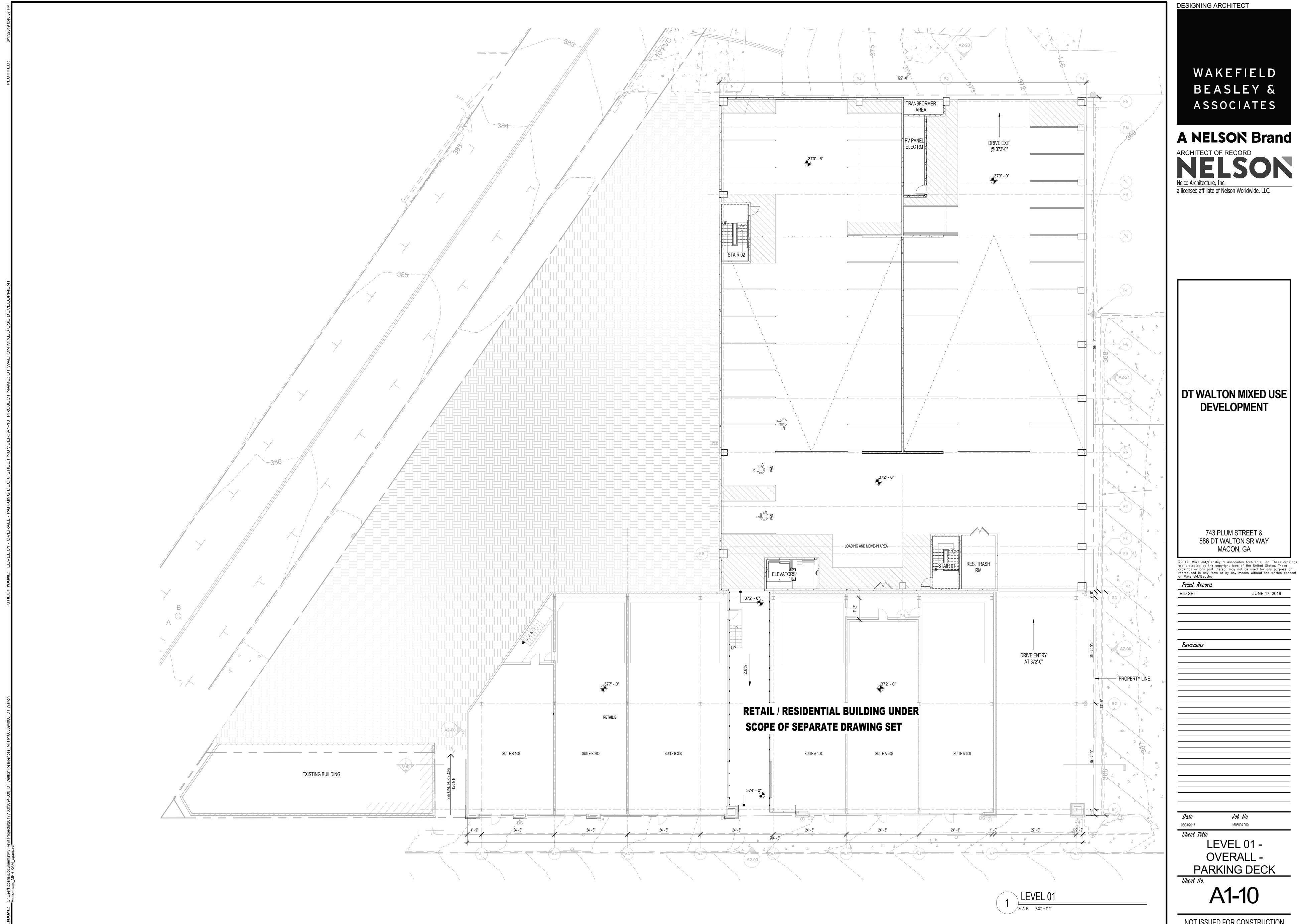


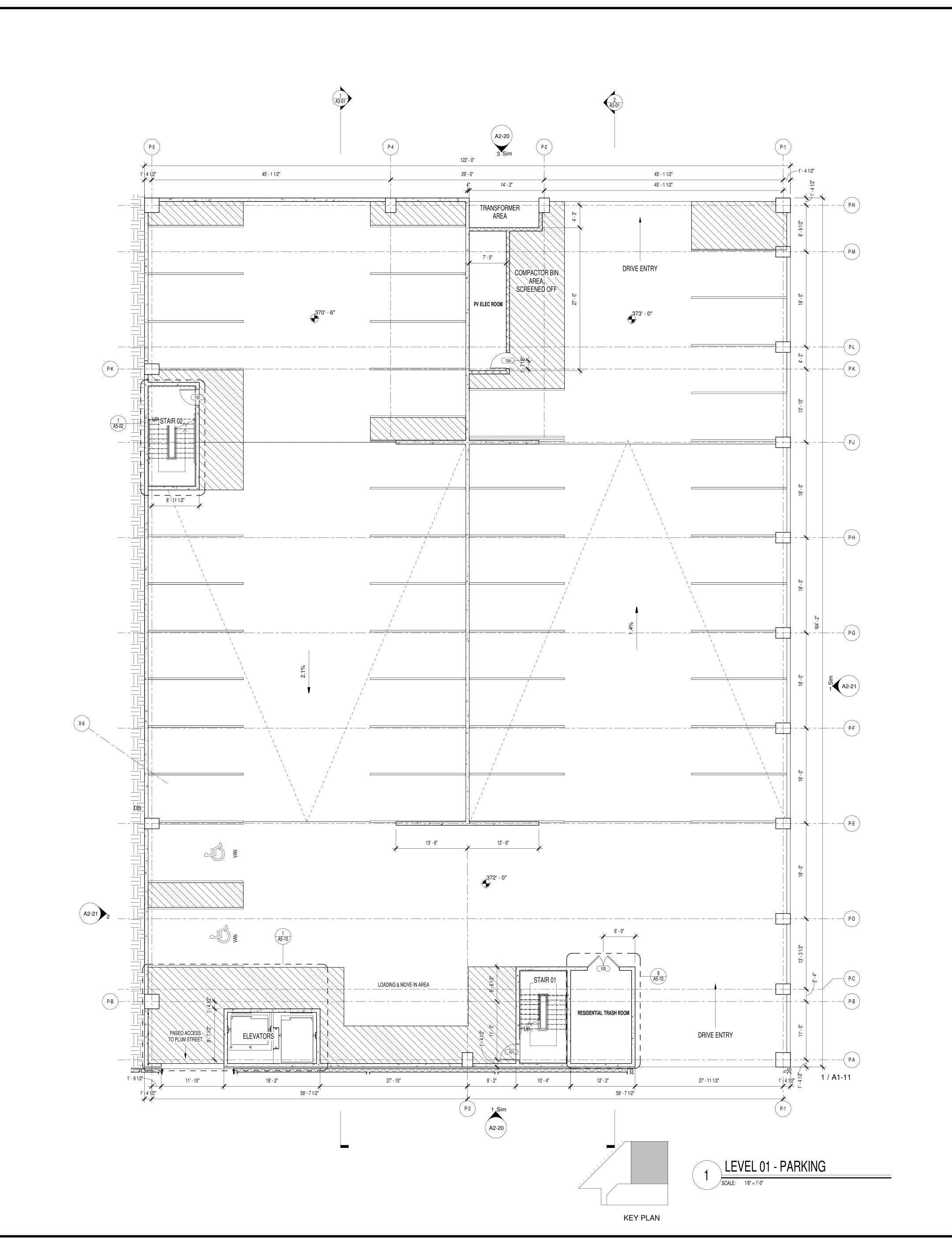
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GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON-BEARING WALLS: X HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOOR/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- B. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM

9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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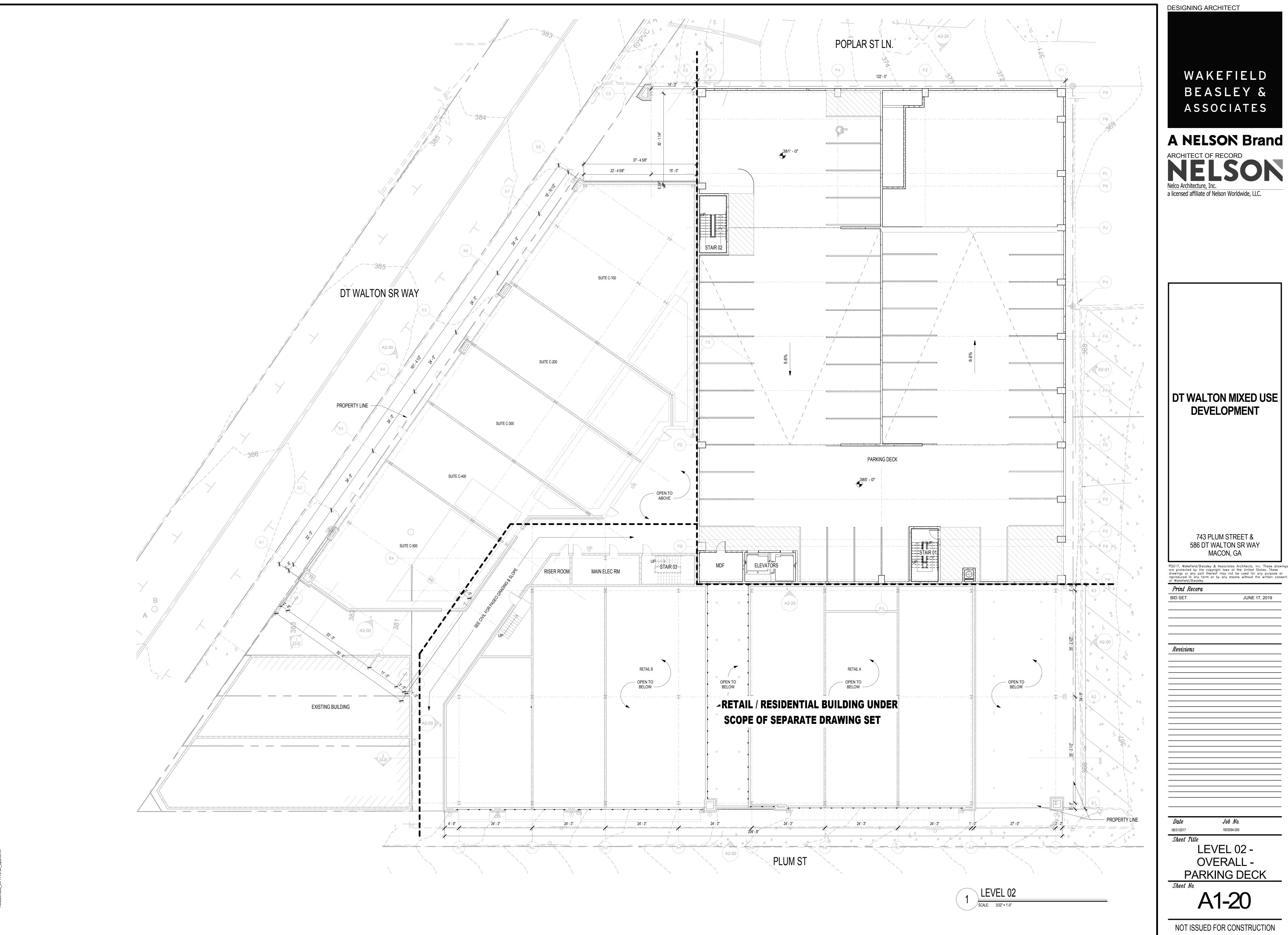
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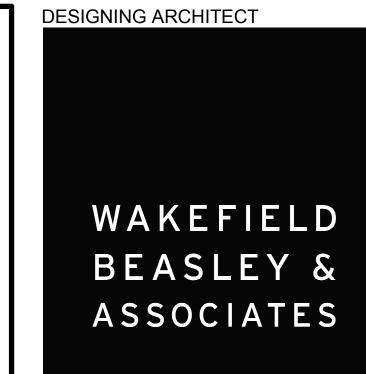
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LEVEL 01 - PARKING PLAN

Sheet No.

A1-13



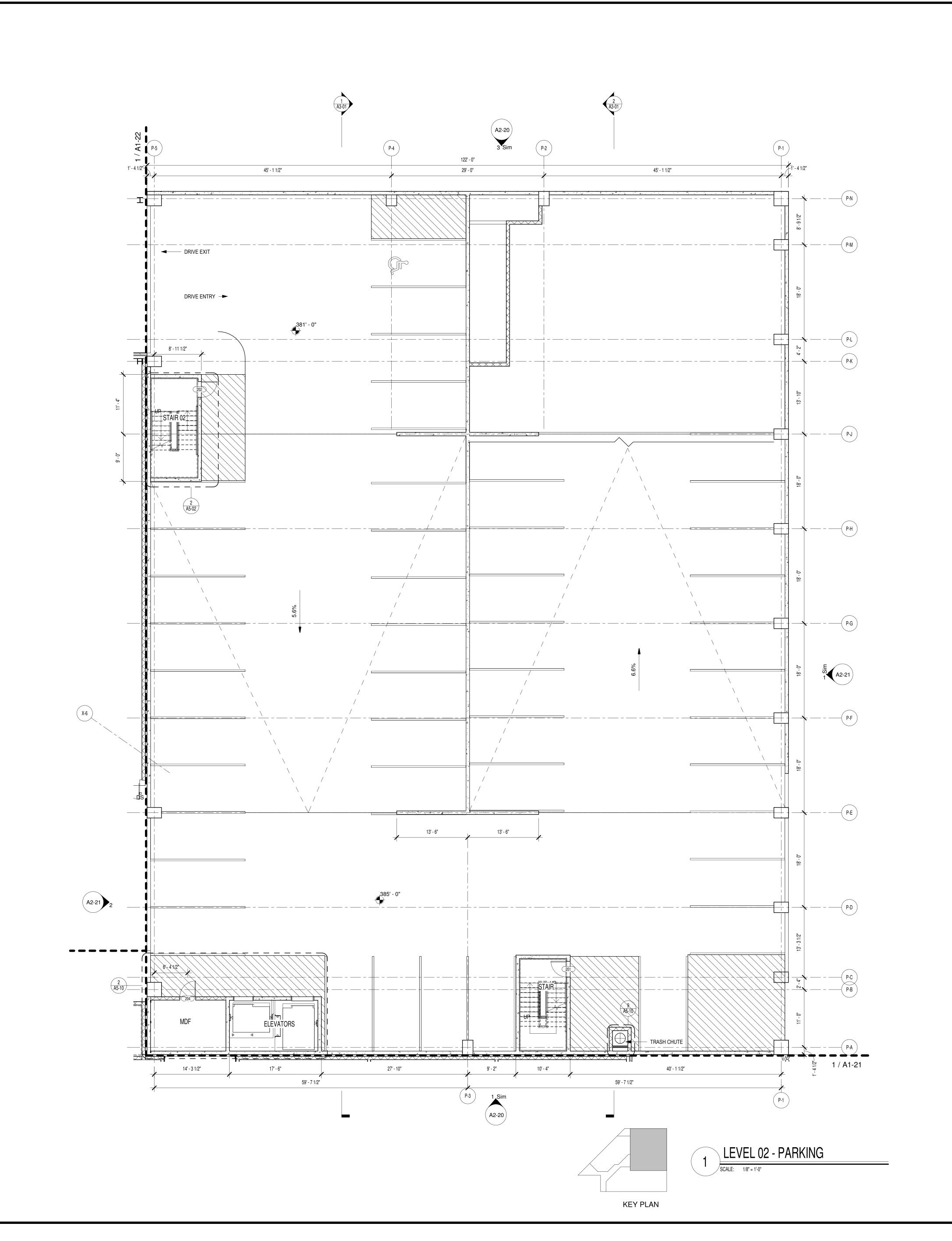


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Sheet Title LEVEL 02 -OVERALL -

PARKING DECK



GENERAL NOTES

TYPICAL FIRE RATINGS, U.N.O.: OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL) CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL) STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR EXTERIOR BEARING WALLS: 1 HR EXTERIOR NON-BEARING WALLS: X HR INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.) UNIT DEMISING WALLS: 1 HR SHAFT WALLS: 2 HR FLOOR/CEILING & ROOF/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING. 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
- 9. REFER TO UNIT PLANS (A4-10 A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR

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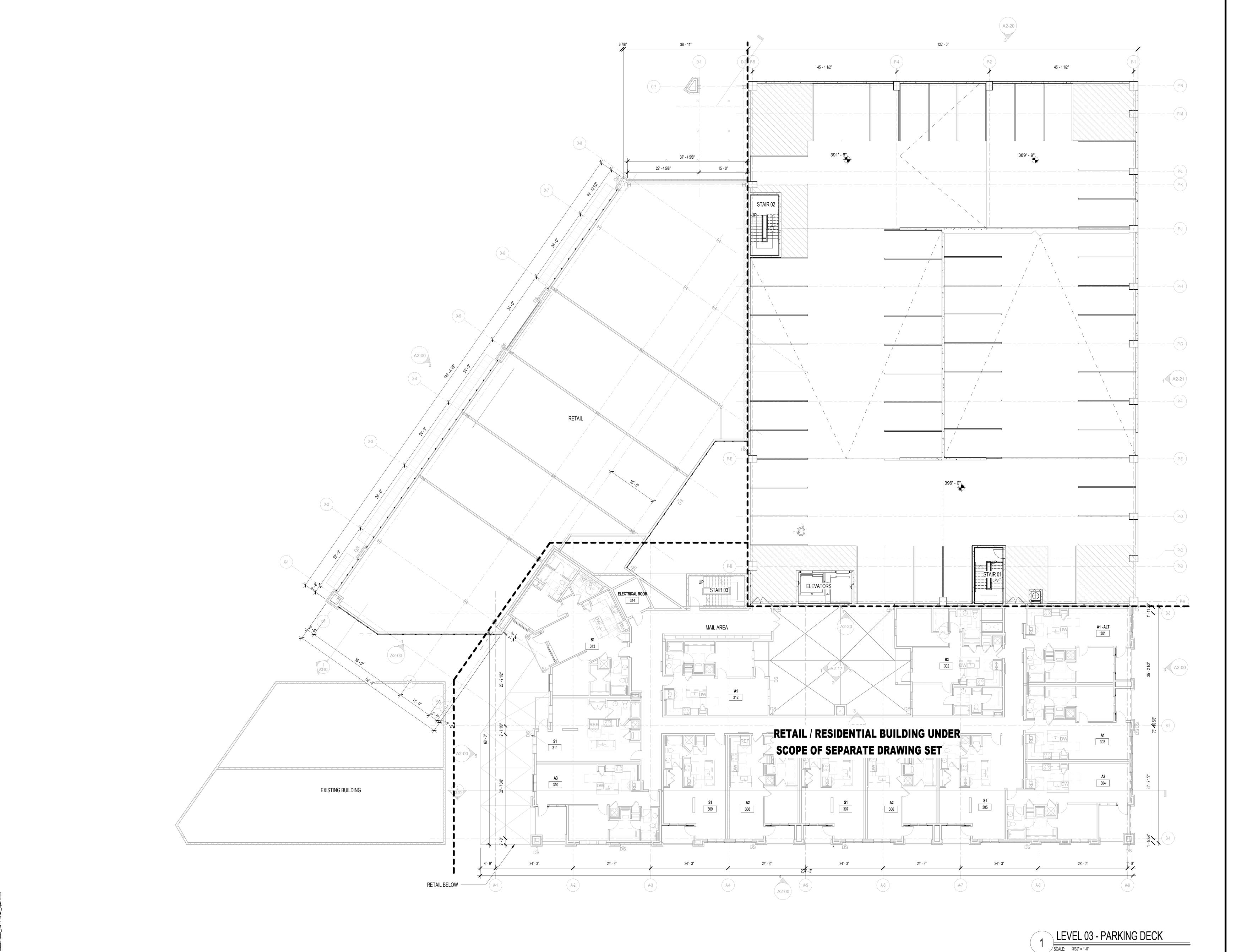
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LEVEL 02 - PARKING PLAN

A1-23



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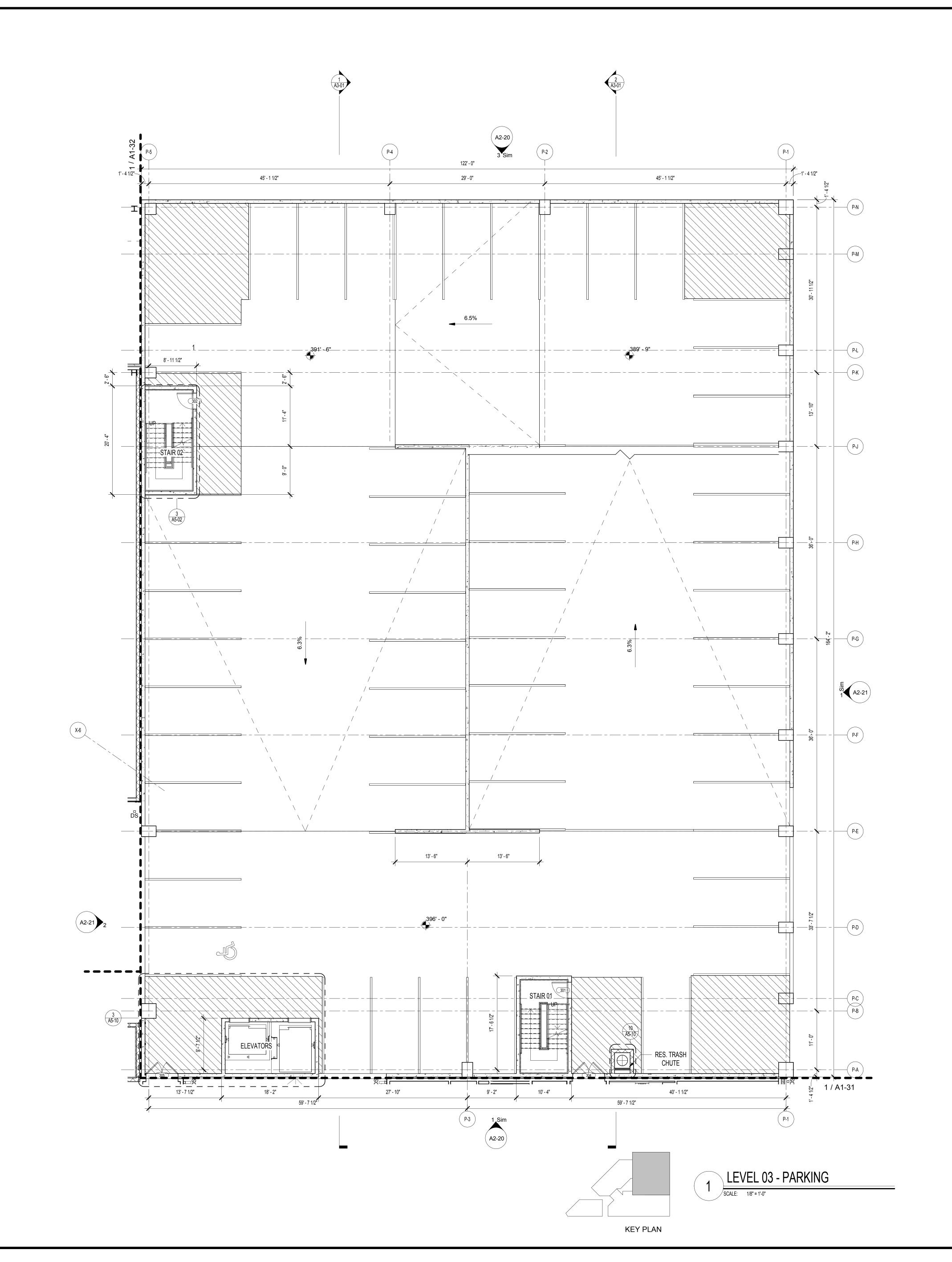
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Sheet Title
LEVEL 03 OVERALL PARKING DECK

Sheet No. **A1-30**



GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON-BEARING WALLS: X HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOOR/CEILING & ROOF/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM
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9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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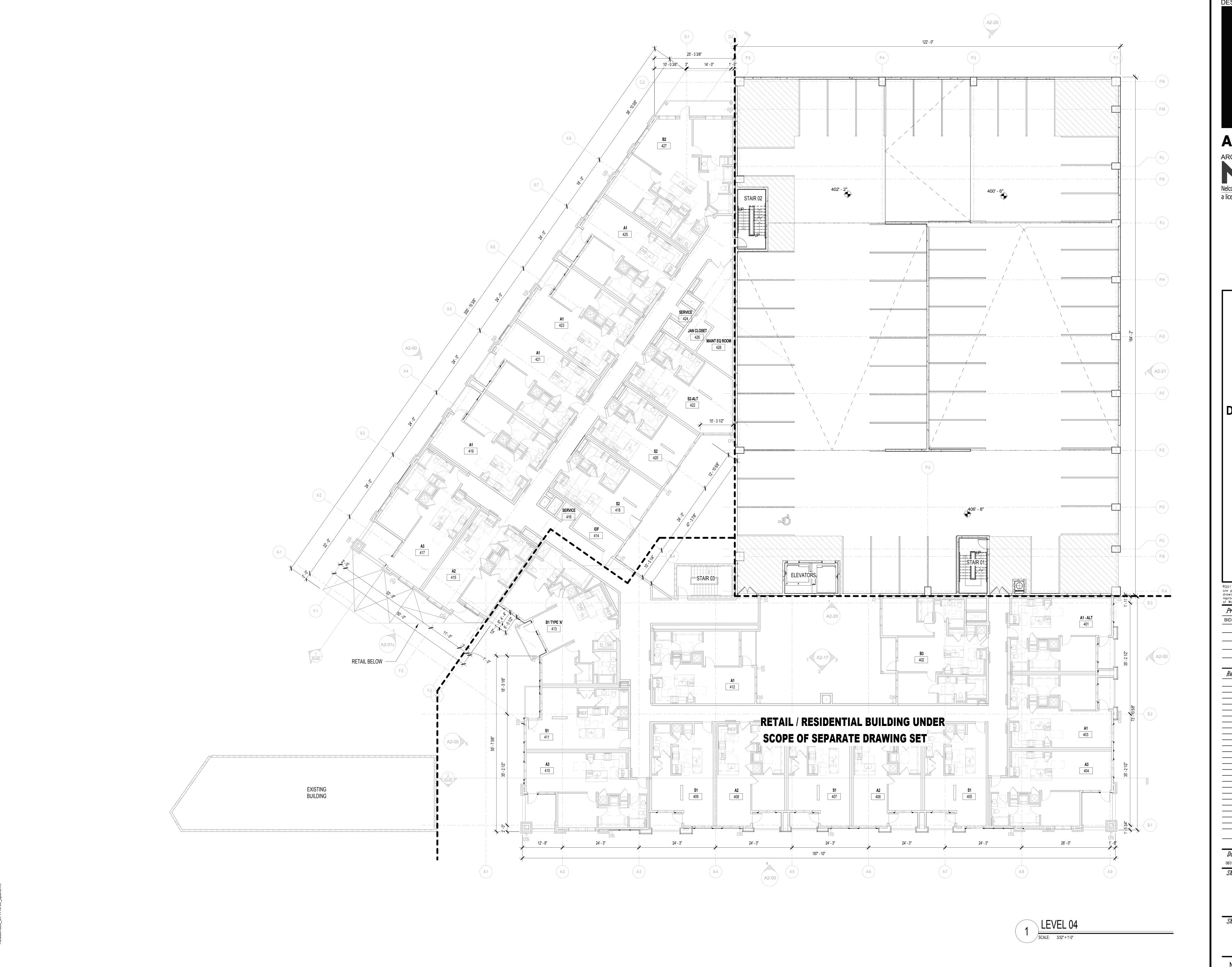
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LEVEL 03 - PARKING PLAN

Sheet No.

A1-33



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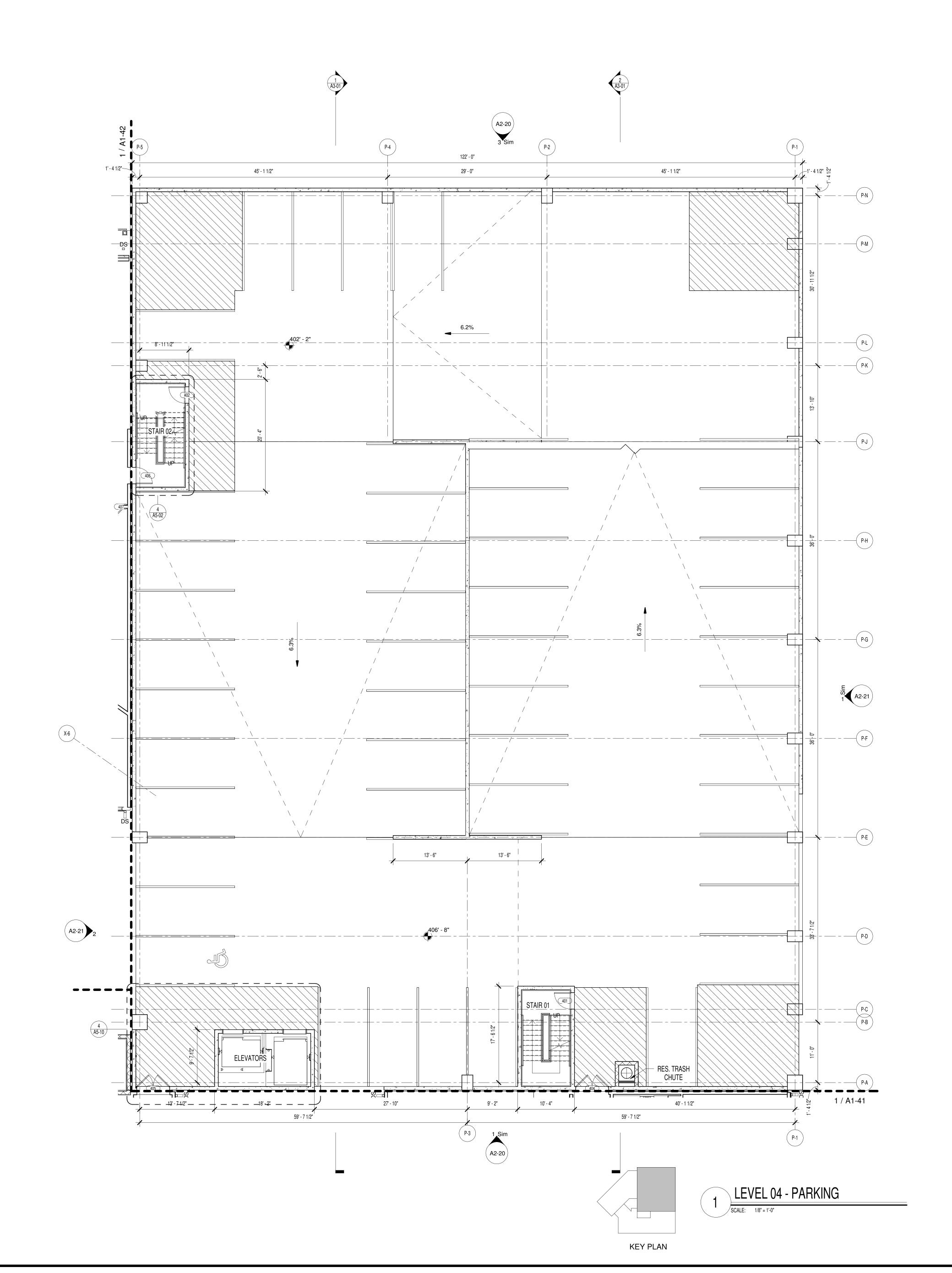
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A1-40



GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON-BEARING WALLS: X HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)

EXTERIOR NON-BEARING WALLS: X HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR
FLOOR/CEILING & ROOF/CEILING: 1 HR

- 2. SEE SHEET A6-12 FOR SHAFT DETAILS
- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM

9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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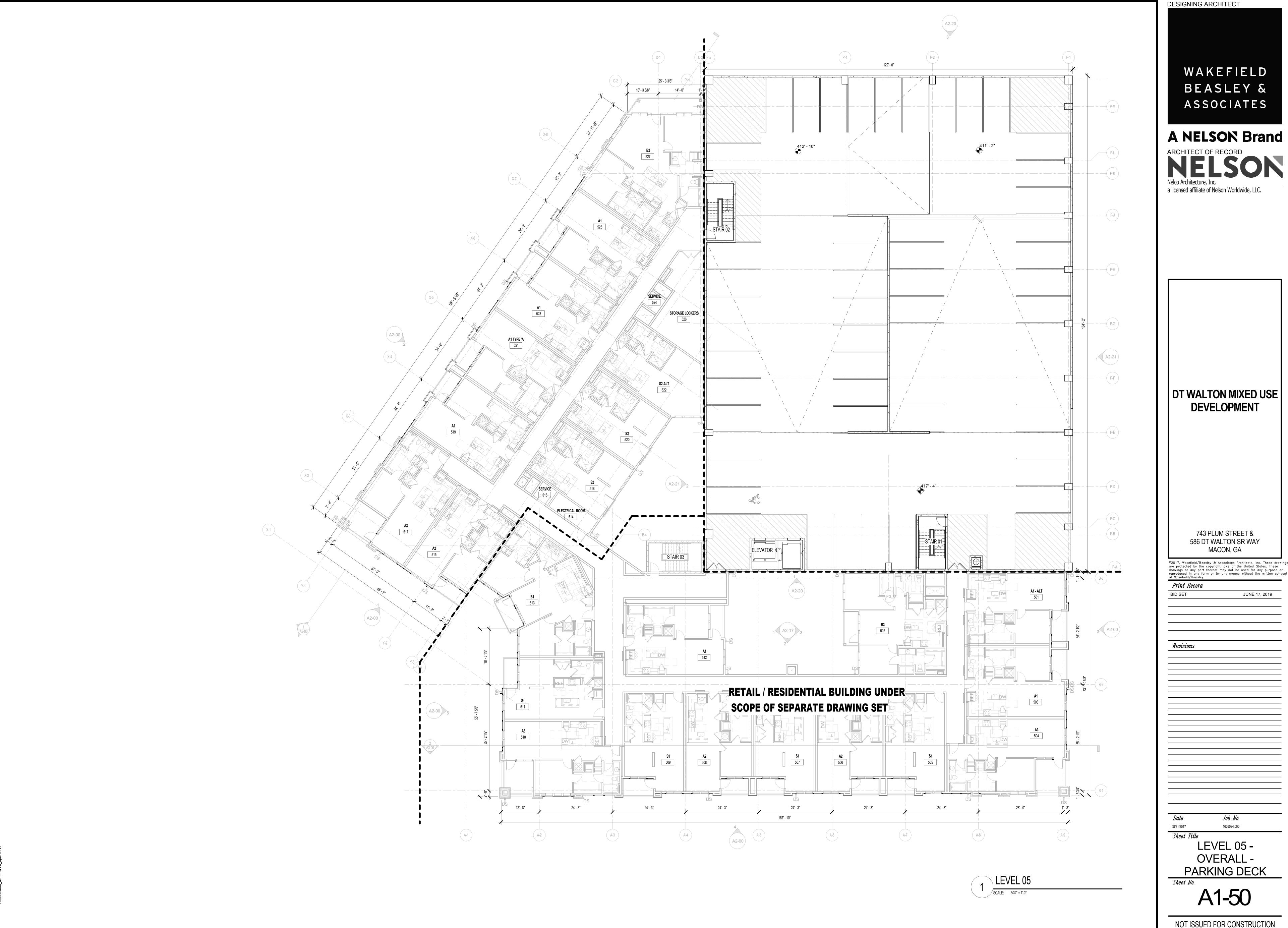
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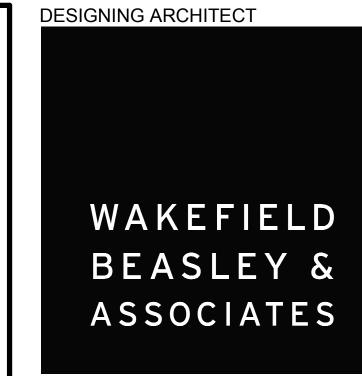
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LEVEL 04 - PARKING PLAN

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A1-43





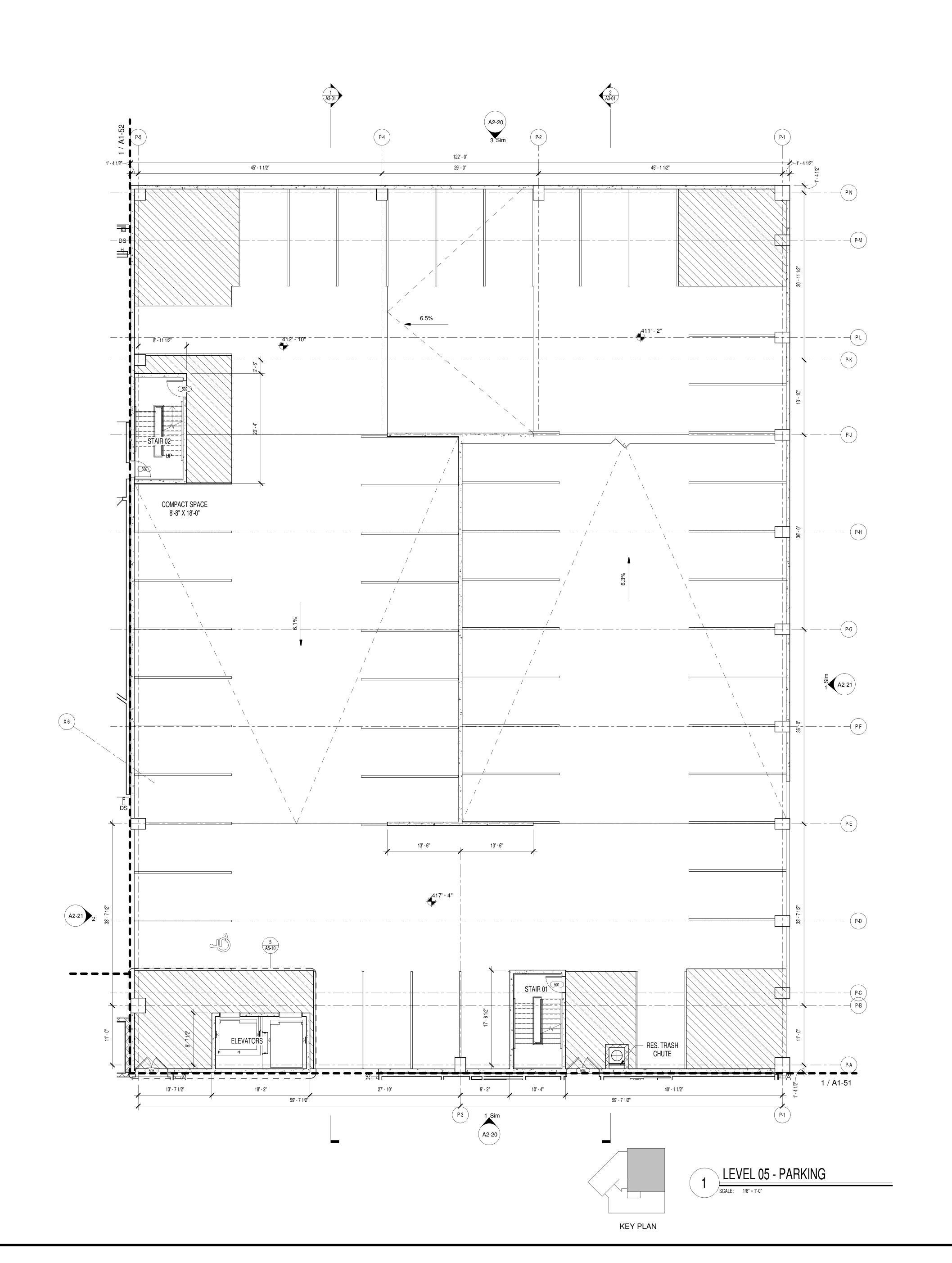
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A1-50



GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
 OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
 CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
 STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
 EXTERIOR BEARING WALLS: 1 HR
 EXTERIOR NON-BEARING WALLS: X HR
 INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
 INTERIOR NON-BEARING WALLS: X HR
 CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.)
 UNIT DEMISING WALLS: 1 HR
 SHAFT WALLS: 2 HR

FLOOR/CEILING & ROOF/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM

 9. REFER TO UNIT PLANS (A4-10 A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR

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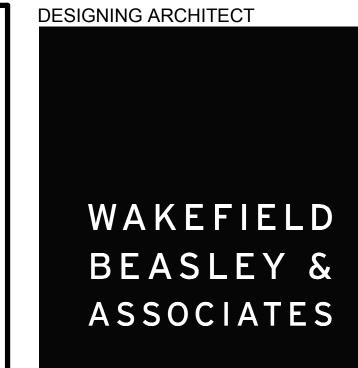
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LEVEL 05 - PARKING PLAN

Sheet No.

A1-53





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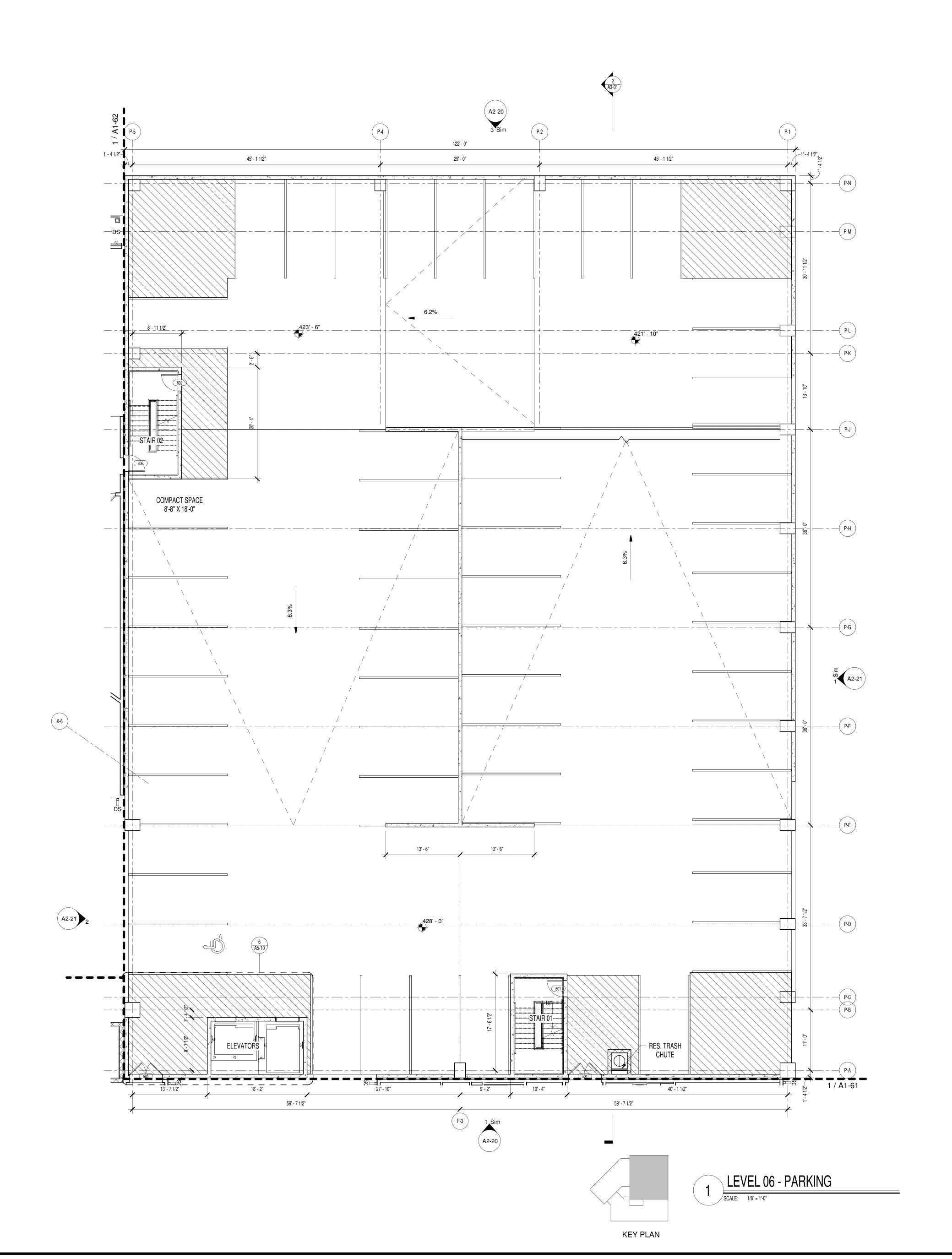
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Sheet Title

LEVEL 06
OVERALL -

PARKING DECK

A1-60



GENERAL NOTES

1. TYPICAL FIRE RATINGS, U.N.O.:
OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL)
CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL)
STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR
EXTERIOR BEARING WALLS: 1 HR
EXTERIOR NON-BEARING WALLS: X HR
INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.)
INTERIOR NON-BEARING WALLS: X HR
CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.)
UNIT DEMISING WALLS: 1 HR
SHAFT WALLS: 2 HR

FLOOR/CEILING & ROOF/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- 7. TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM

 8. PEFER TO UNIT BLANK (A4.10, A4.23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DO

9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR TAGS.

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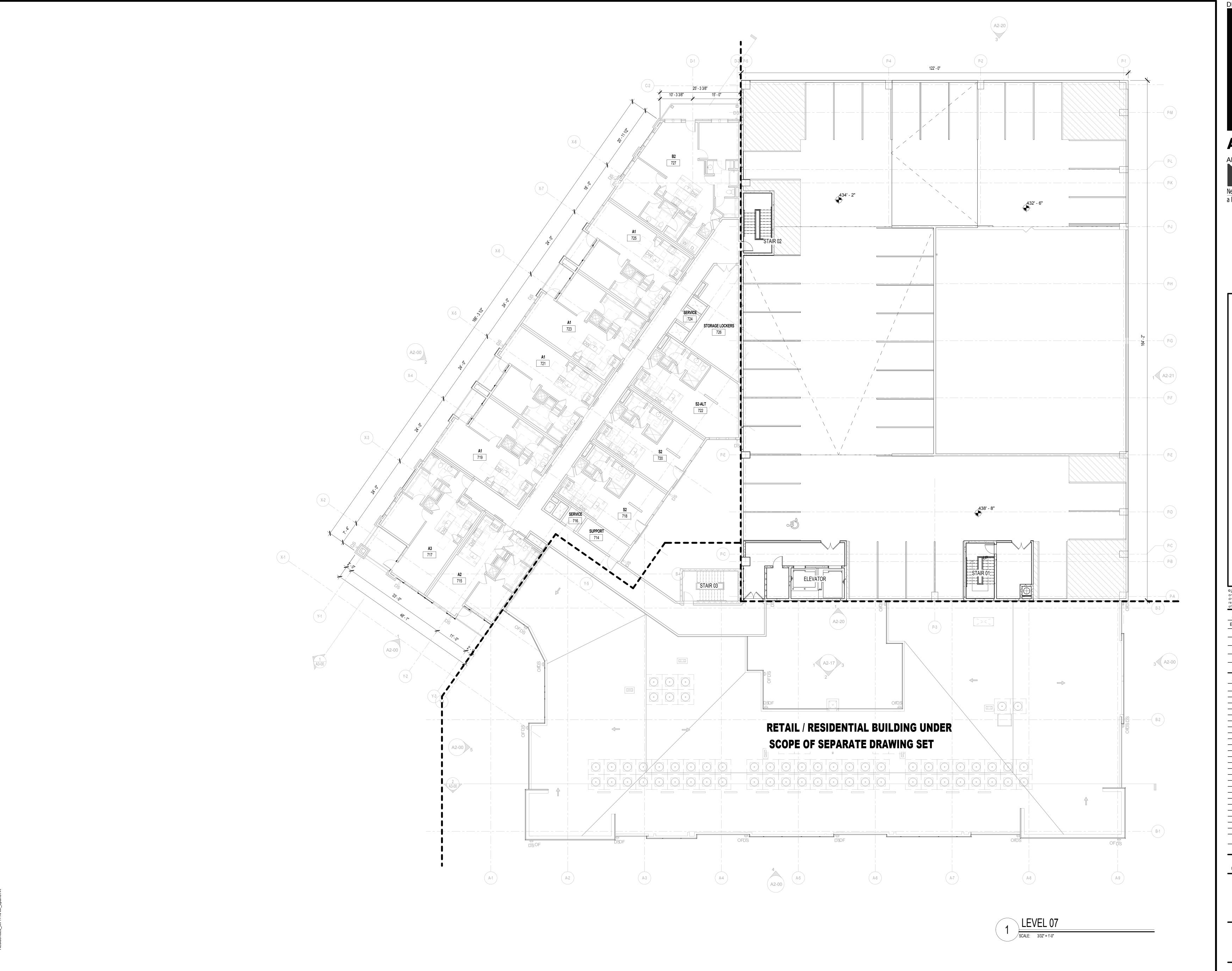
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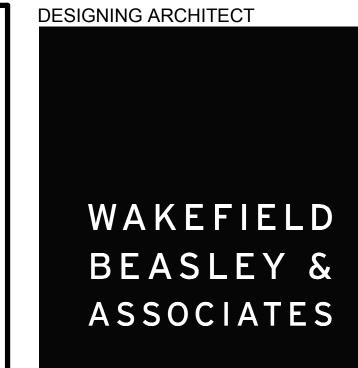
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LEVEL 06 - PARKING PLAN

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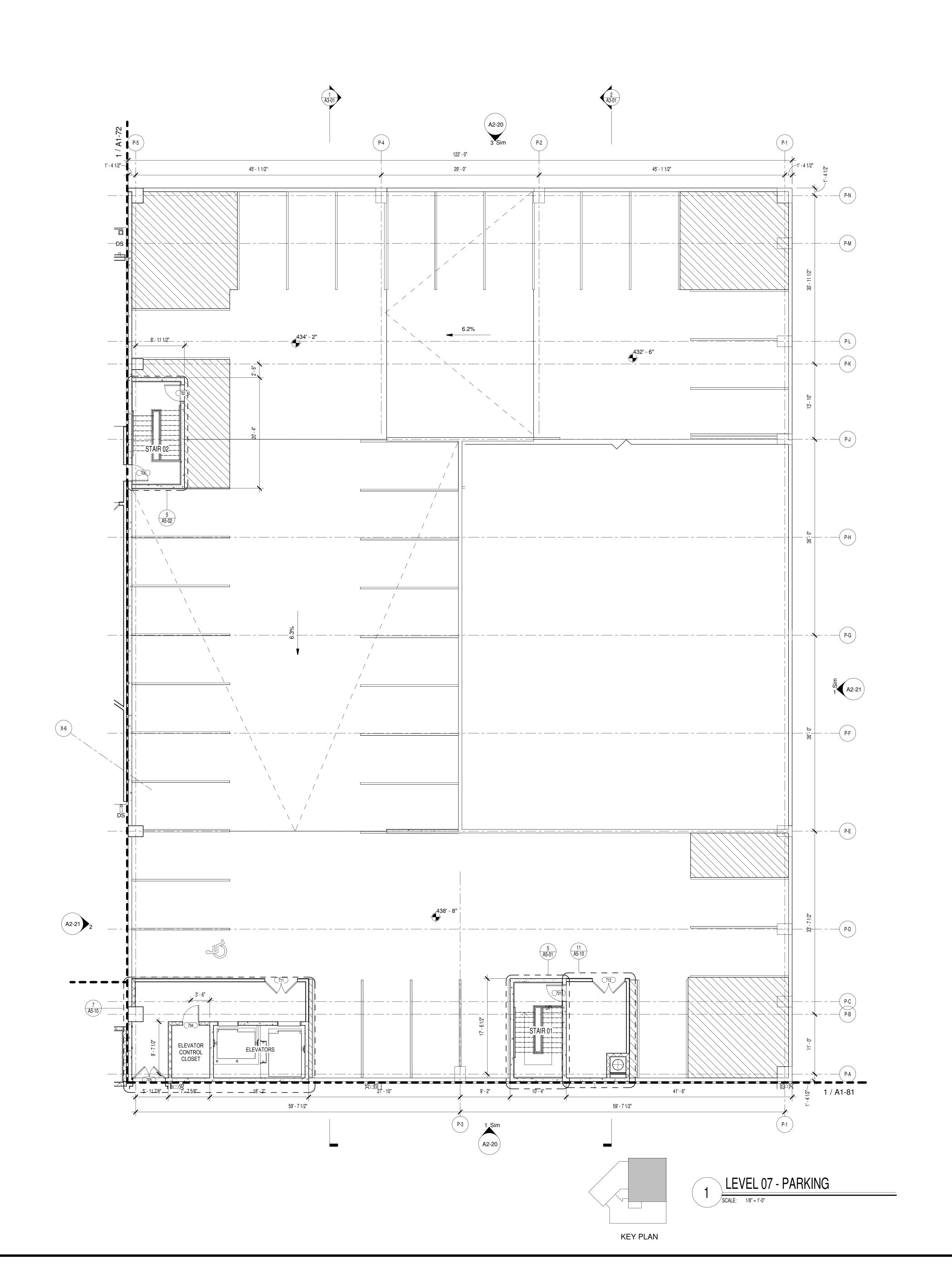
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LEVEL 07
OVERALL
PARKING DECK

Sheet No.

Sheet No. **A1-70**



GENERAL NOTES

TYPICAL FIRE RATINGS, U.N.O.: OCCUPANCY SEPARATION: 2 HR (WALLS BETWEEN PARKING/RESIDENTIAL) CONSTRUCTION TYPE SEPARATION: 3 HR (SLAB BETWEEN RETAIL/RESIDENTIAL) STRUCTURAL COLUMNS, GIRDERS, BEAMS, TRUSSES, ARCHES: 1 HR EXTERIOR BEARING WALLS: 1 HR EXTERIOR NON-BEARING WALLS: X HR INTERIOR BEARING WALLS: 1 HR (WALL TYPE 1A4 U.N.O.) INTERIOR NON-BEARING WALLS: X HR CORRIDOR WALLS: 1 HR (WALL TYPE 1C6 U.N.O.) UNIT DEMISING WALLS: 1 HR SHAFT WALLS: 2 HR FLOOR/CEILING & ROOF/CEILING: 1 HR

2. SEE SHEET A6-12 FOR SHAFT DETAILS

- 3. ALL PLAN DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE, U.N.O.
- 4. DIMENSIONS TAKEN FROM AIR GAP STUD FACE OF UNIT DEMISING WALL WHERE UNIT IS SHOWN ON BOTH SIDES OF WALL.
- 5. SEE SHEETS T0-04 FOR WALL TYPE CONSTRUCTION DETAILS; REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND SPACING.
- 6. ALL DOORS TO BE LOCATED 4" OFF FACE OF ADJACENT WALL, OR CENTERED ON ROOM U.N.O.
- TRAFFIC COATING APPLIED AT UNIT BALCONIES; SEE DETAILS
- 8. SPRAY INSULATION ANYWHERE WITH CONDITIONED SPACE ABOVE PODIUM

9. REFER TO UNIT PLANS (A4-10 - A4-23) FOR INTERIOR DIMENSIONS, PARTITIONS AND DOOR

DESIGNING ARCHITECT WAKEFIELD BEASLEY & ASSOCIATES

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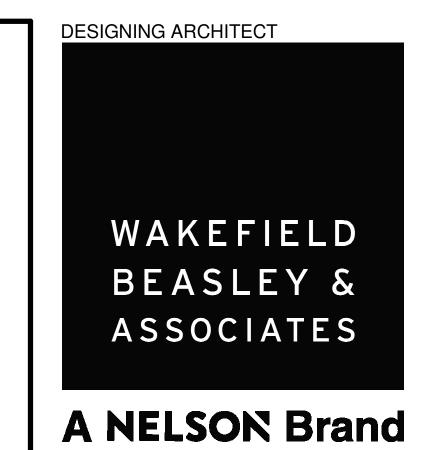
JUNE 17, 2019

Print Record

Sheet Title LEVEL 07 - PARKING PLAN

A1-73

PARKING DECK NATRUAL VENTILATION CALCULATIONS						
LEVEL	TOTAL AREA AREA	OPEN AREA	% OPEN	TOTAL PERIMETER	OPEN PERIMETER	% OPEN
01	7,600 SF	1,837 SF	24%	572'-4"	236'-3"	41%
02	6,186 SF	1,311SF	21%	572'-4"	256'-9"	45%
03	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
04	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
05	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
06	6,110 SF	1,231 SF	20%	572'-4"	297'-1"	52%
07	N/A	N/A	N/A	N/A	N/A	N/A

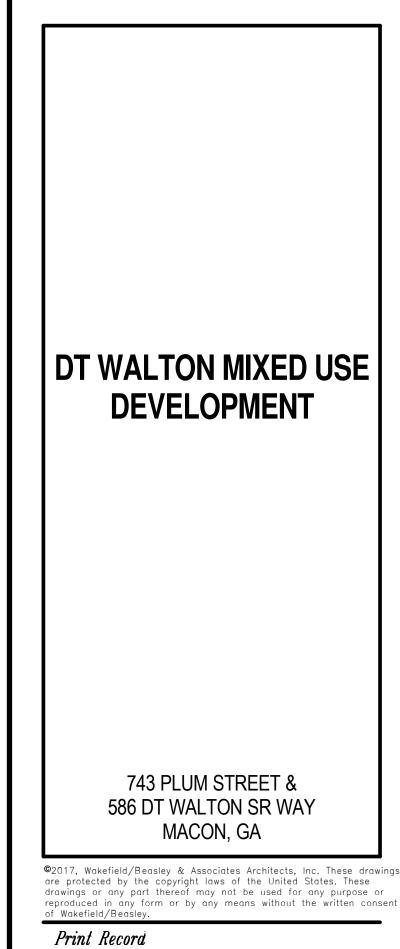


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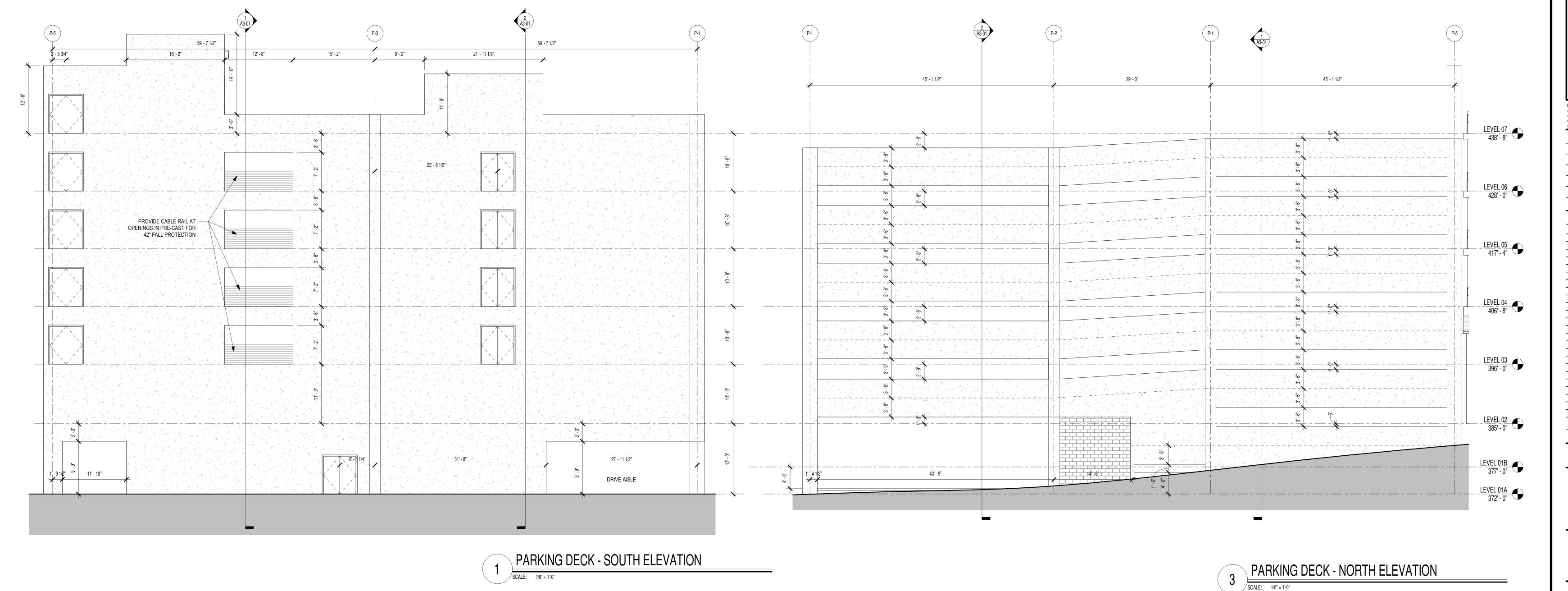


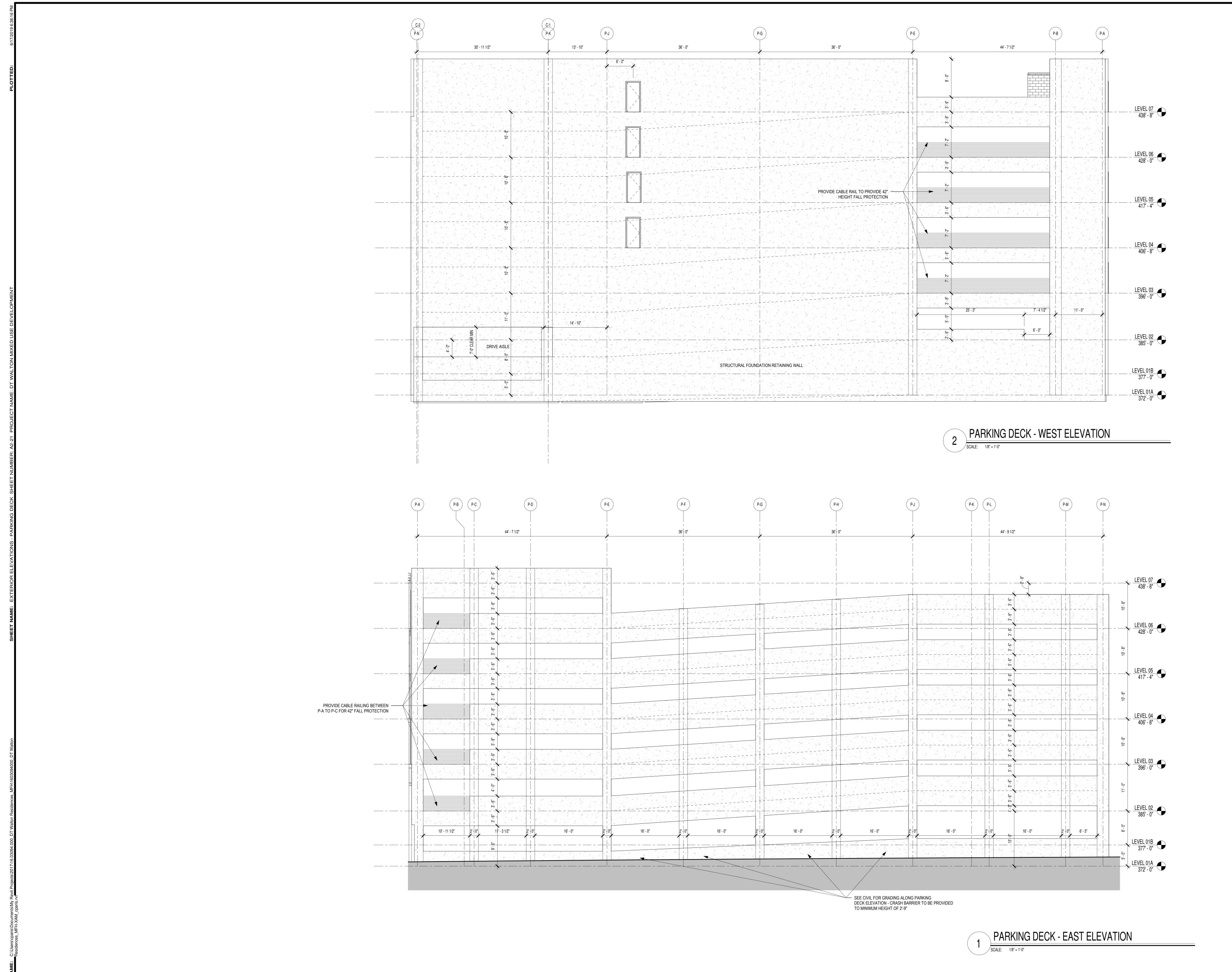
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JUNE 17, 2019

PARKING DECK
Sheet No.

A2-20





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BID SET JUNE 17, 2019

 Date
 Job No.

 08/31/2017
 1603094.000

Sheet Title
EXTERIOR
ELEVATIONS PARKING DECK

A2-21

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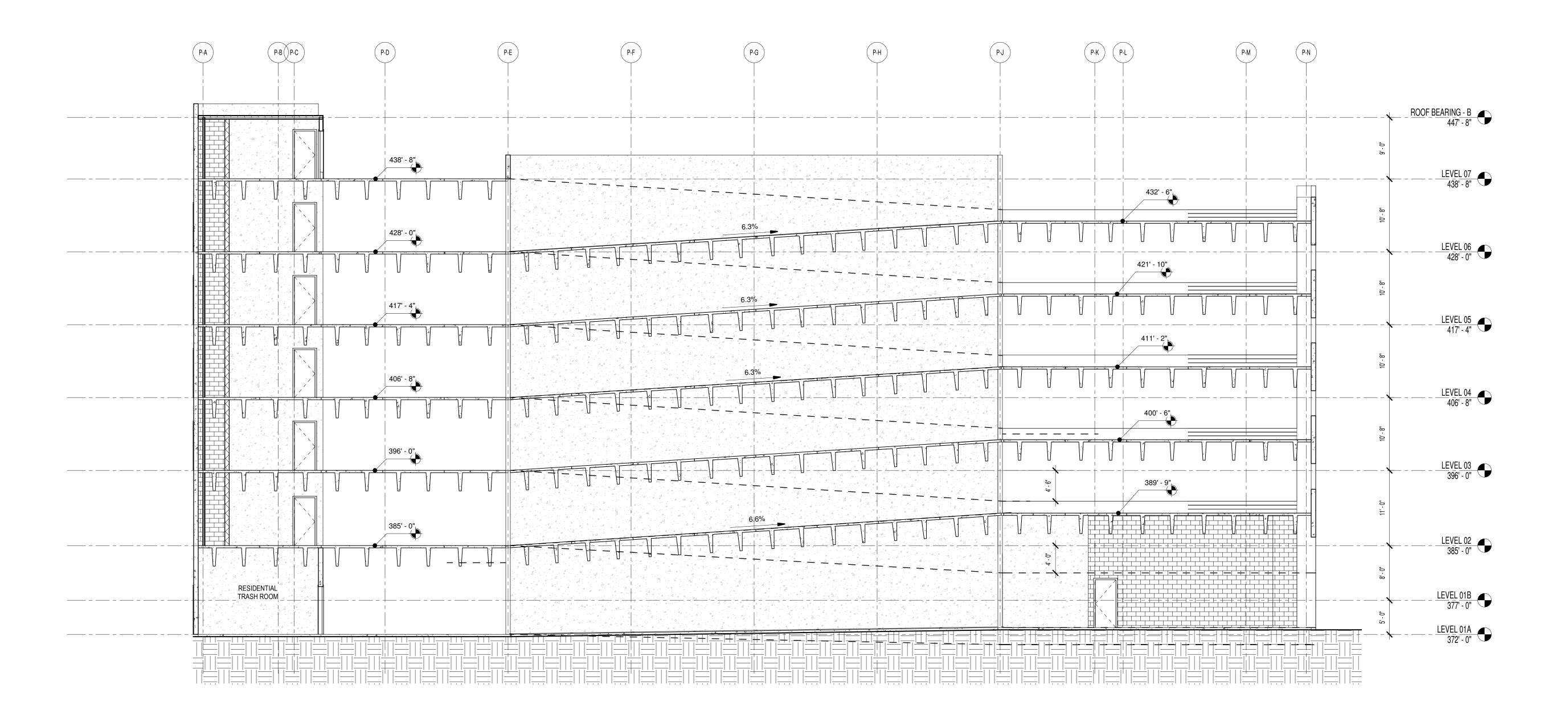
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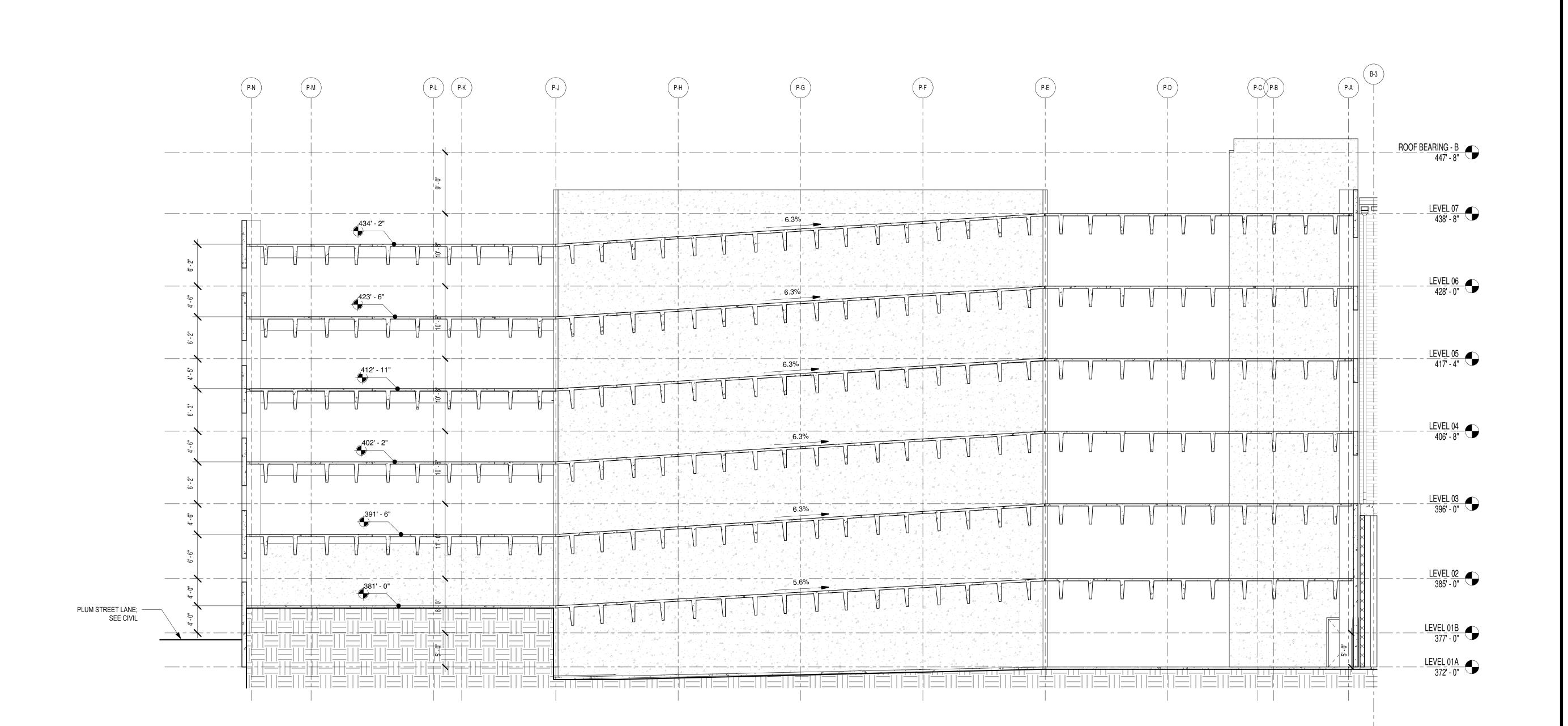
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Sheet Title
PARKING DECK
NORTH ELEVATION

ALTERNATE
Sheet No.

A2-22





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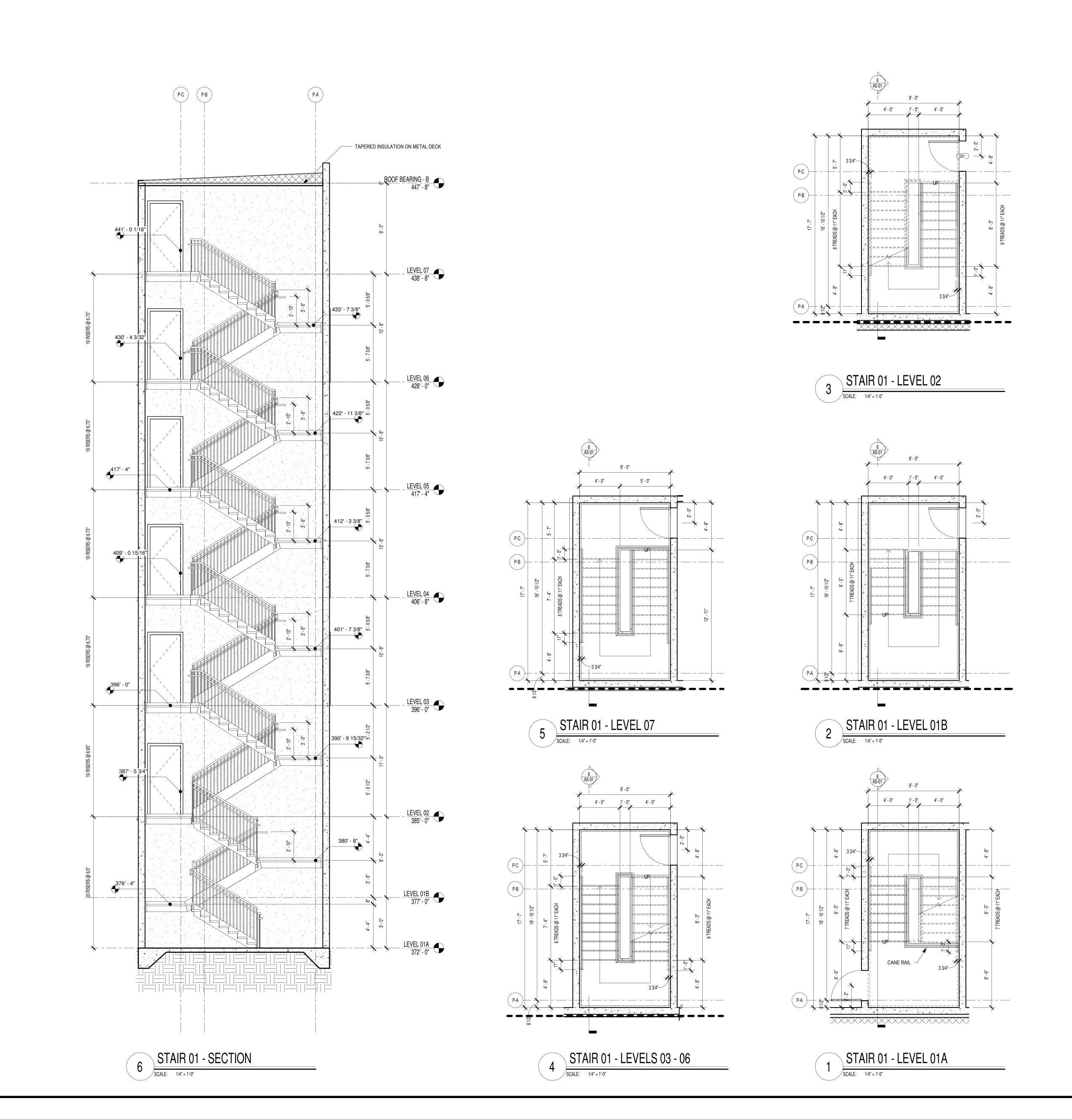
Revisions

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ate	Job No.	
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SECTIONS -PARKING DECK

A3-01



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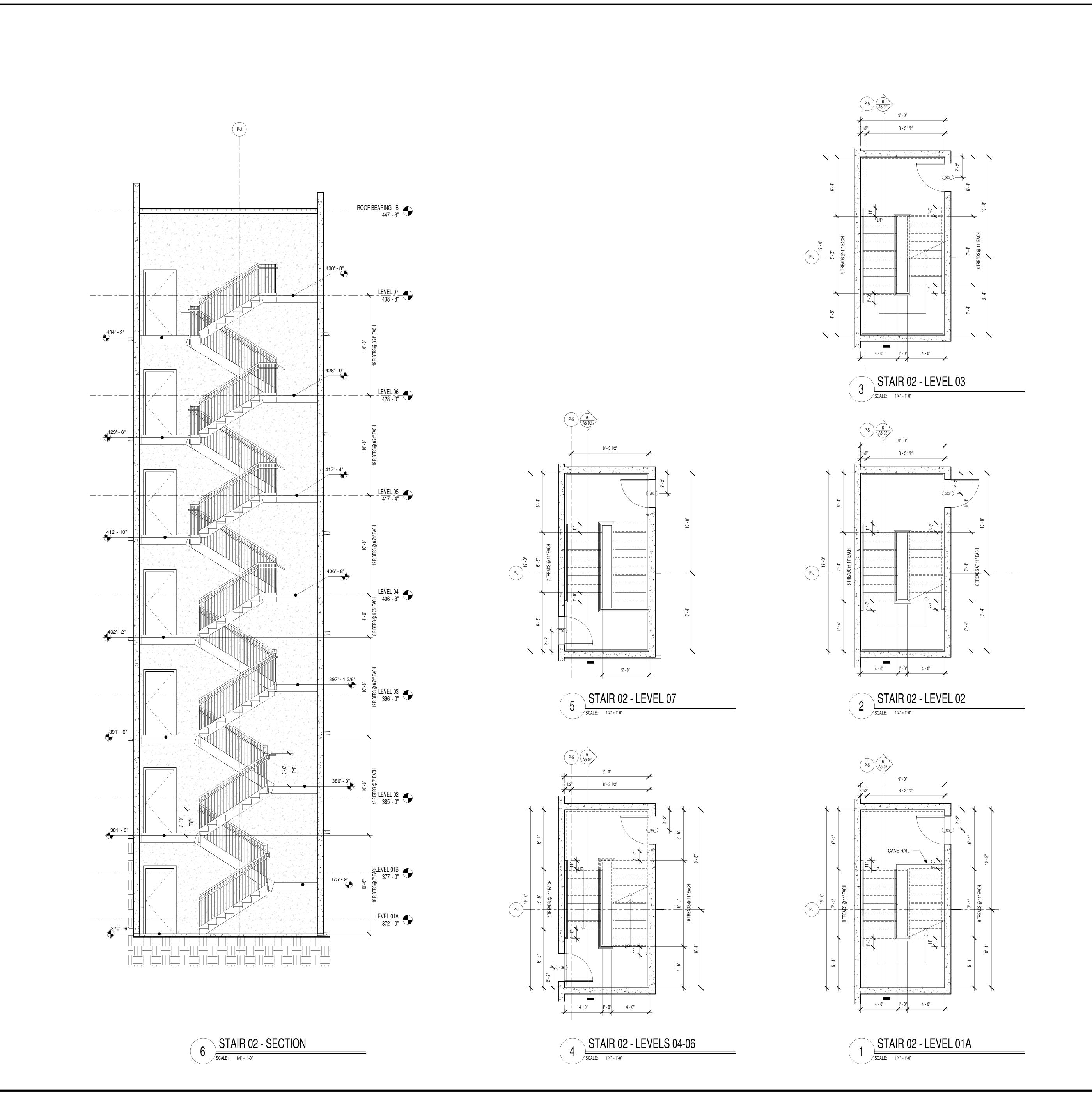
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A5-01

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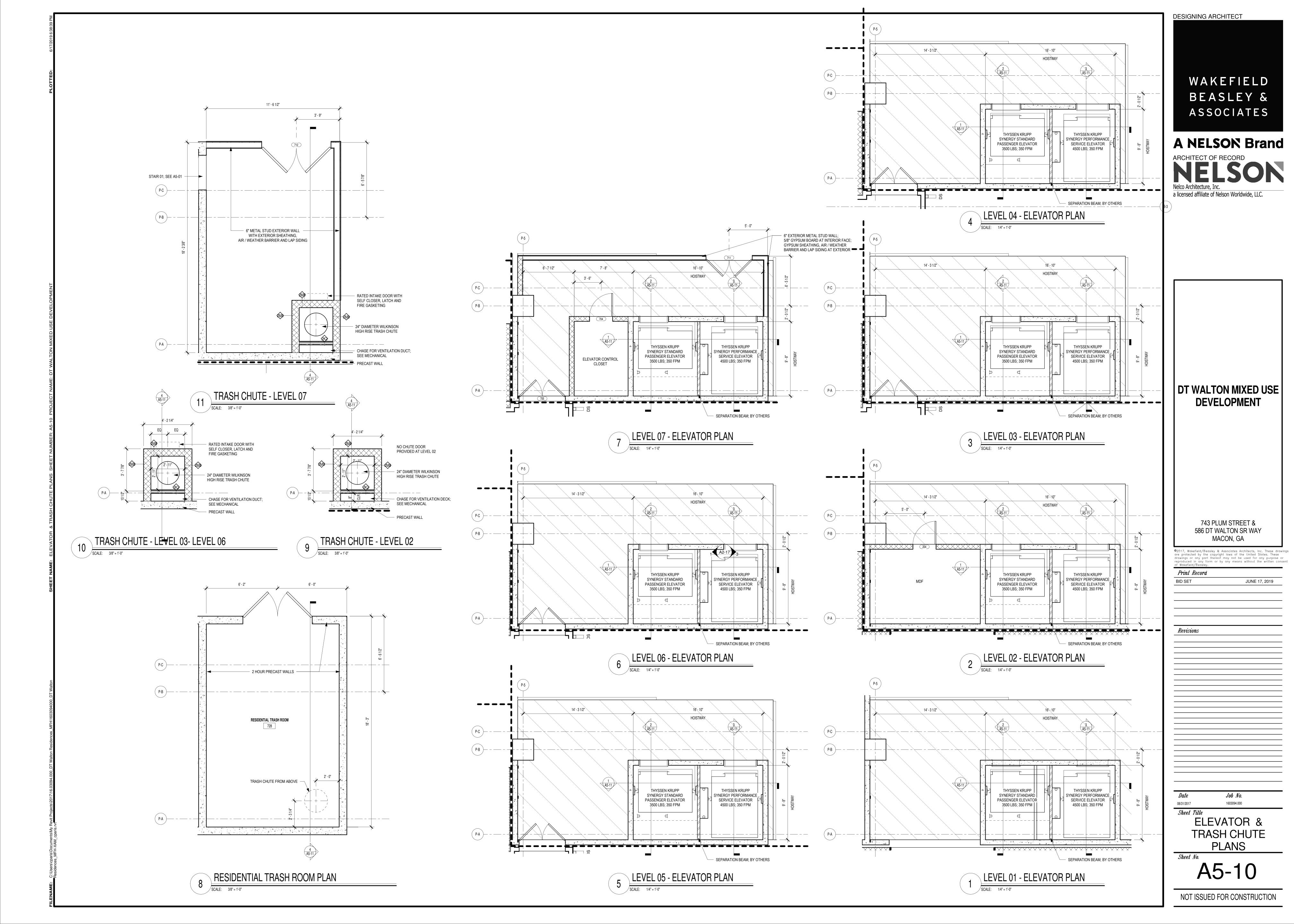
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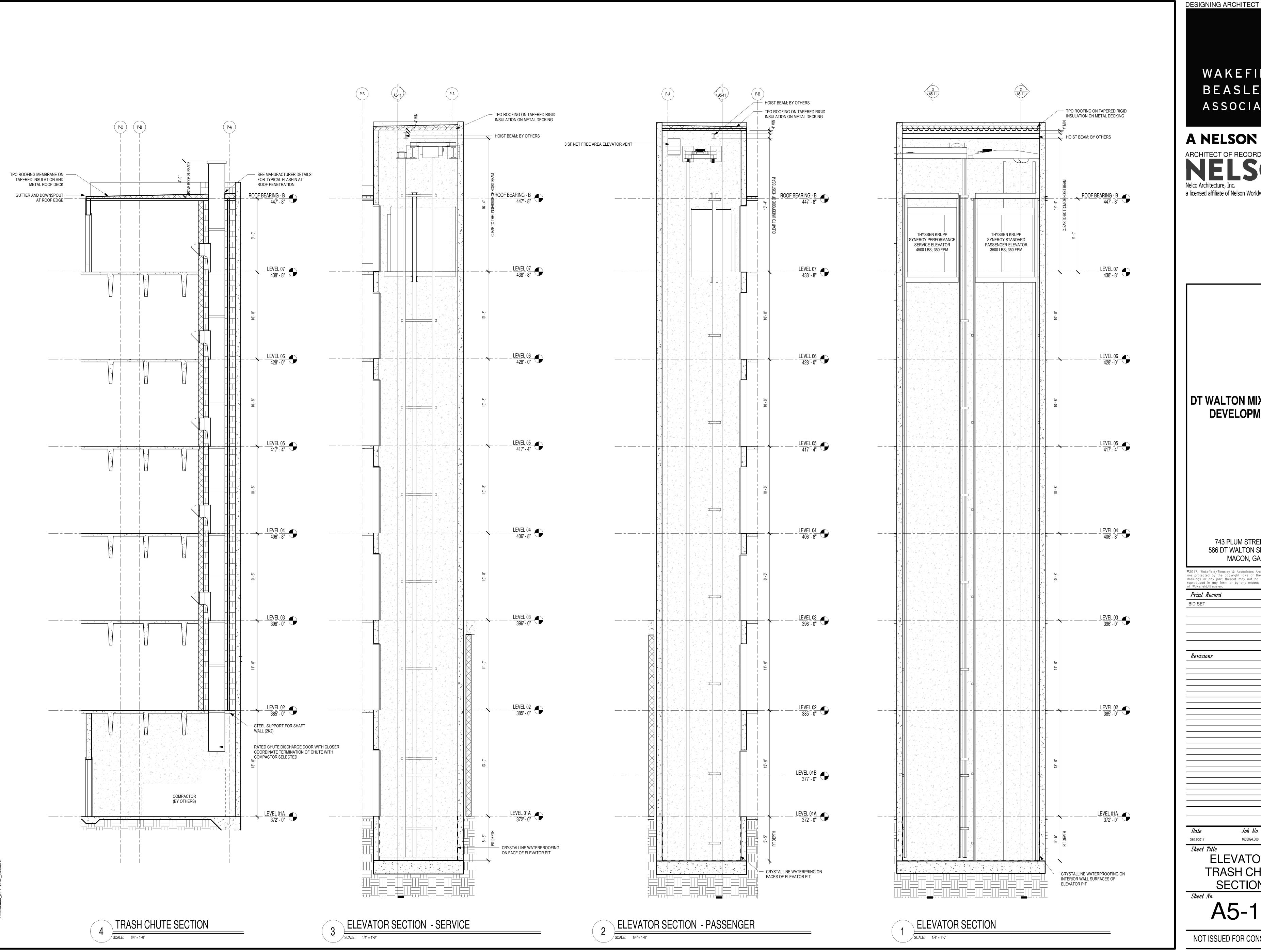
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STAIR 02

A5-02





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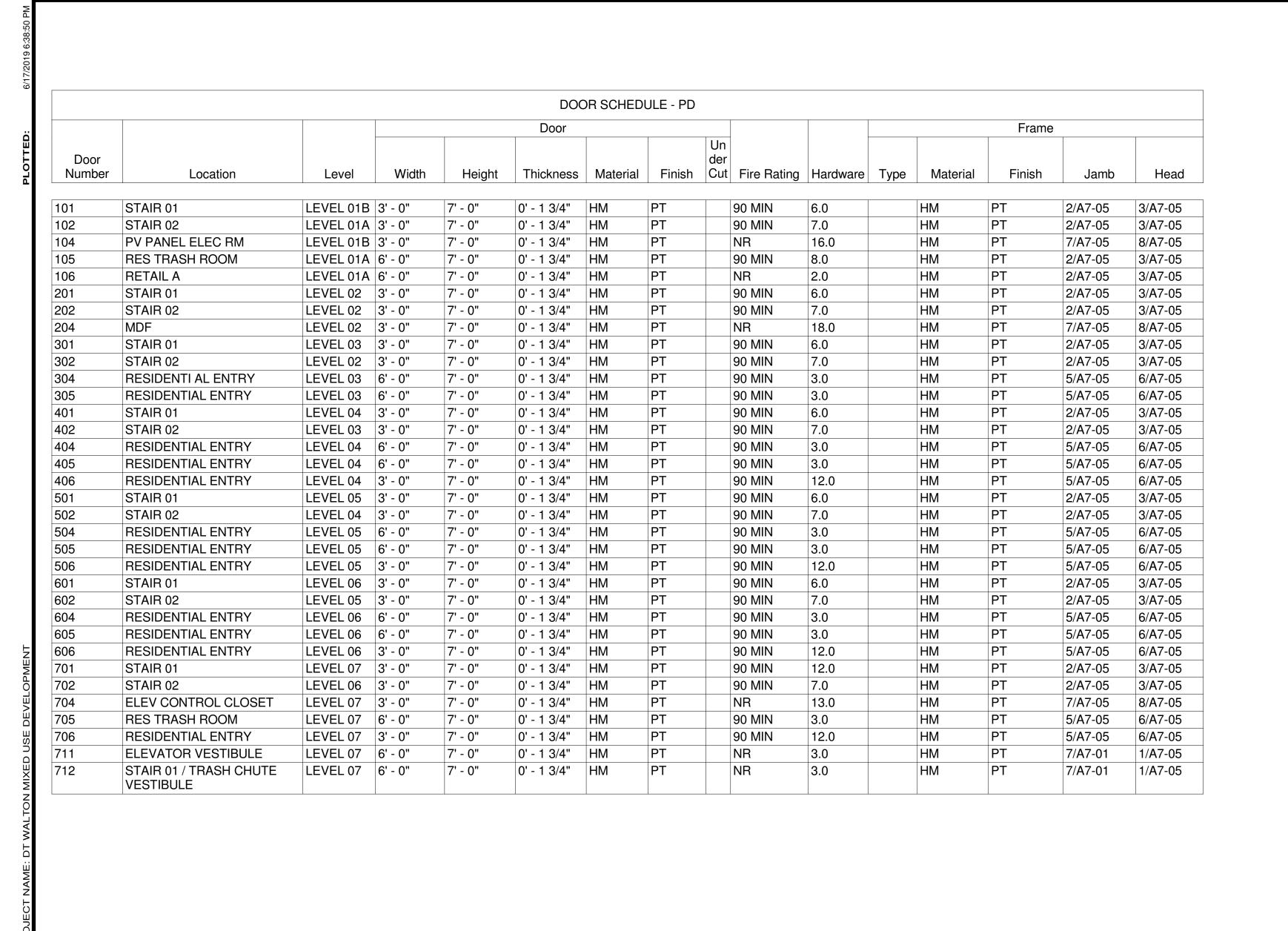
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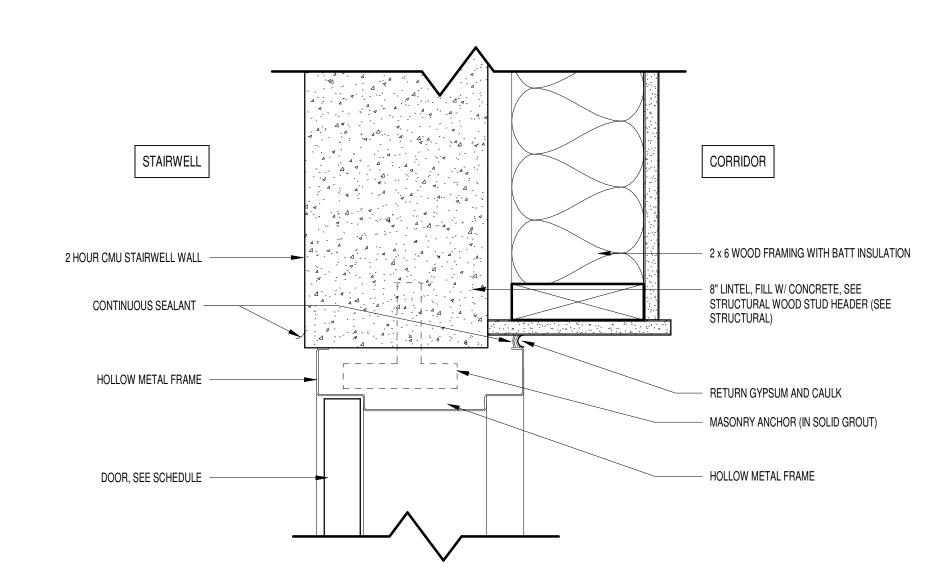
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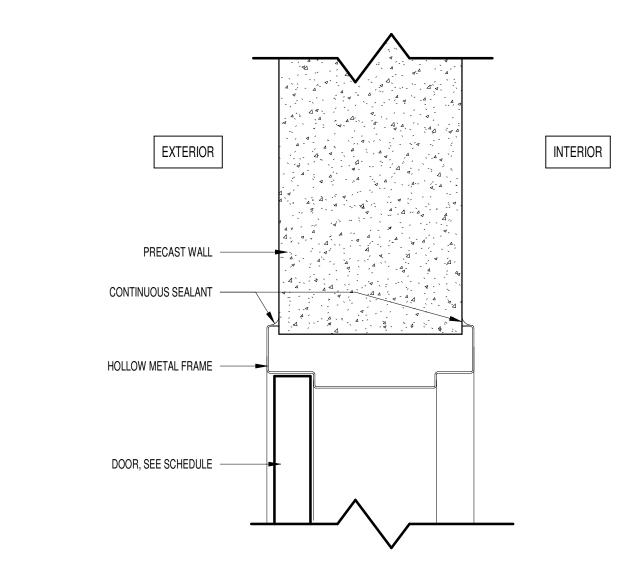
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ELEVATOR & TRASH CHUTE SECTIONS

Sheet No. A5-11

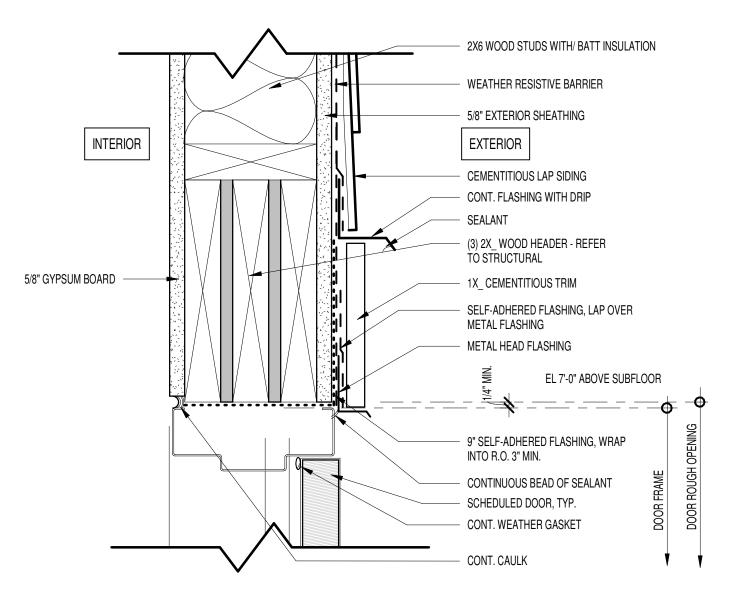


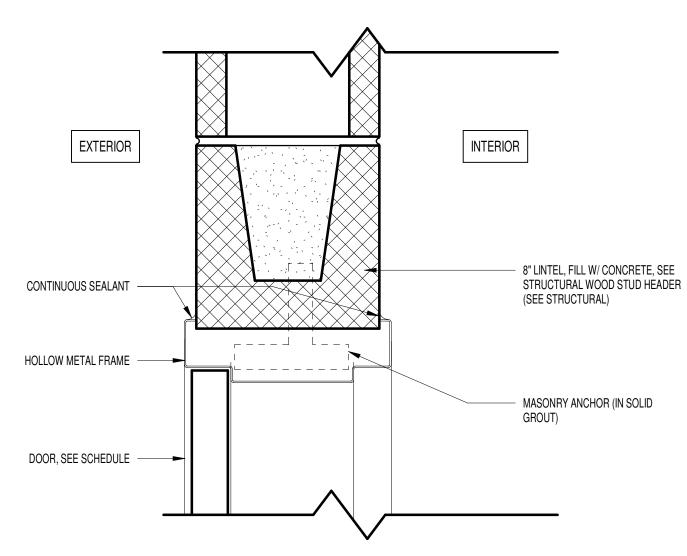


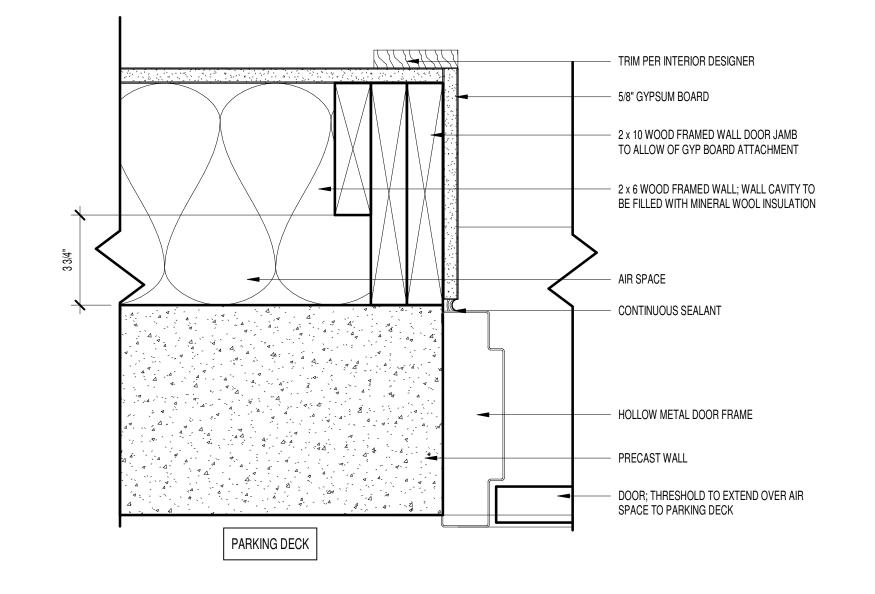


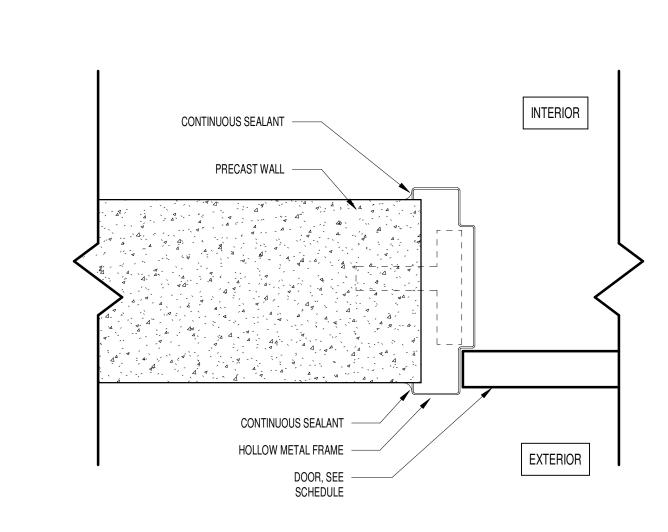
DOOR HEAD @ PRECAST - WOOD STUD 6 WALL
SCALE: 3" = 1'-0"







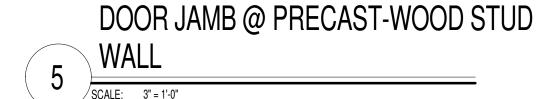




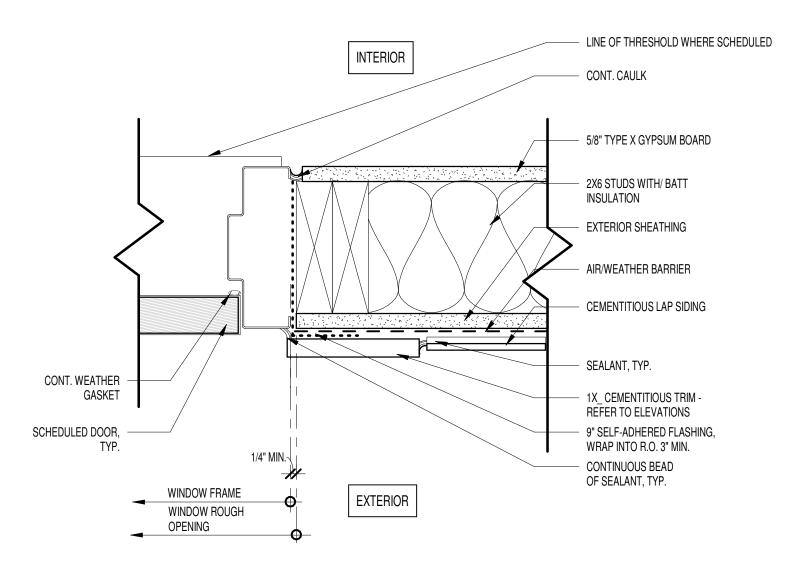
DOOR HEAD @ SIDING - PD

/ SCALE: 3" = 1'-0"

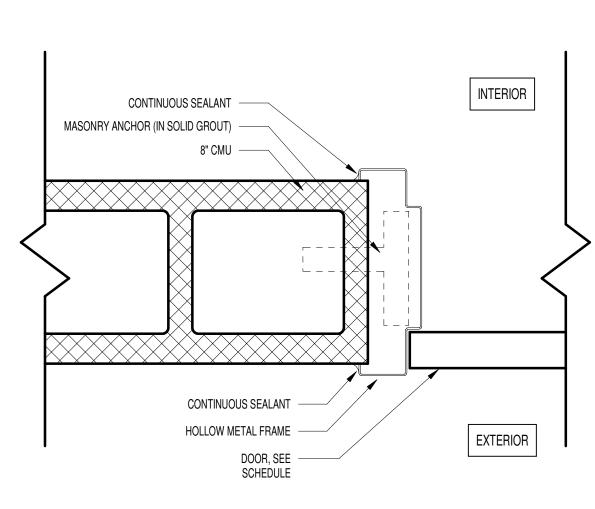


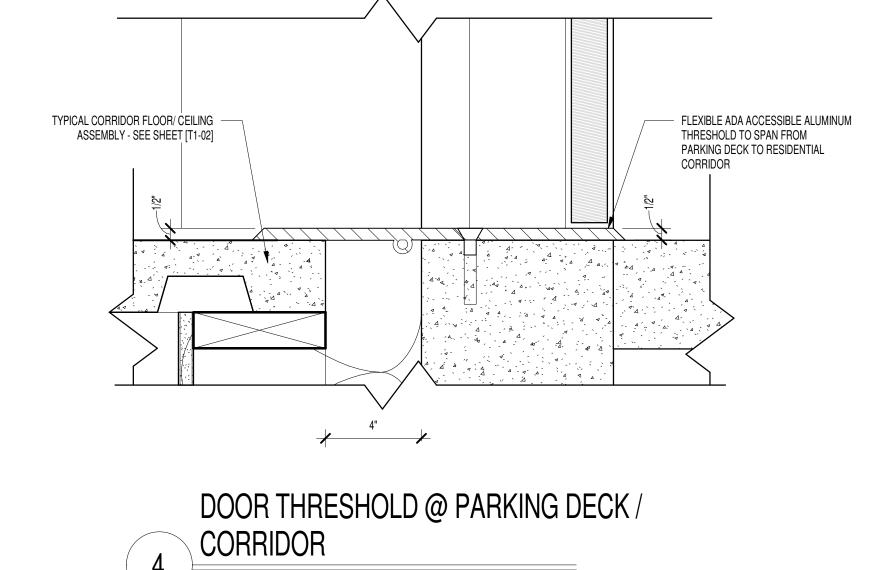




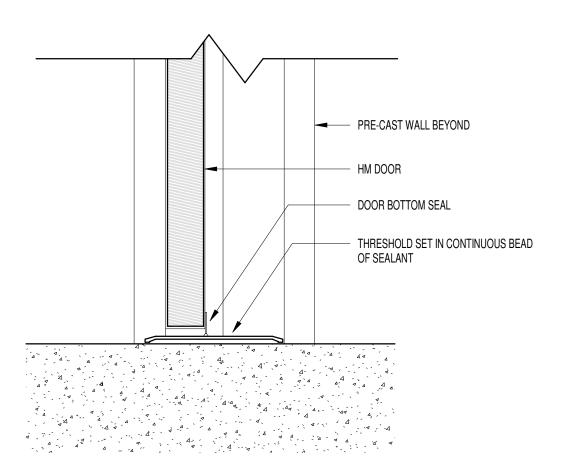


DOOR JAMB @ SIDING - PD DOOR JAMB @ CMU - PD SCALE: 3" = 1'-0"





SCALE: 3" = 1'-0"



DOOR THRESHOLD @ PARKING DECK SCALE: 3" = 1'-0"

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DOOR SCHEDULE AND DETAILS

A7-05

I. GENERAL

SEE PROJECT SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. COORDINATE THESE DRAWINGS WITH EXISTING CONDITIONS, AND COORDINATE ALL DIMENSIONS AND WALL LOCATIONS WITH THE ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS.

2.
THE STRUCTURAL DRAWINGS SHOULD NOT BE USED TO SIZE OR LOCATE DOORS, WINDOWS, TOILET PARTITIONS, OR NON-LOAD BEARING WALLS.

SEE ARCHITECTURAL FOR ALL EXPANSION JOINT COVERS.

4.
DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE.

DESIGN LOADS: SEE DRAWINGS BY METROMOUNT.

ALL THE SAFETY REGULATIONS, METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT SHALL BE THE GENERAL CONTRACTOR S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING, AND FRAMEWORK, ETC. AS REQUIRED.

DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THESE DRAWINGS. IF THERE IS ANY QUESTION ABOUT DETAILS OR DIMENSIONS, CONTACT THE ARCHITECT AND STRUCTURAL ENGINEER FOR CLARIFICATION.

8. WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.

ISOMETRIC VIEWS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NO INFORMATION ABOUT THE STRUCTURE OR ITS COMPONENTS SHALL BE TAKEN OR ASSUMED FROM THEM.

II. SUBMITTALS

THE CONTRACT DOCUMENTS ARE THE STRUCTURAL ENGINEERS INSTRUMENTS OF SERVICE TO CONVEY DESIGN INTENT. THEY ARE NOT TO BE CONSIDERED FABRICATION OR LAYOUT DRAWINGS.

2.
THE FOLLOW ARE REQUIRED SUBMITTALS

- A. CONCRETE MIX DESIGN(S)
- B. REINFORCING BAR DRAWINGS
- C. MASONRY MATERIAL CERTIFICATES, ACCESSORIES, AND GROUT MIX DESIGN
 D. OTHER SUBMITTALS AS NOTED ON THE DRAWINGS AND SPECIFICATIONS

D. OTTER SUDMITTALS AS NOTED ON THE DRAWINGS AND SI ECITICATIONS

SUBMITTALS SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE STRUCTURAL ENGINEER AND SHALL BEAR THE CONTRACTOR S STAMP ATTESTING TO THE SAME. DRAWINGS NOT STAMPED WILL NOT BE REVIEWED. SUBCONTRACTOR S UNCHECKED SUBMITTAL DRAWINGS WILL NOT BE REVIEWED.

SUBMITTALS TO BE REVIEWED BY THE STRUCTURAL ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT. THE STRUCTURAL ENGINEER WILL NOT ACCEPT SUBMITTALS DIRECTLY FROM CONTRACTORS WITHOUT THE STRUCTURAL ENGINEERS PRIOR APPROVAL.

UPON COMPLETION OF THE STRUCTURAL ENGINEERS REVIEW, SUBMITTALS WILL BE RETURNED TO THE ARCHITECT FOR THEIR REVIEW.

ANY DEVIATION IN DESIGN, DETAILS, DIMENSIONS, ETC. FROM THE CONSTRUCTION DOCUMENTS SHALL BE CLOUDED ON THE SUBMITTAL AND VERIFICATION OF THE CHANGE SHALL BE REQUESTED.

III. REINFORCING STEEL

1.
REINFORCING STEEL SHALL BE NEW BILLET STEEL, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, AND SHALL
BE FREE FROM ANY FORM RELEASE AGENTS.

2. WELDED WIRE FABRIC SHALL BE SHEETS OF NEW BILLET STEEL COLD DRAWN, CONFORMING TO ASTM SPECIFICATION A185, GRADE 60.

3.

BAR SUPPORTS, DESIGN, DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318 AND "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.

SPLICES FOR CONTINUOUS BARS SHALL BE CLASS B, UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL BE LAPPED 12" MINIMUM.

5.
PROVIDE BENT HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF ALL WALLS AND FOOTINGS. BENT BARS ARE TO
MATCH THE SIZE AND SPACING OF HORIZONTAL BARS IN WALL OR FOOTING. USE CLASS B SPLICE EACH SIDE.

6.
PROVIDE DIAGONAL BARS AT CORNERS OF OPENINGS IN SLABS AND CONCRETE WALLS. SEE DETAILS "RECTANGULAR OPENING WALL SLAB" AND "CIRCLE OPENING WALL SLAB". PROVIDE 2" CLEAR COVER BETWEEN THE OPENING AND THE CORNER REINFORCING BARS.

WALL FOOTING REINFORCEMENT SHALL BE CONTINUOUS THROUGH COLUMN FOOTING.

8.
EXTEND ALL FOOTING REINFORCEMENT TO FAR SIDE OF FOOTING. SEE NOTE BELOW FOR CONCRETE COVERAGE.

9.
PROVIDE DOWELS IN WALL FOOTING TO MATCH WALL VERTICALS UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE
CLASS B SPLICE. USE STANDARD ACI 90 DEGREE HOOK WITH 3" CLEAR TO BOTTOM OF FOOTING UNLESS NOTED
OTHERWISE. SEE DETAIL "CORNER BAR & SPLICE LENGTH DETAIL (IN CONCRETE)"

CLASS B SPLICE OR CORNER BAR PER ACI 318						
	3000 PSI CONCRETE		4000 PSI CONCRETE		5000 PSI CONCRETE	
BAR#	MIN. SPLICE (INCHES)	MIN. SPLICE (BAR DIAM.)	MIN. SPLICE (INCHES)	MIN. SPLICE (BAR DIAM.)	MIN. SPLICE (INCHES)	MIN. SPLICE (BAR DIAM.)
4	29		25		24	
5	36	57	31	50	28	45
6	43		37		34	
7	63		54		49	
8	72		62		56	
9	<i>8</i> 1	72	70	62	63	56
10	89		78		69	
11	ag		85		76	

A.
FOOTINGS, CAISSONS, AND OTHER MEMBERS WHERE CONCRETE IS DEPOSITED AGAINST SOIL (EXCEPT SLABS ON GRADE) = 3"

CONCRETE EXPOSED TO WEATHER OR SOIL BUT IS NOT DEPOSITED AGAINST SOIL:

#6 BAR AND LARGER = 2"

#6 BAR AND SMALLER = 11/2"

SLABS, WALLS, JOISTS #11 BAR AND SMALLER = 3/4"

#5 BAR AND SMALLER = 11/2"

C.

CONCRETE NOT EXPOSED TO WEATHER OR SOIL:

SLABS, WALLS, JOISTS #14 BAR AND LARGER = 11/2"

ELEMENTS.

BEAMS AND COLUMNS = 1 1/2"

10.

MINIMUM CONCRETE COVERAGE SHALL BE AS FOLLOWS. IF CONSTRUCTION DOCUMENTS INDICATE A LARGER COVERAGE, IT SHALL BE USED. IF STIRRUPS, TIES, OR SPIRALS ARE USED, COVERAGE SHALL BE TO THE OUTERMOST FACE OF THESE

IV. FOUNDATIONS

1.
THE FOUNDATION IS DESIGN USING AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 7000 PSF USING GEOPIERS. IF THE BEARING CONDITIONS VARY FROM WHAT IS SHOWN, OR IF THE SOIL BEARING CAPACITY IS QUESTIONABLE, THE ARCHITECT AND STRUCTURAL ENGINEER ARE TO BE NOTIFIED IMMEDIATELY.

2.
ALL BUILDING AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE
CONTENT AS DETERMINED IN ACCORDANCE WITH ASTM D698, CURRENT EDITION.

3.
A REGISTERED GEOTECHNICAL ENGINEER REPRESENTING THE OWNER SHALL BE PRESENT TO MONITOR COMPACTION AND SETTLEMENT AND VERIFY THE BEARING CAPACITY. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND CONCLUSIONS BY GEC INCLUDED IN THE CIVIL DRAWINGS, REF. SHEET C7.3.

4.
REMOVE ALL TOPSOIL, ROOT SYSTEM OR OTHER DELETERIOUS MATERIAL UNDER BUILDING FOOTPRINT AND REPLACE WITH SUITABLE COMPACTED FILL OR CRUSHED STONE. STRUCTURAL ENGINEER'S DECISION ON QUESTIONABLE MATERIAL SHALL BE FINAL.

5.
BACKFILLING SHALL BE PERFORMED IN EQUAL LIFTS AROUND THE BUILDING PERIMETER TO BALANCE LATERAL EARTH PRESSURE ON THE BUILDING. WALK BEHIND COMPACTION EQUIPMENT IS REQUIRED WITHIN A DISTANCE OF TWO TIMES THE WALL HEIGHT.

6. BACKFILL AGAINST STRUCTURAL WALLS SHALL NOT BE PERFORMED UNTIL WALL AND SLAB ON GRADE HAS OBTAINED SPECIFIED STRENGTH.

7.
IF REQUIRED BY THE ON-SITE GEOTECHNICAL ENGINEER, THE GROUND WATER TABLE SHALL BE LOWERED.

8.
ALL FOOTINGS TO BE CENTERED UNDER THE COLUMNS OR WALLS THEY SUPPORT, UNLESS NOTED OTHERWISE ON THE DRAWING.

9.
UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEERS APPROVAL IN WRITING. THE CONTRACTOR SHALL LOCATE ANY EXISTING UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION.

10.
INSPECTIONS BY GEOTECH FIRM ARE REQUIRED FOR EXISTING SOILS CONDITIONS, FILL PLACEMENT, AND LOAD BEARING REQUIREMENTS:

SITE PREPARATION: PRIOR TO PLACEMENT OF PREPARED FILL, THE INSPECTOR SHALL DETERMINE THAT THE SITE HAS BEEN PREPARED IN ACCORDANCE WITH THE RECCOMENDATIONS OF A REGISTERED GEOTECHNICAL PROFESSIONAL ENGINEER FOR THE REQUIRED BEARING PRESSURE NOTED ABOVE.

B.
FILL PLACEMENT: DURING PLACEMENT AND COMPACTION OF FILL MATERIAL, THE INSPECTOR SHALL
DETERMINE THAT THE PROPER FILL MATERIAL IS BEING USED AND THAT THE MAXIMUM LIFT THICKNESS IS
FOLLOWED IN ACCORDANCE WITH THE RECCOMENDATIONS OF A REGISTERED GEOTECHINCAL
PROFESSIONAL ENGINEER FOR THE REQUIREMENTS STATED ABOVE.

C.
EVALUATION OF IN-PLACE DENSITY: THE INSPECTOR SHALL DETERMINE, AT THE FREQUENCIES DETERMINED IN THE SOILS REPORT AND PROJECT SPECIFICATIONS, THAT THE IN-PLACE DRY DENSITY OF THE COMPACTED FILL COMPLIES WITH THE RECCOMENDATIONS OF A REGISTERED GEOTECHINCAL PROFESSIONAL ENGINEER FOR THE REQUIREMENTS STATED ABOVE.

VIII. CONCRETE:

1.
ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH THE CODE REFERENCED EDITION OF ACI-318: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

2.
CONCRETE MIX DESIGN REQUIREMENTS AND COMPRESSIVE STRENGTH AT 28 DAYS.

<u>DESCRIPTION</u>		WEIGHT PER CUBIC FOOT (PCF)		AGGREGATE	FIBERMESH OR WWM
FTG AND FND WALLS	4500	145	4" +/- 1"	ASTM C33	NONE
SLAB ON GRADE	3000	145	4" +/- 1"	ASTM C33	FIBERMESH @ 1.5LB PER CUBIC
SIDEWALKS & EXTERIOR ON GRADE	3000	145	4" +/- 1"	АЭТМ СЗЗ	YARD OF CONC. WWM 6X6 W1.4 X W1.4
RETAINING WALLS	4500	145	4"+/- 1"	ASTM C33	

FLY ASH SHALL NOT BE USED. WATER REDUCING ADMIXTURES MAY BE USED TO ACHIEVE SLUMP REQUIREMENTS.

SEE ARCHITECTURAL DOCUMENTS FOR JOINT SIZES AND FILLER MATERIALS.

4. LOCATION OF ALL CONSTRUCTION JOINS, EXCLUDING SLABS ON GRADE, SHALL BE COORDINATED WITH STRUCTURAL ENGINEER.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER SHOWING PROPOSED LOCATIONS OF ANY MATERIAL SUCH AS BUT NOT LIMITED TOO CONDUITS, EMBEDMENTS, OR FIXTURES TO BE PLACED INSIDE ANY STRUCTURAL CONCRETE MEMBER SUCH AS BEAMS, WALLS, SLABS, COLUMNS OR FOOTINGS. THIS IS NOT REQUIRED FOR SLABS ON GRADE OF 4" OR LESS IN THICKNESS.

6.
CONCRETE SLAB FLATNESS AND LEVELNESS TOLERANCES SHALL BE IN CONFORMANCE WITH ACI 117, AND SHALL BE SPECIFIED BY THE OWNER. UNLESS SUPERSEDED BY THE OWNERS CRITERIA, CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS:

PROVIDE A FLOOR SURFACE WHISH IS TRUE AND LEVEL AND ACHIEVES "F NUMBERS" OF FF = 30 AND FL = 20 MINIMUM OVERALL COMPOSITE AND FF = 20 AND FL = 15 MINIMUM AT ANY INDIVIDUAL SECTION, WHEN TESTED IN ACCORDANCE WITH ASTM E1155, REMOVE SURFACE IRREGULARITIES TO PROVIDE A CONTINUOUS SMOOTH FINISH.

B.
ALL INTERIOR SLABS TO RECEIVE A SMOOTH TROWEL FINISH UNLESS NOTED.

7.
UNLESS SPECIFIED OTHERWISE IN THE SPECIFICATION, TESTING OF CONCRETE SHALL BE IN CONFORMANCE WITH THE
REQUIREMENTS OF ACI 318 SECTION 5.6 EVALUATION AND ACCEPTANCE OF CONCRETE.

CONSTRUCTION JOINTS (CN.JT.) ARE TO BE LOCATED ON THE THRESHOLD SIDE OF A WALL.

9. SEE DETAIL "TYPICAL SLAB ON GRADE JOINT LAYOUT".

10.
THE FOLLOWING PROCEDURES SHALL MEET THE REQUIREMENTS OF THE REFERENCED CODE SECTIONS:

<u>PROCEDURE</u>	REFERENCE SECTION
PREPARATION	ACI 304 - "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"
CONVEYING	ACI 318 SECTION 5.9 - "CONVEYING"
DEPOSITING	ACI 318 SECTION 5.10 - "DEPOSITING"
CONSOLIDATION	ACI 309 - "GUIDE FOR CONSOLIDATION OF CONCRETE"
CURING	ACI 308 - "STANDARD PRACTICE FOR CURING CONCRETE"
HOT WEATHER CONCRETING	ACI 305 - "HOT WEATHER CONCRETING"
COLD WEATHER CONCRETING	ACI 308 "COLD WEATHER CONCRETING"

II. STRUCTURAL MASONRY

ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH THE CODE-REFERENCED EDITION OF ACI-530 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", AND ACI-530.1 "SPECIFICATION FOR MASONRY STRUCTURES."

2.
MORTAR SHALL BE PORTLAND CEMENT-LIME AND CONFORM TO ASTM C270.

CLAY MASONRY UNITS SHALL HAVE *TYPE N MORTAR*. NET AREA COMPRESSIVE STRENGTH OF UNITS SHALL BE *6200 PSI*. NET AREA COMPRESSIVE STRENGTH OF INSTALLED MASONRY (F'M) SHALL BE *2000 PSI*. REFER TO *ARCHITECTURAL* DOCUMENTS FOR ASTM DESIGNATIONS.

CONCRETE MASONRY UNITS ABOVE AND BELOW GRADE SHALL HAVE TYPE S MORTAR. NET AREA COMPRESSIVE STRENGTH OF UNITS SHALL BE 1900 PSI. NET AREA COMPRESSIVE STRENGTH OF INSTALLED MASONRY (F'M) SHALL BE 1500 PSI. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90.

5.
BLOCK FILL FOR REINFORCED MASONRY SHALL BE FINE GROUT IN CONFORMANCE WITH ASTM C476 MINIMUM COMPRESSIVE STRENGTH METHOD. GROUT SHALL BE 2000 PSI AT 28 DAYS. GROUT SLUMP SHALL BE 8 TO 11 INCHES.

REINFORCING: ASTM A615 - GRADE 60. SEE TABLE BELOW FOR MINIMUM LAP SPLICE LENGTH AND EMBEDMENT OF REINFORCING BARS.

MASONRY REINFORCING LAP SPLICES AND EMBED LENGTH				
BAR SIZE	LAP SPLICE LENGTH (IN)	EMBEDMENT (IN)		
#4	24	18		
#5	30	24		
#6	36	28		
#7	42	32		
#8	48	36		
#9	54	42		

7.

MASONRY PREPARATION, CONSTRUCTION AND PROTECTION IN HOT OR COLD WEATHER (GREATER THAN 90 DEGREES FAHRENHEIT OR LESS THAN 40 DEGREES FAHRENHEIT) SHALL BE IN CONFORMANCE WITH ACI 530.1 SECTION 1.B.

8.
EMBEDDED CONDUITS, PIPES AND SLEEVES SHALL BE COMPATIBLE WITH MASONRY AND SHALL NOT BE LOCATED IN GROUTED CELLS.
PIPES CONTAINING WATER SUBJECT TO FREEZING, MATERIALS IN EXCESS OF 150 DEGREE FAHRENHEIT OR PIPES UNDER PRESSURE
IN EXCESS OF 55 PSI SHALL NOT BE EMBEDDED IN MASNORY. GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL
EMBEDDED ITEMS WITH THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

9.
ALL NON-LOAD BEARING, NON-SHEAR WALLS SHALL BE LATERALLY BRACED AT OR NEAR THE TOP OF THE WALL AT A SPACING NOT TO EXCEED 8'-O" ON CENTER ALONG THE LENGTH OF THE WALL. THE METHOD OF BRACING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. A WALL MAY BE CONSIDERED BRACED WHERE THE WALLS JOINS ANOTHER NON-LOAD BEARING, NON SHEAR WALL AT CORNERS AND "T'S."

ALL NON-LOAD BEARING, NON-SHEAR WALLS SHALL NOT EXCEED THE UNBRACED HEIGHT AS SHOWN IN THE TABLE BELOW. THAT IS, IF THE WALLS ARE TALLER THAN THE LIMITING HEIGHT, THEY SHALL BE BRACED EVERY 8'-O"ON CENTER ALONG THE LENGTH OF THE WALL AT OR BELOW THE LIMITING HEIGHT.

CMU LIMITING UNBRACED HEIGHT (FT)				
6" CMU	18' - 0"			
8" CMU 24' - 0"				
12" CMU	36' - 0"			

THE ALTERNATIVE TO BRACING AS DESCRIBED ABOVE IS TO REINFORCE THE WALL AND BRACE AT OR NEAR THE TOP OF THE WALL AT A SPACING NOT TO EXCEED 8'-O" ON CENTER ALONG THE LENGTH OF THE WALL. IF THE ALTERNATIVE IS CHOSEN, THE SIZE AND SPACING OF REINFORCING WILL BE DETERMINED BY THE STRUCTURAL ENGINEER ON A CASE BY CASE BASIS.

11.
ALL MASONRY WALLS SHALL BE REINFORCED WITH HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. VERTICALLY AS FOLLOWS. THE
SPACE BETWEEN THESE WIRES SHALL BE THE WIDEST THAT THE MORTAR JOINT WILL ACCOMMODATE.

		THE MORE
CV411 C17F	HORIZONTAL JOINT	REINFORCING
CMU SIZE	RUNNING BOND	STACK BOND
4"	(1) W1.7 @ 16" O.C.	(1) W1.7 @ 16" O.C.
6" OR 8"	(2) W1.7 @ 16" O.C.	(2) W1.7 @ 16" O.C.
12"	(2) W1.7 @ 16" O.C.	(2) W2.8 @ 16" O.C.

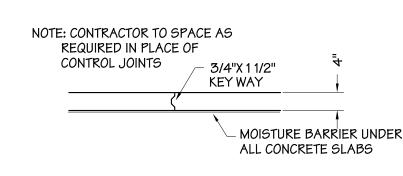
VERTICAL REBAR SHALL BE CENTERED IN BLOCK WALLS U.N.O.

13.
MASONRY CELLS ON WHICH STEEL OR MASONRY LINTELS BEAR MUST BE REINFORCED WITH SAME REINFORCING AS WALL AND MUST BE FILLED WITH GROUT. IF NO WALL REINFORCING IS SHOWN A #4 BAR SHALL BE ASSUMED.

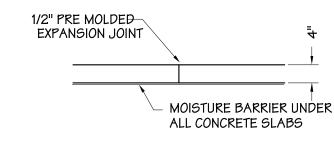
14.
PROVIDE HORIZONTAL BOND BEAMS IN ALL MASONRY WALLS AT 10'-O" ON CENTER MAX VERTICALLY AND WITHIN 8" OF THE TOP OF THE WALL. REINFORCING IN BOND BEAMS SHALL BE 1 #4 X CONTINUOUS CENTERED IN 6" CMU, 2 #5 X CONTINUOUS SPACED 3 1/2" CENTER TO CENTER HORIZONTALLY FOR 8" CMU, AND 2 #5 X CONTINUOUS SPACED 7" CENTER TO CENTER HORIZONTALLY FOR 12" CMU. BOND BEAMS SHALL CONSIST OF "KNOCKOUT" STYLE BLOCKS.

THE MINIMUM LEVEL OF QUALITY ASSURANCE BASED ON ACI 530-11 SHALL BE LEVEL C. REFER TO TABLE 1.15.3 IN ACI 530-11.

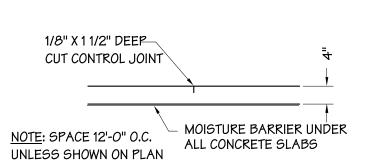
16.
WHERE CONCRETE BLOCK IS ABOVE AND BELOW EQUIPMENT PLATFORM, FIT BLOCK TIGHT TO UNDERSIDE OF BEAM PRIOR TO CONSTRUCTING BLOCK ABOVE.



1YPICAL CONSTRUCTION JOINTS (CN.JT.)
N.T.S.

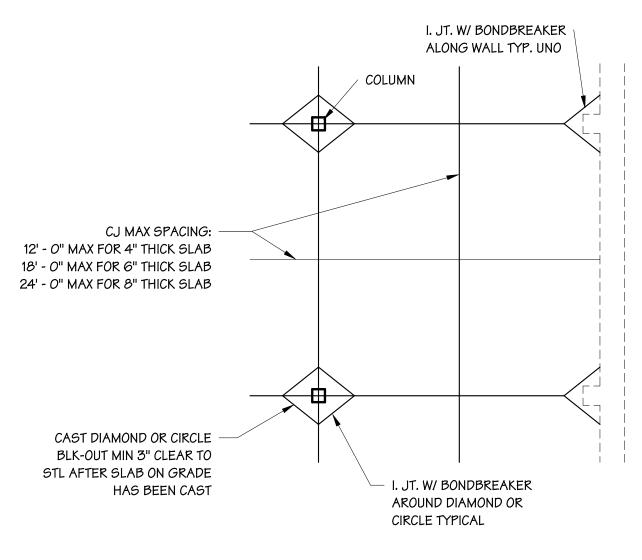


TYPICAL ISOLATION JOINT (1, JT.) N.T.S.

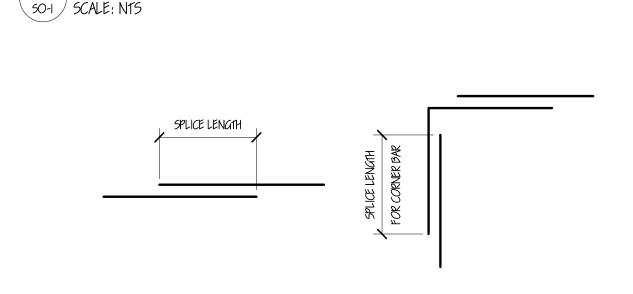


1YPICAL CONTROL JOINT (C.J.)

SAW CUTTING CONTROL JOINTS IS AN ATTEMPT TO PARTIALLY CONTROL THE SHRINKAGE CRACKS THAT NATURALLY OCCURS IN CONCRETE DURING THE CURING PROCESS. SOMETHING THE CONCRETE WILL CRACK BETWEEN CONTROL JOINTS.



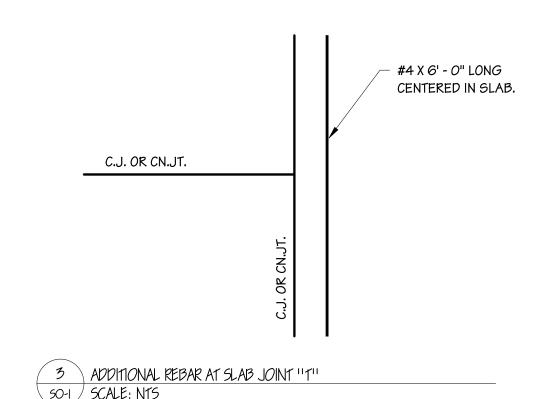
NOTE: SAW CUT JOINT LESS THAN 12 HOURS AFTER CONCRETE PLACEMENT

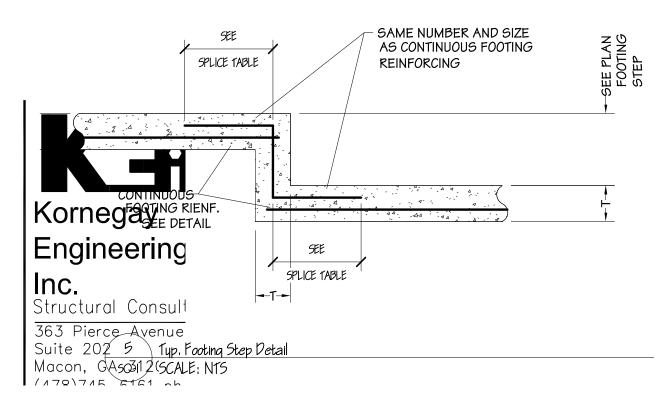


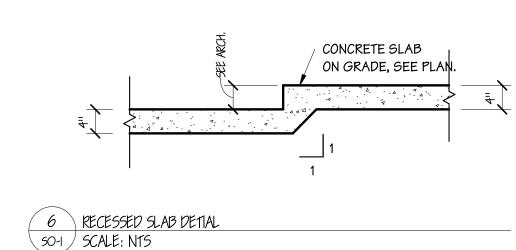
SEE TABLE "CLASS B SPLICE OR CORNER BAR PER ACI 318"
ON NOTES SHEET FOR SPLICE LENGTH IN CONCRETE

2 CORNER BAR AND SPLICE LENGTH DETAIL (IN CONCRETE)
50-1 3/4" = 1'-0"

TYPICAL SLAB ON GRADE JOINT LAYOUT







CONCRETE BLOCK LINTEL BEAM SCHEDULE

6PAN

LINTEL

0'-3'

1*4 T & 1*5 B

1 COURSE DEEP

3'-5'

1*5 T & 1*6 B

5'-7'

1*6 T & 1*7 B

2 COURSES DEEP

1'-9'

1*8 T & 1*9 B

NOTES:

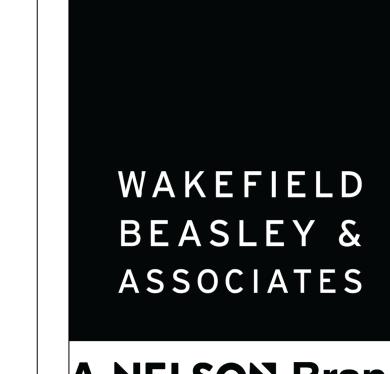
1) LINTELS SCHEDULED ABOVE SHALL BE USED UNLESS SHOWN OR NOTED OTHERWISE.

5PAN, BUT NOT LESS THAN 8" BEARING EACH END.

3) CONCRETE BLOCK LINTELS SHALL BE MADE WITH FILLED "U"
BLOCKS, FILL SHALL BE MADE WITH COURSE GROUT, CONFORMING
TO ASTM C-476, 3/8" MAX, STONE SIZE, SHORE POURED LINTELS
(1) DAYS MINIMUM.

2) LINTELS SHALL HAVE I" BEARING, EACH END, FOR EACH I'-O" OF

4) REINFORCING SHOWN ABOVE SHALL BE DOUBLED FOR 12" NOM, CONCRETE BLOCK LINTELS.

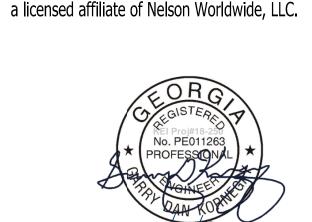


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ARCHITECT OF RECORD

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DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET & 586 DT WALTON SR WAY

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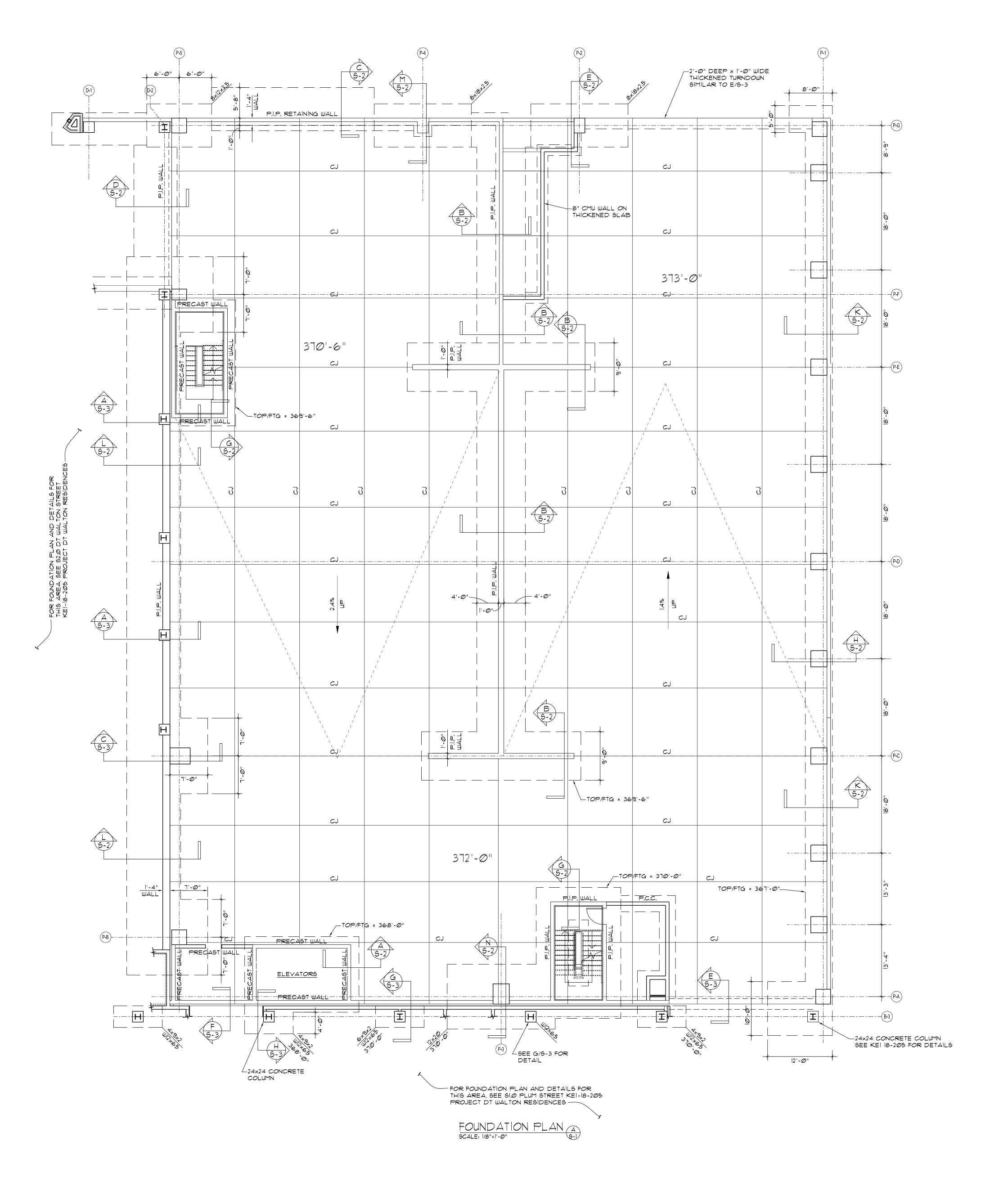
Revisions

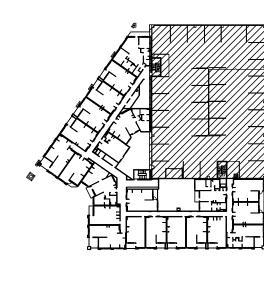
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GENERAL NOTES

Sheet No.





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DT WALTON MIXED USE DEVELOPMENT

743 PLUM STREET &
586 DT WALTON SR WAY
MACON, GA

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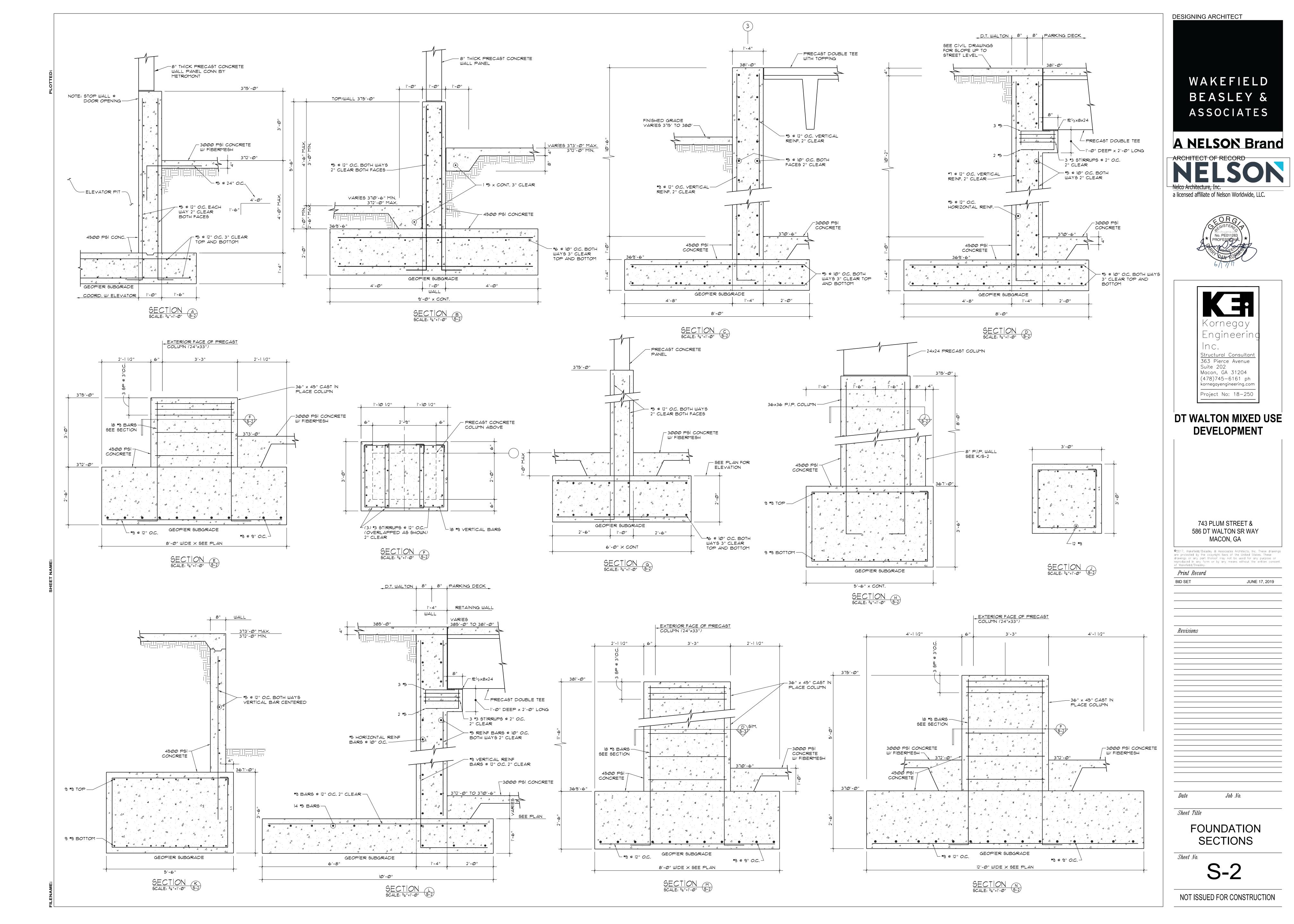
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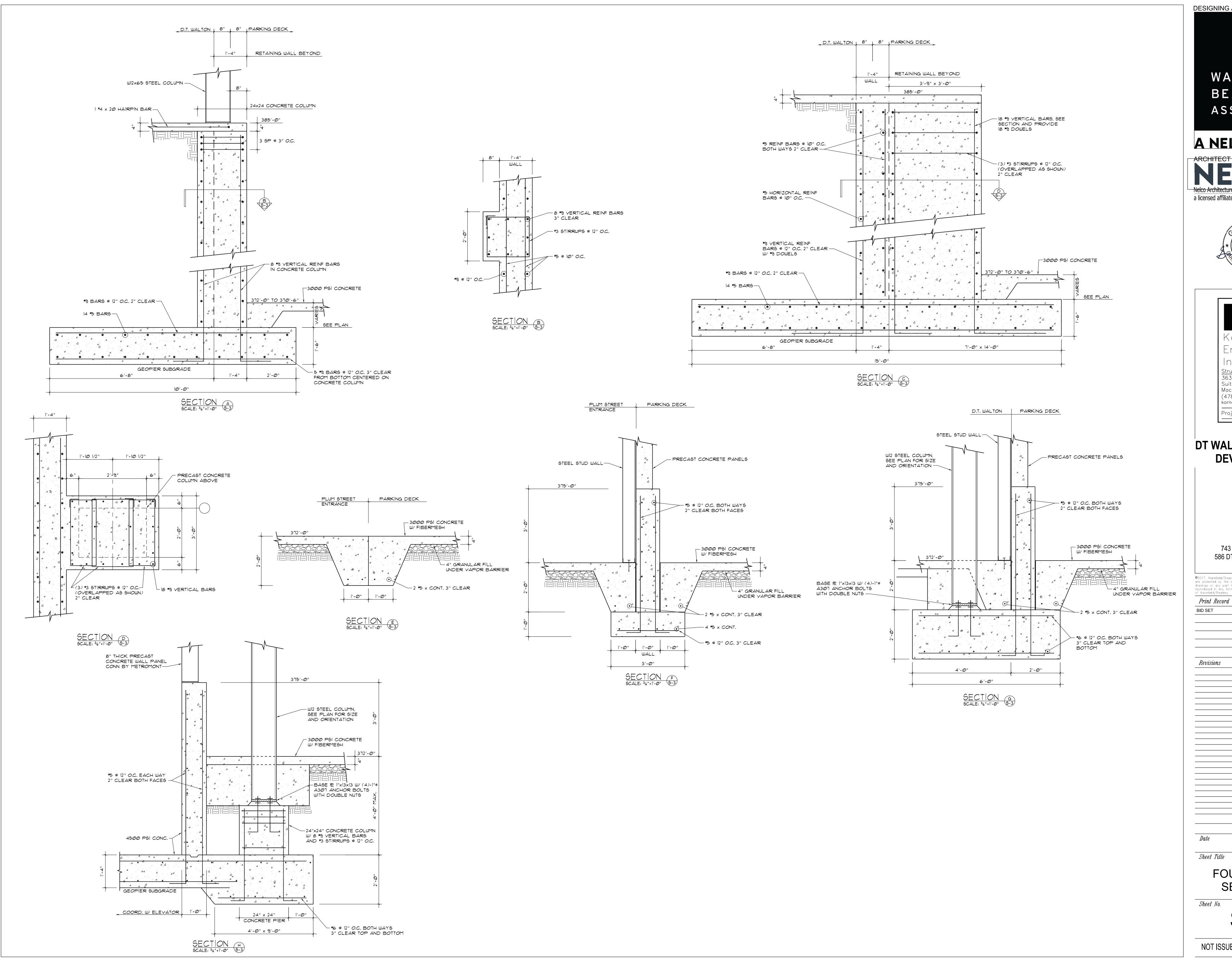
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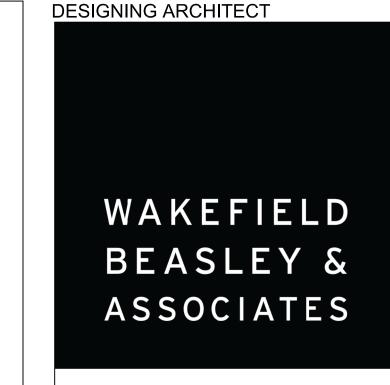
FOUNDATION PLAN

Sheet No.

S-1







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DT WALTON MIXED USE **DEVELOPMENT**

743 PLUM STREET & 586 DT WALTON SR WAY MACON, GA

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FOUNDATION SECTIONS

Sheet No.

						FAN	NS							
TAG	MANUF.	MODEL	TYPE	DUTY	CFM	SP (IN. W.C.)	MAX. MOTOR SIZE	RPM	DRIVE	MAX. SONES	APPROX. WEIGHT (LBS)	CONTROLLED BY	EMERGENCY POWER	ACCESSORIES/ REMARKS
EF R-01	GREENHECK	SWB	UCF	TRASH ROOM EXH	450	0.3	1/4	1,725	В	10.5	140	CN	NO	1,2,3,5,7
NOTES:							•		•			•		

A. REFER TO DETAILS FOR ADDITIONAL OPTIONS, ACCESSORIES, MOUNTING ARRANGEMENT, ETC

B. WEIGHTS INCLUDE ACCESSORIES, CURBS, MOTORS, ETC. C. FANS THAT ARE SCHEDULED TO RUN CONTINUOUSLY SHALL HAVE IEC 60034-1 CONTINUOUS DUTY RATED MOTORS.

D. FANS THAT ARE INTERCONNECTED WITH LIGHTING CONTROLS (E.G. LIGHT SWITCH) MAY NOT BE THE SAME VOLTAGE AS THE LIGHTING CIRCUIT. COORDINATE WITH THE ELECTRICAL

CONTRACTOR AND PROVIDE RELAYS/CONTROLS AS REQUIRED. E. REFER TO AIR HANDLING UNIT SCHEDULE FOR OA CFM AND BALANCE ACCORDINGLY.

F. FANS SHALL BE CERTIFIED TO BEAR THE AMCA LABEL FOR AIR AND SOUND PERFORMANCE.

CC - CEILING CENTRIFUGAL UCF - UTILITY CENTRIFUGAL FAN

D - DIRECT B - BELT

FAN CONTROL NOTES: CA-WALL SWITCH - REFER TO ELECTRICAL DWGS. CN - FAN WIRED TO RUN CONTINOUSLY CH - VARIABLE SPEED DRIVE AND DUCT STATIC PRESSURE SENSOR

1. GRAVITY BACKDRAFT DAMPER 2. FACTORY MOUNTED DISCONNECT SWITCH

3. BIRD SCREEN

4. INTEGRAL VARIABLE SPEED DRIVE 5. VIBRATION ISOLATION KIT (NEOPRENE ISOLATORS)

6. CEILING RADIATION DAMPER 7. MOTOR COVER/BELT GUARD

8. PROVIDE VARIABLE FREQUENCY DRIVE (VFD) IN NEMA 3R ENCLOSURE.

UNLESS NOTED OTHERWISE, SELECTIONS ARE BASED ON PRODUCTS BY GREENHECK. EQUAL PRODUCTS: PENNBARRY, CARNES, COOK, ACME PROVIDED THE PRODUCTS MEET OR EXCEED THE SCHEDULED PERFORMANCE AND SPECIFICATIONS

DUCTLESS SPLIT SYSTEM (COOLING ONLY)

TAG	FAN COIL UNIT MODEL NUMBER AREA SERVED		CAPACITY		SEER	APPROX. WEIGHT	ACCESSORIES		
FAN (FAN COIL UNIT/CONDENSING UNIT		TYPE	TOTAL CFM	TOTAL COOLING (MBH)	SENSIBLE COOLING (MBH)		(LBS) FCU/CU	
DSS/DCU 1-01	PKA/PUY	TRASH ROOM	W	1,200	34.2	19.0	14	50/165	1,2,3,4,5,6,7,8
DSS/DCU 1-02	PKA/PUY	PV PANEL ELECTRICAL ROOM	W	800	24.0	19.0	14	50/165	1,2,3,4,5,6,7,8
DSS/DCU 2-01	PKA/PUY	MDF ROOM	W	800	24.0	19.0	14.0	50/165	1,2,3,4,5,6,7,8
DSS/DCU 7-02	PKA/PUY	ELEVATOR CONTROL ROOM	W	800	24.0	19.0	14.0	50/165	1,2,3,4,5,6,8

A. COOLING CAPACITIES ARE BASED ON AN INDOOR EAT OF 80°F DB/67°F WB AND 98°F DB ENTERING OUTDOOR UNIT

B. 14 SEER MINIMUM UNITS WITH R-410A. SUBMIT AHRI CERTIFIED CAPACITIES FOR ACTUAL EQUIPMENT TO BE INSTALLED. C. REFER TO HVAC GENERAL NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

D. INDOOR AND OUTDOOR UNITS SHALL BE INSTALLED PER PLANS, MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.

E. DISCONNECT SWITCH FOR OUTDOOR UNIT FURNISHED BY DIV 23, INSTALLED BY DIV 26.

1. WIRED WALL MOUNT UNIT CONTROLLER 2. LOW AMBIENT WIND BAFFLE

5. REFRIGERANT LINE-SET 6. CONDENSATE PUMP AND SAFETY SWITCH

W - WALL HUNG 3. COMPRESSOR ANTI-RECYCLE CONTROLS 7. WALL MOUNTING KIT FOR OUTDOOR UNIT 4. FILTER/DRYER PER MANUFACTURER'S RECOMMENDATIONS 8. REFRIGERANT LINE LENGTH SHALL NOT EXCEED 200 FT. EQUIVALENT LENGTH AND 100 FT. VERTICAL LENGTH

SELECTIONS BASED ON PRODUCTS BY MITSUBISHI

EQUAL PRODUCTS BY CARRIER, DAIKIN, LG, TRANE, SAMSUNG, TOSHIBA, PANASONIC, SANYO

		ELE	CTRIC HEA	TERS	,		
TAG	SERIES	TYPE	MOUNTING	CAPACITY (KW)	MOUNTING HEIGHT AFF	APPROX. WEIGHT (LBs)	ACCESSORIES
EWH A	AFA	WALL HEATER	SURFACE	3.0	12"	25	1,2,3
						1	

C - CEILING CASSETTE

A. ALL HEATERS SHALL BE UL LISTED 3. CAPACITY SCHEDULED IS AT INSTALLED VOLTAGE. COORDINATE WITH ELECTRICAL DWGS.

C. ALL HEATERS SHALL HAVE THERMAL OVERLOAD PROTECTION D. STAIRWELL AND SPRINKLER RISER ROOM HEATERS - THERMOSTAT SETPOINT SHALL BE 45°F.

INTEGRAL TAMPERPROOF THERMOSTAT

2. INTEGRAL DISCONNECT SWITCH B. SURFACE MOUNTING KIT

SELECTIONS BASED ON PRODUCTS BY RAYWALL EQUAL PRODUCTS BY MARKEL, BERKO, QMARK

HVAC GENERAL NOTES

- 1. ALL MECHANICAL EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL MECHANICAL CODE, THE 2012 INTERNATIONAL BUILDING CODE, THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE, STATE AND LOCAL AMENDMENTS, NFPA 90A, 96, 101, UNDERWRITERS LABORATORIES (OR ETL) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- THE LOCATIONS, ARRANGEMENT AND EXTENT OF EQUIPMENT, PIPING, SUPPORTS, DEVICES, CONDUIT, AND OTHER APPURTENANCES RELATED TO THE INSTALLATION OF THE MECHANICAL AND ELECTRICAL WORK SHOWN ARE APPROXIMATE. THE DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE THE DRAWINGS, BUT REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS OF BUILDING COMPONENTS SHOULD A CONFLICT EXIST BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS REGARDING DIMENSIONS. SCALE, ETC., NOTIFY THE ARCHITECT IMMEDIATELY.
- MATERIALS, EQUIPMENT OR LABOR NOT INDICATED, BUT WHICH CAN BE REASONABLY INFERRED TO BE NECESSARY FOR A COMPLETE INSTALLATION SHALL BE PROVIDED. THE DRAWINGS AND SPECIFICATIONS DO NOT UNDERTAKE TO INDICATE EVERY ITEM OF MATERIAL, EQUIPMENT OR LABOR REQUIRED TO PRODUCE A SAFE, COMPLETE AND PROPERLY OPERATING SYSTEM.
- 4. PRIOR TO PURCHASING ANY MATERIALS OR STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DUCTWORK SIZES AND LOCATIONS, EQUIPMENT, ETC. SHOWN ON THE DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ARCHITECT.
- SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING. OR FABRICATING ANY MECHANICAL EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE: ALL EQUIPMENT SCHEDULED OR SPECIFIED ON THE DRAWINGS; DUCTWORK DRAWN TO 1/4" SCALE OR THE SCALE SHOWN ON THE DRAWINGS; PARKING GARAGE CO/NO2 MONITORING AND CONTROL SYSTEM LAYOUT INCLUDING SENSOR LOCATIONS, SEQUENCE OF OPERATION AND PRODUCT DATA; MECHANICAL VENTILATION REFRIGERANT PIPING AND CONTROL WIRING SCHEMATICS CERTIFIED BY THE AIR CONDITIONING EQUIPMENT MANUFACTURER. FAILURE TO SUBMIT REFRIGERANT PIPING DRAWINGS SHALL BE CAUSE FOR REJECTION OF THE ENTIRE SUBMITTAL. LONG LINE REFRIGERANT PIPING APPLICATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S CURRENT SPLIT SYSTEM LONG-LINE APPLICATION GUIDELINE. SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY IN ONE PACKAGE WITH EACH ITEM CLEARLY NOTED BY THE TAG USED ON THE DRAWINGS
- 6. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.
- ALL MECHANICAL EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
- 8. ALL HVAC COMPRESSORS SHALL HAVE EXTENDED 4_YEAR MANUFACTURER'S WARRANTY FOR A 5-YEAR
- 9. FOR EXACT LOCATION OF OUTDOOR AIR CONDITIONING UNITS, SEE ARCHITECTURAL DRAWINGS.
- 10. INSTALL ROOF MOUNTED OUTDOOR AIR CONDITIONING EQUIPMENT LEVEL ONDIVERSITECH "CLADLITE" OR APPROVED EQUAL 4" LARGER THAN OUTDOOR UNIT FOOTPRINT. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED PER DETAILS AND AS RECOMMENDED BY THE MANUFACTURER.
- 11. DWELLING UNIT SPLIT SYSTEM OUTDOOR UNIT EQUIPMENT HAS BEEN SHOWN ON THE ROOF INDICATING MATCHED SYSTEMS OF THE INDOOR UNIT WITH ITS ASSOCIATED OUTDOOR UNIT. WHILE THE LOCATION OF THE OUTDOOR UNITS ARE APPROXIMATE, THE IMPORTANCE OF UNIT LOCATIONS IN RELATION TO THE REFRIGERANT LINE SET ROOF JACK/HOOD (PENETRATION THROUGH THE ROOF) IS CRITICAL FOR THE PROJECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND OBSERVE THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LONG LINE APPLICATIONS. REFRIGERANT LINE SETS SHALL BE INSTALLED TO REDUCE THE SYSTEM TOTAL EQUIVALENT LENGTH AND MINIMIZE SYSTEM CAPACITY LOSSES DUE TO ELBOWS, FITTINGS, VALVES, ETC. THAT COMPRISE THE ENTIRE REFRIGERANT PIPING SYSTEM. AFTER RECEIPT OF THE APPROVED SUBMITTALS, THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE REFRIGERANT PIPING SCHEMATICS CERTIFIED BY THE EQUIPMENT MANUFACTURER AND SUBMIT THE REFRIGERANT PIPING DRAWINGS AS OUTLINED IN THE SHOP DRAWING NOTE ABOVE.
- PORTIONS OF DUCTWORK AND PIPE INSULATION VISIBLE THROUGH AIR DISTRIBUTION DEVICES IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK.
- 13. MOUNT TOP OF THERMOSTATS AND SENSORS 46" AFF UNLESS NOTED OTHERWISE. PROVIDE CLEAR LOCKING GUARD ASSEMBLIES FOR ALL PUBLIC AREA THERMOSTATS. COORDINATE THERMOSTAT LOCATIONS WITH OTHER TRADES. ALL THERMOSTATS SHALL BE ADA COMPLIANT.
- 14. ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE OWNER TO SUIT HIS OPERATING CONDITIONS.
- 15. ANY EXISTING WALL, FLOOR, OR CEILING SURFACE THAT IS DISTURBED DURING THE COURSE OF THE HVAC WORK SHALL BE REPAIRED TO MATCH NEW AND/OR EXISTING CONDITIONS.
- 16. CAREFULLY COORDINATE ALL PENETRATIONS THROUGH EXTERIOR WALLS WITH ARCHITECTURAL DRAWINGS AND FINISHES. THE PENETRATIONS SHALL NOT BE LOCATED WHERE THEY WILL CONFLICT WITH ARCHITECTURAL FEATURES, TRANSITIONS IN MATERIALS, OR COLOR CHANGES IN MATERIALS. HORIZONTALLY ALIGN PENETRATIONS WHEREVER POSSIBLE UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, PIPING, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
- 18. THE GENERAL CONTRACTOR SHALL COORDINATE SERVICE ACCESS PATHS FOR ROOF AND ATTIC MOUNTED FOUIPMENT REQUIRING ROUTINE MAINTENANCE PROVIDE CODE COMPLIANT GALVANIZED STEEL CROSSING STRUCTURE (E.G. STAIRS WITH HAND RAILS, LADDERS, ETC.) FOR ANY OBSTRUCTION (DUCTWORK, PIPING, ETC.) THAT EXCEEDS 1'-6" IN HEIGHT X 1'-6" IN WIDTH. ATTIC CROSSINGS MAY BE CONSTRUCTED OF WOOD IF ALLOWED BY LOCAL CODE. DETAILS OF SUCH CROSSINGS SHALL BE INCLUDED WITH PIPING AND DUCTWORK LAYOUT AND COORDINATION DRAWINGS. ALL DUCTWORK, PIPING AND EQUIPMENT INSTALLATION SHALL COMPLY WITH THE FOLLOWING:
- a. INSTALL EQUIPMENT TO ALLOW MAXIMUM POSSIBLE HEADROOM UNLESS SPECIFIC MOUNTING HEIGHTS
- b. INSTALL EQUIPMENT LEVEL AND PLUMB, PARALLEL AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS IN EXPOSED INTERIOR SPACES, UNLESS OTHERWISE INDICATED. c. INSTALL HVAC EQUIPMENT TO FACILITATE SERVICE, MAINTENANCE, AND REPAIR OR REPLACEMENT OF
- TO OTHER INSTALLATIONS. EXTEND GREASE FITTINGS TO ACCESSIBLE LOCATIONS. d. INSTALL EQUIPMENT TO ALLOW RIGHT-OF-WAY FOR PIPING TO BE INSTALLED WITH THE REQUIRED

COMPONENTS. CONNECT EQUIPMENT FOR EASE OF DISCONNECTING, WITH MINIMUM INTERFERENCE

- e. FOR ROOF AND ATTIC MOUNTED EQUIPMENT REQUIRING ROUTINE MAINTENANCE, ALLOW FOR AN UNOBSTRUCTED PATH FROM THE ROOF/ATTIC SERVICE ENTRY POINT TO THE EQUIPMENT. THE PATH AREA SHALL BE A MINIMUM OF 6'-0" HIGH BY 3'-0" WIDE.
- 19. ALL PIPE AND DUCT PENETRATIONS OF FIRE AND/OR SMOKE-RATED ASSEMBLIES SHALL BE FIRE-STOPPED AS REQUIRED TO RESTORE THE ASSEMBLY TO ITS ORIGINAL INTEGRITY. FIRE BARRIER PRODUCTS SHALL BE AS MANUFACTURED BY TREMCO, HILTI, 3M, STI, NELSON OR APPROVED EQUAL.
- 20. ACCESS PANELS IN NON-ACCESSIBLE CEILINGS AND IN WALLS TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEMS SHALL BE INSTALLED UNDER THE ARCHITECTURAL DIVISION. ACCESS PANELS IN CEILING AND WALLS SHALL BE PROVIDED WHERE SHOWN ON THE DRAWINGS OR WHERE NECESSARY TO ACCESS DAMPERS, VALVES, ETC. COORDINATE EXACT LOCATION OF ALL ACCESS PANELS WITH THE ARCHITECT DURING THE SHOP DRAWING PROCESS.
- 21. ACCESS DOORS SHALL BE INSTALLED AT ALL FIRE DAMPERS, COMBINATION FIRE/SMOKE DAMPERS AND SMOKE DAMPERS TO FACILITATE INSPECTION AND MAINTENANCE. PERMANENTLY IDENTIFY THE ACCESS DOOR BY A DIE-CUT LABEL WITH ½" HIGH RED BLOCK LETTERS ON A WHITE BACKGROUND. LABEL SHALL READ "FIRE DAMPER", "COMBINATION FIRE/SMOKE DAMPER" OR "SMOKE DAMPER".
- 22. ALL MECHANICAL EQUIPMENT SHALL BE LABELED WITH A 2" HIGH SEMI-RIGID PLASTIC LAMINATE NAMEPLATE WITH 1" HIGH WHITE LETTERS ON A BLACK BACKGROUND SECURELY AFFIXED TO THE EQUIPMENT. THE NAMEPLATE SHALL SHOW THE EQUIPMENT TAG USED ON THESE DRAWINGS. ON RESIDENTIAL PROJECTS, THE NAMEPLATE ON THE OUTDOOR EQUIPMENT SHALL INDICATE THE DWELLING UNIT NUMBER IT SERVES AS WELL AS THE EQUIPMENT ID TAG.
- 23. REFER TO ARCHITECTURAL PLANS FOR ALL FURRDOWN CEILING AREAS. CONTRACTOR SHALL ADVISE
- ARCHITECT AND ENGINEER OF ANY CONFLICTS BETWEEN ARCHITECTURAL AND MECHANICAL DRAWINGS. 24. REFER TO ARCHITECTURAL PLANS FOR FLOOR AND CEILING ASSEMBLY UL RATINGS AND DETAILS.
- 25. ALL MATERIALS EXPOSED WITHIN HVAC PLENUMS SHALL HAVE A FLAME-SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED RATING INDEX OF NOT MORE THAN 50 UNLESS OTHERWISE ALLOWED BY CODE.
- 26. THE FIRE SPRINKLER CONTRACTOR SHALL INSTALL AND LOCATE ALL FIRE SPRINKLER PIPING TO PREVENT PIPING FROM THE POTENTIAL OF FREEZING. THE FIRE SPRINKLER CONTRACTOR IS REQUIRED TO NOTIFY THE ARCHITECT AND COORDINATE WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS IF HEATING IS
- 27. COORDINATE ALL DUCTWORK WITH WOOD TRUSS SHOP DRAWINGS PRIOR TO INSTALLATION.
- 28. GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF STRUCTURAL TRUSS SHOP DRAWINGS AND FIELD TRUSSES TO AVOID WOOD TRUSSES CONFLICTING WITH VERTICAL SHAFTS AND INDIVIDUAL AIR HANDLING UNIT DISCHARGE PLENUMS.
- 29. UNLESS NOTED OTHERWISE, THE ROOF CURB SHALL BE FURNISHED WITH THE EQUIPMENT IT SUPPORTS (SUBMIT WITH SHOP DRAWINGS).
- 30. DUCTWORK AND PIPING SHALL NOT BE INSTALLED IN ELECTRICAL ROOMS, TELECOMM ROOMS, OR ELEVATOR EQUIPMENT ROOMS EXCEPT FOR DUCTWORK AND PIPING SERVING THAT SPECIFIC ROOM. DUCTWORK AND PIPING SHALL NOT BE ROUTED ABOVE ELECTRICAL EQUIPMENT PER THE NATIONAL ELECTRICAL CODE

TESTING, ADJUSTING AND BALANCING (RESIDENTIAL PROJECTS)

- 1. AFTER CONSTRUCTION, THE ENTIRE HVAC SYSTEM SHALL BE CLEANED, TESTED AND ADJUSTED TO SATISFY THE EQUIPMENT SCHEDULES AND AIR QUANTITIES SHOWN ON THE DRAWINGS. DWELLING LIVING UNITS DO NOT REQUIRE THAT AN AIR TEST AND BALANCE BE PERFORMED.
- ALL 100% OUTSIDE AIR SYSTEMS SHALL BE TESTED, ADJUSTED AND BALANCED TO SATISFY THE EQUIPMENT SCHEDULES AND AIR QUANTITIES SHOWN ON THE DRAWINGS.
- 3. COMMON AREAS VENTILATION AIR DISTRIBUTION SYSTEMS (OUTDOOR AIR AND EXHAUST AIR) SHALL BE BALANCED TO ACHIEVE THE AIRFLOW RATES INDICATED ON THE DRAWINGS. THESE AIRFLOW RATES SHALL BE CONSIDERED MINIMUM RATES. THE MEASURED AIR BALANCE TOLERANCE FOR BOTH OUTDOOR AIR AND EXHAUST AIR RATES SHALL BE 0% TO +10%.
- 4. SUBMIT THE CERTIFIED (AABC OR NEBB) TEST AND BALANCE REPORT TO THE ARCHITECT FOR APPROVAL.REPORTS SHALL INCLUDE AIRFLOW AND TEMPERATURE TEST DATA.

MECHANICAL/ELECTRICAL COORDINATION:

- CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT OR SUBMITTING SHOP DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN. SHOP DRAWING SUBMITTALS SHALL CLEARLY STATE THAT THE ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT HAS BEEN COORDINATED WITH THE ELECTRICAL CONTRACT DOCUMENTS AND THE ELECTRICAL CONTRACTOR.
- ALL MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH A DISCONNECT SWITCH AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR NON-FUSED) WITH EQUIPMENT CHARACTERISTICS, MANUFACTURER'S RECOMMENDATIONS AND THE ELECTRICAL DRAWINGS. DISCONNECT SWITCH SHALL BE FURNISHED BY MECHANICAL FOR INSTALLATION BY ELECTRICAL. DISCONNECT SWITCHES SHALL NOT BE MOUNTED ON THE EQUIPMENT IT SERVES UNLESS INTEGRAL TO THE
- PROVIDE ALL SYSTEM CONTROLS AND ASSOCIATED CONTROL AND INTERLOCK WIRING FOR COMPLETE AND OPERABLE SYSTEMS. 120 VOLT AND HIGHER WIRING SHALL BE MC CABLE OR IN CONDUIT IN ACCORDANCE WITH LOCAL CODES AND THE MATERIALS AND INSTALLATION REQUIREMENTS OF DIVISION 26 - ELECTRICAL.
- COORDINATE POWER AND FIRE ALARM REQUIREMENTS OF ALL COMBINATION FIRE/SMOKE DAMPERS AND SMOKE DAMPERS WITH THE ELECTRICAL CONTRACTOR.
- ALL REQUIRED CONTROL WIRING (INCLUDING POWER WIRING REQUIRED FOR CONTROL PANELS, DEVICES, ETC.) NOT INDICATED ON THE ELECTRICAL DRAWINGS SHALL BE INCLUDED AS PART OF THE MECHANICAL

WORK. WIRING IN HVAC PLENUM SPACES SHALL BE INSTALLED ACCORDING TO CODE REQUIREMENTS.

- UNLESS NOTED OTHERWISE, TRANSFORMERS, CONTROLS AND CONTROL WIRING REQUIRED FOR ALL MECHANICAL SYSTEMS SHALL BE FURNISHED WITH THE EQUIPMENT IT SERVES AND INSTALLED BY THE MECHANICAL CONTRACTOR. MOTOR STARTERS FOR HVAC EQUIPMENT SHALL BE FURNISHED WITH THE MOTOR OR APPARATUS WHICH IT OPERATES. MOTOR STARTER INSTALLATION SHALL BE BY THE DIVISION 26 CONTRACTOR.
- ROUTING OF PIPING AND DUCTWORK SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR AND ALL OTHER TRADES DURING THE SUBMITTAL AND LAYOUT PHASE. PIPING AND DUCTWORK SHALL NOT BE ROUTED THROUGH THE DEDICATED ELECTRICAL SPACE ABOVE EACH LOAD CENTER.

DUCT SMOKE DETECTORS:

- ALL FANS SUPPLYING MORE THAN 2000 CFM OF AIR TO ANY SPACE SHALL BE INSTALLED WITH A SMOKE DETECTOR IN THE SUPPLY DUCTWORK.DUCT SMOKE DETECTORS SHALL BE INSTALLED IN THE SUPPLY AIR PATH OF AIR DISTRIBUTION SYSTEM UTILIZING A COMMON SUPPLY AND/OR RETURN AIR PLENUM WITH A COMBINED DESIGN CAPACITY GREATER THAN 2000 CFM
- THE SMOKE DETECTOR SHALL BE WIRED TO STOP THE FAN UPON DETECTION OF SMOKE, AND SIGNAL THE BUILDING FIRE ALARM CONTROL PANEL. THE SMOKE DETECTOR SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR, MOUNTED IN THE DUCT BY THE MECHANICAL CONTRACTOR, AND WIRED BY THE ELECTRICAL CONTRACTOR.

AIR DISTRIBUTION:

- SUPPLY, RETURN AND O.A. DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEETMETAL IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS, LATEST EDITION AND IMC CHAPTER 6 AS REQUIRED. SNAP-LOCK LONGITUDINAL SEAMS ARE NOT ALLOWED UNLESS SECURED WITH SHEET METAL FASTENING SCREWS AS RECOMMENDED BY SMACNA.
- ALL JOINTS AND SEAMS IN ALL SHEETMETAL DUCTWORK SHALL BE SEALED WITH DUCT SEALER. LEASING, AMENITY AND COMMON AREA DUCTWORK IN MULTIFAMILY PROJECTS SHALL HAVE SHEET METAL DUCTWORK a. SEAL, INSPECT AND TEST SHEETMETAL DUCTWORK PRIOR TO INSULATING OR CONCEALING. SEAL ALL
- b. SEAL ALL TRANSVERSE JOINT, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS.
- c. PRESSURE-SENSITIVE TAPE SHALL NOT BE USED AS THE PRIMARY SEALANT, UNLESS IT HAS BEEN CERTIFIED TO COMPLY WITH UL-181A OR UL-181B BY AN INDEPENDENT TESTING LABORATORY AND THE TAPE IS USED IN ACCORDANCE WITH THAT CERTIFICATION.
- d. ALL CONNECTIONS SHALL BE SEALED, INCLUDING BUT NOT LIMITED TO SPIN-IN FITTINGS, TAPS, OTHER BRANCH CONNECTIONS, ACCESS DOORS, AND DUCT CONNECTIONS TO EQUIPMENT. e. SEALING THAT WOULD VOID PRODUCT LISTINGS IS NOT REQUIRED.
- f. SPIRAL LOCK SEAMS NEED NOT BE SEALED.

DUCTWORK AND PLENUMS TO MEET SMACNA SEAL CLASS A.

- 2. ALTERNATE SUPPLY AND RETURN AIR DUCTWORK FOR DWELLING UNITS FIBERGLASS DUCT BOARD (MINIMUM INSULATION VALUE OF R-6, R-8 WHEN LOCATED OUTSIDE THE THERMAL ENVELOPE OF THE BUILDING, OR GREATER WHERE REQUIRED BY APPLICABLE ENERGY CODE) WITH GLASS FABRIC REINFORCED VAPOR BARRIER. FIBERGLASS DUCTWORK AND TAPING SYSTEM SHALL BE U.L._181 LISTED AND SHALL BEAR THE U.L. LABEL. ALL FIBERGLASS DUCTWORK AND ACCESSORIES SHALL BE FABRICATED BY A MANUFACTURER'S AUTHORIZED FABRICATOR, SHALL BE INSTALLED WITH THE FABRICATOR'S SUPERVISION AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. FIBERGLASS DUCTWORK SHALL NOT BE USED OUTDOORS. DUCT BOARD SHALL BE JOHNS MANVILLE SUPERDUCT RC OR EQUAL.
- EXTERIOR SUPPLY AND RETURN DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEETMETAL (G 90 MINIMUM) WITH ALL SEAMS CAULKED AND SEALED WEATHERTIGHT AND COATED WITH A RUST PREVENTIVE COATING OVER THE ENTIRE DUCT SURFACE. RUST PREVENTATIVE COATING SHALL BE "RUST DESTROYER" BY ADVANCE PROTECTIVE PRODUCTS, INC., OR APPROVED EQUAL. SLOPE OR CROWN DUCTWORK AT 1/4" PER FOOT TRANSVERSELY TO PREVENT STANDING WATER ON TOP OF DUCTWORK. ALSO, REFER TO INSULATION NOTE 1e BELOW FOR INSULATION REQUIREMENTS AND PREFABRICATED ALTERNATE DUCT SYSTEM.
- 4. ALL OPEN-ENDED DUCTS AND FAN OUTLETS SHALL HAVE ½" X ½" HARDWARE CLOTH AFFIXED TO THE
- 5. EXHAUST DUCTWORK SHALL BE GALVANIZED SHEET METAL (G 90 MINIMUM) CONSTRUCTED TO SMACNA STANDARDS AND SHALL NOT BE INSULATED UNLESS NOTED OTHERWISE.
- ALL DUCTWORK SHALL BE SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR CEILING STRUCTURE. DUCT SUPPORTS AND ATTACHMENT TO STRUCTURE SHALL BE PER SMACNA
- FLEXIBLE DUCTWORK SHALL BE THERMAFLEX M-KE (U.L. 181 LISTED, CLASS 1 FLEXIBLE AIR DUCT) OR EQUAL. PROVIDE MINIMUM INSULATION VALUE OF R-6; R-8 WHEN LOCATED OUTSIDE THE THERMAL ENVELOPE OF THE BUILDING, OR GREATER WHERE REQUIRED BY APPLICABLE ENERGY CODE. AIR CONNECTORS ARE NOT ACCEPTABLE. FLEX DUCT DIAMETER SHALL MATCH DEVICE NECK DIAMETER. PROVIDE ROUND GALVANIZED STEEL DUCT RUNOUTS TO MAINTAIN A MAXIMUM FLEXIBLE DUCT LENGTH OF 8'_0" (EXCEPT IN DWELLING UNITS, LENGTH SHALL BE AS INDICATED). LEASING, AMENITY AND COMMON AREAS IN MULTIFAMILY PROJECTS SHALL BE LIMITED TO 8'-0" MAXIMUM FLEXIBLE DUCT LENGTH. FLEXIBLE DUCTWORK SHALL BE INSTALLED AS STRAIGHT AS POSSIBLE AND SHALL BE ROUTED AND SUPPORTED WITHOUT FORMING CRIMPS OR OTHER AIR FLOW RESTRICTIONS. PROVIDE SQUARE TO ROUND ADAPTERS OR BOOTS TO CONNECT TO AIR DEVICE NECK
- ROUND AND FLEXIBLE SUPPLY AIR DUCTWORK SHALL BE CONNECTED TO MAIN DUCTS WITH A TAB TYPE

TAPE, BED AND SEAL AIR TIGHT ALL PENETRATIONS FROM RETURN AIR PLENUMS TO NON-RETURN AIR

- PLENUMS THAT ARE REQUIRED DUE TO DUCTWORK, PIPING OR OTHER ITEMS.
- 10. DUCTWORK DIMENSIONS SHOWN ON THE DRAWINGS ARE INSIDE CLEAR DIMENSIONS.
- 11. EXTERNAL STATIC PRESSURE (ESP) DOES NOT INCLUDE COIL, CASING OR FILTER PRESSURE DROP.
- DYNAMIC TYPE WITH BLADES OUT OF THE AIRSTREAM WHERE POSSIBLE. ALL FIRE DAMPERS SHALL COMPLY WITH THE REQUIREMENTS OF U.L. 555. REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF
- 13. DUCT ACCESS DOORS: PROVIDE ACCESS DOORS IN DUCTWORK AT EACH FIRE, COMBINATION FIRE/SMOKE

12. INSTALL FIRE DAMPERS IN ALL RATED WALLS AND FLOOR PENETRATIONS. FIRE DAMPERS SHALL BE THE

- 14. PROVIDE ALL OUTDOOR AIR INTAKES AND EXHAUST OPENINGS WITH MOTORIZED OR GRAVITY DAMPERS IN ACCORDANCE WITH THE LOCAL ENERGY CODE. DAMPERS SHALL CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- 15. LOCATIONS OF GRILLES, REGISTERS, AND DIFFUSERS SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE EXACT LOCATIONS WITH LIGHTS, CEILING GRID, ETC. AND ARCHITECTURAL REFLECTED CEILING
- 16. WHERE BALANCING DAMPERS CANNOT BE ACCESSED FROM BELOW THE CEILING, PROVIDE A REMOTE
- OPERATED DAMPER; YOUNG REGULATOR OR EQUAL. 17. DUCTWORK INSTALLED WITHIN OPEN ATTIC SPACES SHALL BE GALVANIZED STEEL. DUCTBOARD AND FLEX

DUCT IS ALLOWABLE WHERE SERVING DWELLING UNIT SUPPLY AIR SYSTEMS.

18. FLEXIBLE DUCT CONNECTORS SHALL BE USED TO CONNECT DUCTWORK AND PLENUMS TO FAN-ROTATING EQUIPMENT; DURODYNE EXCELON OR APPROVED EQUAL. FLEXIBLE CONNECTORS EXPOSED TO THE WEATHER SHALL BE UV AND OZONE RESISTANT. FABRICS, COATING AND ADHESIVES SHALL BE TESTED IN ACCORDANCE WITH UL 701 AND HAVE A FLAME SPREAD/ SMOKE DEVELOPED RATING OF 25/50. FLEXIBLE

DUCT CONNECTORS SHALL ALSO BE PROVIDED WHERE DUCTWORK CROSSES BUILDING EXPANSION JOINTS.

- 19. PROTECT DUCTS EXPOSED IN FINISHED SPACES FROM BEING DENTED, SCRATCHED, OR DAMAGED. TRIM DUCT SEALANTS FLUSH WITH METAL TO CREATE A SMOOTH AND UNIFORM EXPOSED BEAD. TWO-PART TAPE SEALING SYSTEMS ARE NOT ALLOWED. REPAIR OR REPLACE DAMAGED DUCTWORK AND FINISH WORK THAT
- 20. SUPPORT ROOF MOUNTED DUCTWORK AT 6 FT. OC (MAX.) WITH MIFAB SERIES DSA DUCT SUPPORT SYSTEM. UV RESISTANT RUBBER BASES SHALL BE PLACED ON ROOFING WALKPAD MATERIAL. COORDINATE WITH ROOFING INSTALLER.

- 1. DUCT INSULATION:
 - a. DUCT WRAP SHALL BE UL LISTED FIBERGLASS BLANKET INSULATION WITH FOIL VAPOR BARRIER, JOHNS MANVILLE MICROLITE EQ FSK OR APPROVED EQUAL. PUNCTURES AND TEARS IN THE FOIL JACKET SHALL BE PATCHED WITH FOIL TAPE TO MAINTAIN THE INTEGRITY OF THE VAPOR BARRIER. INSULATE SHEET METAL DUCTWORK IN THE THICKNESSES AND DENSITIES AS LISTED BELOW:
- i. SHEET METAL SUPPLY AND OUTSIDE AIR DUCTWORK: 2" THICK, 1 LB/FT3 DENSITY, R-6 MINIMUM ii. SHEET METAL RETURN DUCTWORK IN NON-AIR CONDITIONED AREAS (SUCH AS INTERSTITIAL SPACES
- AND FLOOR/CEILING ASSEMBLIES): 2" THICK 1 LB/FT3 DENSITY R-6 MINIMUM INSTALLED. iii. ALL SHEET METAL DUCTWORK LOCATED OUTSIDE OF THE THERMAL ENVELOPE OF THE BUILDING (INCLUDING CRAWL SPACES AND ATTIC SPACES): 3" THICK, 3/" LB/FT3 DENSITY, R-8 MINIMUM INSTALLED.
- b. EXTERIOR DUCTWORK SHALL BE LINED WITH 2" THICK DUCT LINER BOARD (MINIMUM R-8. JOHNS MANVILLE PERMACOTE LINACOUSTIC R-300 OR EQUAL. COAT THE EXTERIOR OF THE ENTIRE DUCT SURFACE WITH A RUST INHIBITIVE PAINT. PAINTING BY MECHANICAL. SUBMIT COLOR CHART TO THE ARCHITECT DURING THE SUBMITTAL PHASE. AS AN ALTERNATIVE, THERMADUCT OUTDOOR DUCT

- SYSTEM HAVING A MINIMUM R-VALUE OF 8 MAY BE USED. THE SYSTEM SHALL UTILIZE NON-FIBROUS CLOSED CELL KINGSPAN KOOLDUCT FORTIFIED INNER LINER COMPLIANT TO UL (C-UL) 181, STANDARD FOR SAFETY LISTED, CLASS 1 SYSTEM AND SMACNA CLASS 1 LEAKAGE, OR LESS. SUBMIT PRODUCT DATA AND LAYOUT DRAWINGS DURING THE SUBMITTAL PHASE. FOR PROJECTS LOCATED WITHIN 2 MILES OF THE SEACOAST, FLANGES AND HARDWARE SHALL BE ALUMINUM (ALLOY 3003 - H14 TEMPER PER ASTM B209). CROWN OR SLOPE DUCTWORK AT 1/4" PER FOOT TRANSVERSELY TO PREVENT STANDING WATER ON TOP OF DUCTWORK
- c. DUCT LINER FOR ACOUSTICS: LINE ALL SHEETMETAL DUCTWORK A MINIMUM OF 15'_0" (OR AS INDICATED) UPSTREAM AND DOWNSTREAM OF ALL AIR HANDLING UNITS, ROOFTOP UNITS, AND FAN COIL UNITS DUCT LINER FOR RECTANGULAR DUCTS SHALL BE 11/3" THICK (MINIMUM R-6 OR GREATER WHERE REQUIRED BY APPLICABLE ENERGY CODE). JOHNS MANVILLE LINACOUSTIC RC OR EQUAL. THE LEADING EDGE OF THE DUCT LINER SHALL HAVE A SHEETMETAL NOSING. LINED DUCTWORK DOES NOT REQUIRE
- ADDITIONAL EXTERIOR INSULATION WHERE LINER MEETS REQUIRED R-VALUES.
- d. REFER TO ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS FOR PAINTING OF DUCTWORK, INSULATION, ETC. IN EXPOSED INTERIOR AREAS.
- e. DUCTWORK SERVING SMOKEPROOF ENCLOSURES SHALL BE WRAPPED USING A U.L. LISTED AND APPROVED 2-HOUR RATED FIRE WRAP INSULATING SYSTEM OR ENCLOSED IN AN APPROVED ASSEMBLY.

ARMAFLEX WB FINISH OR EQUIVALENT.

- a. REFRIGERANT SUCTION PIPING INSULATION SHALL BE FLEXIBLE ELASTOMERIC TUBING. AP/ARMAFLEX PIPE INSULATION WITH REINFORCED LAP SEAL AS MANUFACTURED BY ARMACELL OR EQUAL. INSULATION THICKNESS SHALL BE PER SPECIFICATION 232300. INSULATION SHALL BE SLID OVER PIPING FROM ONE END BEFORE PIPE ENDS ARE JOINED AND SHALL NOT BE SLIT OR CUT. ALL JOINTS AND SEAMS SHALL BE SEALED WEATHER-TIGHT. FINISH COAT FOR FLEXIBLE ELASTOMERIC INSULATION INSTALLED OUTDOORS SHALL BE WATER-BASED LATEX ENAMEL DESIGNED FOR USE OVER ALL FORMS OF FLEXIBLE ELASTOMERIC INSULATION. FINISH COAT SHALL PROVIDE A PROTECTIVE FINISH SUITABLE TO BOTH INDOOR AND OUTDOOR APPLICATIONS FORMULATED FOR COLD WEATHER FLEXIBILITY TO RESIST CRACKING AND WEATHER-RESISTANT TO ULTRAVIOLET (UV) AND OZONE. COATING SHALL BE
- b. INSULATE ALL CONDENSATE DRAIN PIPING AND FITTINGS WITHIN THE BUILDING'S THERMAL ENVELOPE WITH SECTIONAL PREFORMED FIBERGLASS PIPE INSULATION WITH VAPOR BARRIER JACKET; JOHNS MANVILLE MICRO-LOK OR APPROVED EQUAL. THICKNESS SHALL BE MANUFACTURER'S RECOMMENDED THICKNESS TO PREVENT CONDENSATION ON THE EXTERIOR OF THE JACKET MINIMUM THICKNESS. SHALL BE ½" FOR PIPE SIZES UP TO 1¼" AND 1" THICKNESS FOR PIPE SIZES 1½" AND LARGER.

- 1. REFRIGERANT PIPING SHALL BE TYPE L OR ACR (AIR CONDITIONING AND REFRIGERATION FIELD SERVICE) COPPER TUBING WITH BRAZED JOINTS.
- REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING-TYPE TAMPER-RESISTANT CAPS.
- 3. CONDENSATE FROM ALL AIR CONDITIONING EQUIPMENT SHALL BE TRAPPED AND ROUTED TO THE NEAREST PLUMBING DRAIN CONDENSATE PIPING SHALL BE TYPE M COPPER OR SCHEDULE 40 PVC (IN HVAC PLENUMS USE INSULATED TYPE M COPPER). CONDENSATE SHALL BE PUMPED AS REQUIRED. PVC EXPOSED TO THE WEATHER SHALL BE PAINTED WITH A LIGHT COLORED ACRYLIC OR LATEX ULTRAVIOLET (UV) AND OZONE INHIBITOR PAINT THAT IS CHEMICALLY COMPATIBLE WITH PVC.

PIPE SUPPORTS AND HANGERS:

- a. ALL PIPING ABOVE GRADE SHALL BE SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR CEILING STRUCTURE.
- STEAM PIPING SHALL BE SCHEDULE 40 BLACK STEEL, ASTM A_53B MINIMUM WITH SCREWED OR WELDED JOINTS. CONDENSATE RETURN PIPING SHALL BE SCHEDULE 80 BLACK STEEL, ASTM A_120 MINIMUM WITH SCREWED OR WELDED JOINTS.
- WHERE MAXIMUM OPERATING PRESSURE IS GREATER THAN 150 PSIG IN ANY SYSTEM, CONTRACTOR SHALL FURNISH AND INSTALL PRODUCTS, PIPING, VALVES, FITTINGS, AND ACCESSORIES WITH PRESSURE CLASSIFICATIONS THAT ARE SUITABLE FOR SERVICE. IN GENERAL, ALL PRODUCTS, PIPING, VALVES, FITTINGS, AND ACCESSORIES BELOW 350 FEET OF THE HIGHEST PIPING POINT MUST HAVE PRESSURE RATINGS OF 300 PSI W.O.G. OR GREATER. ALL PRODUCTS. PIPING. VALVES. FITTINGS. AND ACCESSORIES BELOW 575 FEET OF THE HIGHEST PIPING POINT MUST HAVE PRESSURE RATINGS OF 500 PSI W.O.G. OR GREATER.
- EXPANSION IN PIPING SYSTEMS SHALL BE COMPENSATED FOR USING U-BENDS, Z-BENDS OR EXPANSION JOINTS AS INDICATED. U-BENDS (LOOPS) AND Z-BENDS SHALL BE COMPLETE WITH PIPE GUIDES AND ANCHORS, EXPANSION COMPENSATION IN PIPING RISERS OVER 100 FEET IN LENGTH SHALL BE MADE WITH ENGINEERED SYSTEMS; EITHER SPRING TYPE ISOLATORS AND CENTRAL ANCHOR SYSTEM (BY MASON INDUSTRIES) OR FLEXIBLE HOSE EXPANSION LOOPS (METRALOOP AS MANUFACTURED BY THE METRAFLEX COMPANY). REFER TO SPECIFICATION SECTION 23 21 13 FOR ADDITIONAL REQUIREMENTS.

- 1 CLOTHES DRYER FLEXIBLE DUCTWORK SHALL BE CONNECTED (BY INSTALLING CONTRACTOR) TO A MANUFACTURED DRYER WALL BOX (DRYERBOX MODEL 425 [FOR UPWARD EXHAUST FLOW OR INSTALL UPSIDE DOWN WHERE STACKABLE OR PEDESTAL DRYERS HAVE DOWARD EXHAUST FLOW] OR MODEL 4D [DOWNWARD EXHAUST FLOW] BY IN-O-VATE TECHNOLOGIES, INC. OR EQUAL). THE F AND T RATINGS FOR THE INSTALLATION SHALL BE 1 HOUR. THE FLEXIBLE DUCTWORK (BY DRYER INSTALLER) SHALL CONNECT THE CLOTHES DRYER TO THE DRYER WALL BOX CONNECTION USING A WORM DRIVE TYPE HOSE CLAMP AND BE INSTALLED AS SHOWN ON THE PLANS. THE LOCATION OF THE CLOTHES DRYER CONNECTION IN THE DWELLING UNIT SHALL BE BASED ON THE CLOTHES DRYER TYPE (STACKED OR SIDE BY SIDE) AND COORDINATED IN THE FIELD.
- BATHROOM AND CLOTHES DRYER EXHAUST DUCTS PENETRATING A HORIZONTAL RATED ASSEMBLY THROUGH THE TOP PLATE OR BOTTOM PLATE OF A FRAMED WALL ASSEMBLY SHALL BE PER UL INSTALLATION INSTRUCTIONS. DUCTWORK SHALL BE CONSTRUCTED OF 26 GAUGE GALVANIZED STEEL FOR THE ENTIRE LENGTH OF THE DUCT SYSTEM. DUCTWORK SHALL BE INSTALLED WITH LONGITUDINAL SEAMS FACING UP. FROM THE EXTERIOR WALL INWARD, SLOPE THE LAST 10' OF DUCTWORK AT 1/8"/FT. DOWN TOWARDS THE EXTERIOR WALL. DO NOT SECURE DRYER DUCT WITH SHEET METAL SCREWS.

BATHROOM (TOILET) AND CLOTHES DRYER EXHAUST DUCTWORK SHALL BE PROVIDED WITH A BACK-DRAFT

BATHROOM (TOILET), AND CLOTHES DRYER EXHAUST DUCTWORK SHALL HAVE SEAMS SEALED AIRTIGHT

- DAMPER. BATHROOM EXHAUST FANS MAY HAVE AN INTEGRAL BACK DRAFT DAMPER TO ACCOMPLISH THIS. BATHROOM EXHAUST SHALL INCLUDE AN INSECT SCREEN.
- 4. DWELLING UNIT KITCHEN RANGE HOODS SHALL BE THE VENTLESS RECIRCULATING TYPE AND WILL BE
- AIR HANDLERS SHALL HAVE A MANUFACTURER'S DESIGNATION FOR AN AIR LEAKAGE OF NO MORE THAN 2%
- ALL JOINTS AND SEAMS OF REGISTER AND DIFFUSER BOOTS, PANS, PLENUM BOXES, ETC. SHALL BE SEALED AIRTIGHT WITH DUCT SEALER OR MASTIC. VINYL OR FOIL TAPES ALONE ARE NOT ACCEPTABLE.

OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 193.

DESIGN CONDITIONS

SITE LOCATION: MACON, GEORGIA

361 FEET ELEVATION ASHRAE "STANDARD" 90.1-2010 CLIMATE ZONE 3A DESIGN CONDITIONS: 23.9°F WINTER DESIGN DRY BULB (ASHRAE 99.6%)

96.9F DRY BULB AND 75.6°F MEAN COINCIDENT WET BULB SUMMER DESIGN (ASHRAE 1%)

CALCULATIONS BASED ON ASHRAE DESIGN CRITERIA AND CALCULATION METHODOLOGY. NO CAPACITY HAS BEEN INCLUDED IN THIS DESIGN FOR FUTURE ADDITIONS.

32.69 N LAT., 83.65 W LONG.

MECH/ELEC COORDINATION

THE MECHANICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS OF ALL HVAC EQUIPMENT (VOLTAGE, PHASE, MCA, MOCP, ETC.) WITH THE ELECTRICAL CONTRACTOR AND THE ELECTRICAL PLANS PRIOR TO SUBMITTING OR ORDERING ANY MECHANICAL EQUIPMENT. ANY SUBSEQUENT MISMATCH BETWEEN THE MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS AND THE ELECTRICAL SERVICE, AS DESIGNED AND PROVIDED, SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR WITH NO ADDITIONS TO THE

MECHANICAL/ELECTRICAL COORDINATION STATEMENTS REQUIRED BY HVAC GENERAL NOTES AND SPECIFICATION SECTION 230000 SHALL BE INCLUDED WITH HVAC EQUIPMENT SUBMITTALS/SHOP DRAWINGS.

THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS GENERAL IN NATURE AND, AS SUCH, MAY NOT DESCRIBE ALL COMPONENTS OR CONDITIONS NECESSARY FOR THE COMPLETED PROJECT. THE CONTRACTOR, BY USING THESE DOCUMENTS AS PART OF ANY EFFORT TO ESTABLISH A GUARANTEED MAXIMUM PRICE (GMP) FOR CONSTRUCTION, ACKNOWLEDGES THE INCOMPLETE NATURE OF THE INFORMATION CONTAINED HEREIN, AND WILL THEREFORE INCORPORATE REASONABLE AMOUNTS AND ASSUMPTIONS IN THEIR ESTIMATE NECESSARY TO PROVIDE A COMPLETE PROJECT THAT IS CONSISTENT WITH THE DESIGN INTENT OF THESE DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION FEATURES INDICATED IN THE DOCUMENTS AS COMPLETE AND WORKING SYSTEMS. ANY FEATURE INDICATED IN ONE DISCIPLINE IS ASSUMED TO BE INCLUDED AND INCORPORATED IN ALL AND SHOULD BE COORDINATED BETWEEN SUB-CONTRACTORS AS NECESSARY AND REQUIRED FOR FULLY FUNCTIONING SYSTEMS. SHOULD THE CONTRACTOR NOTE ANY CONFLICTING OR CONTRADICTORY INFORMATION IN THESE DOCUMENTS, THEY ARE INSTRUCTED TO NOTIFY THE ARCHITECT AS SOON AS POSSIBLE OR IDENTIFY THE ITEM AS A SEPARATE LINE ITEM AND PRICE THE MORE COSTLY OF THE DIFFERING CONDITIONS.

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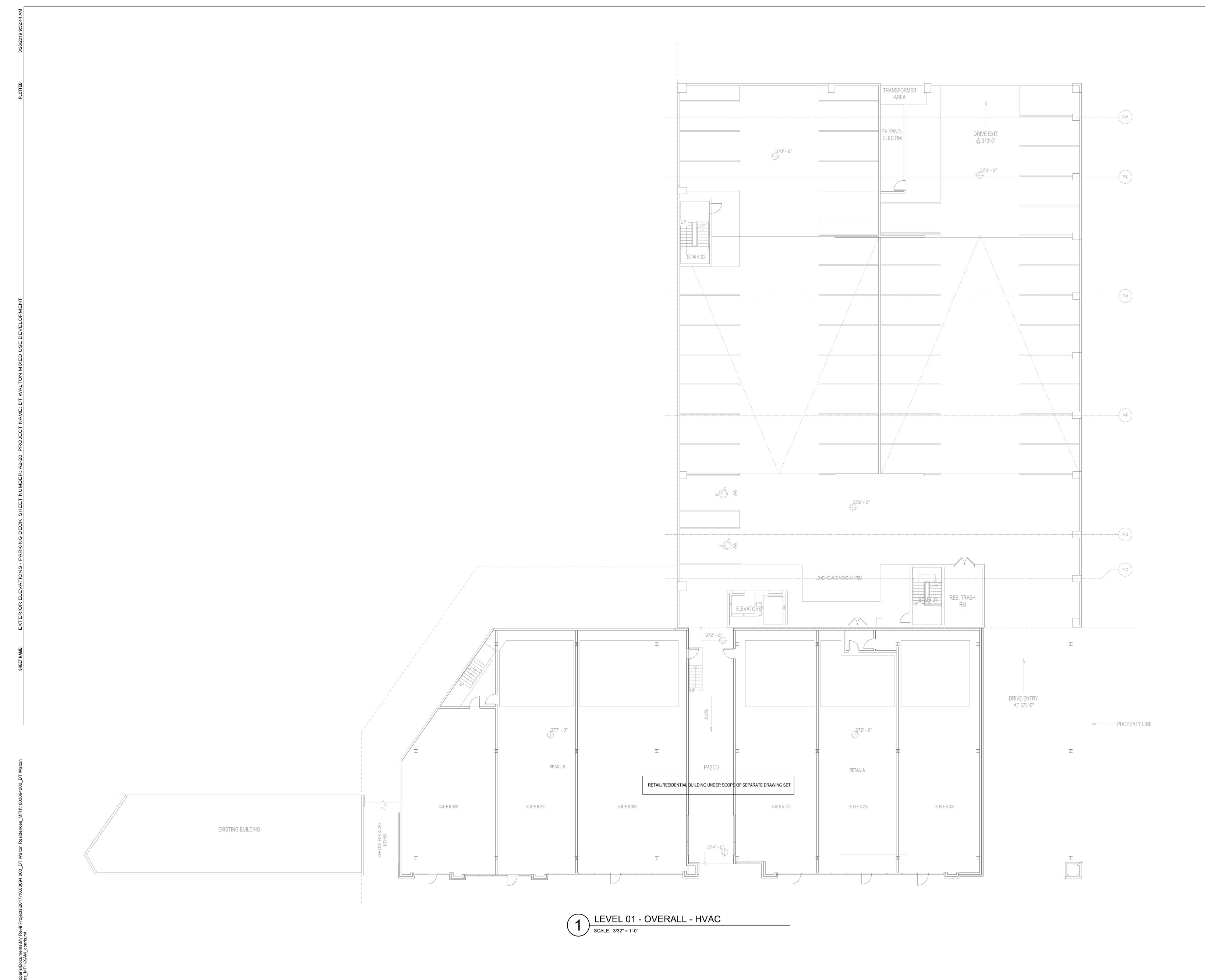
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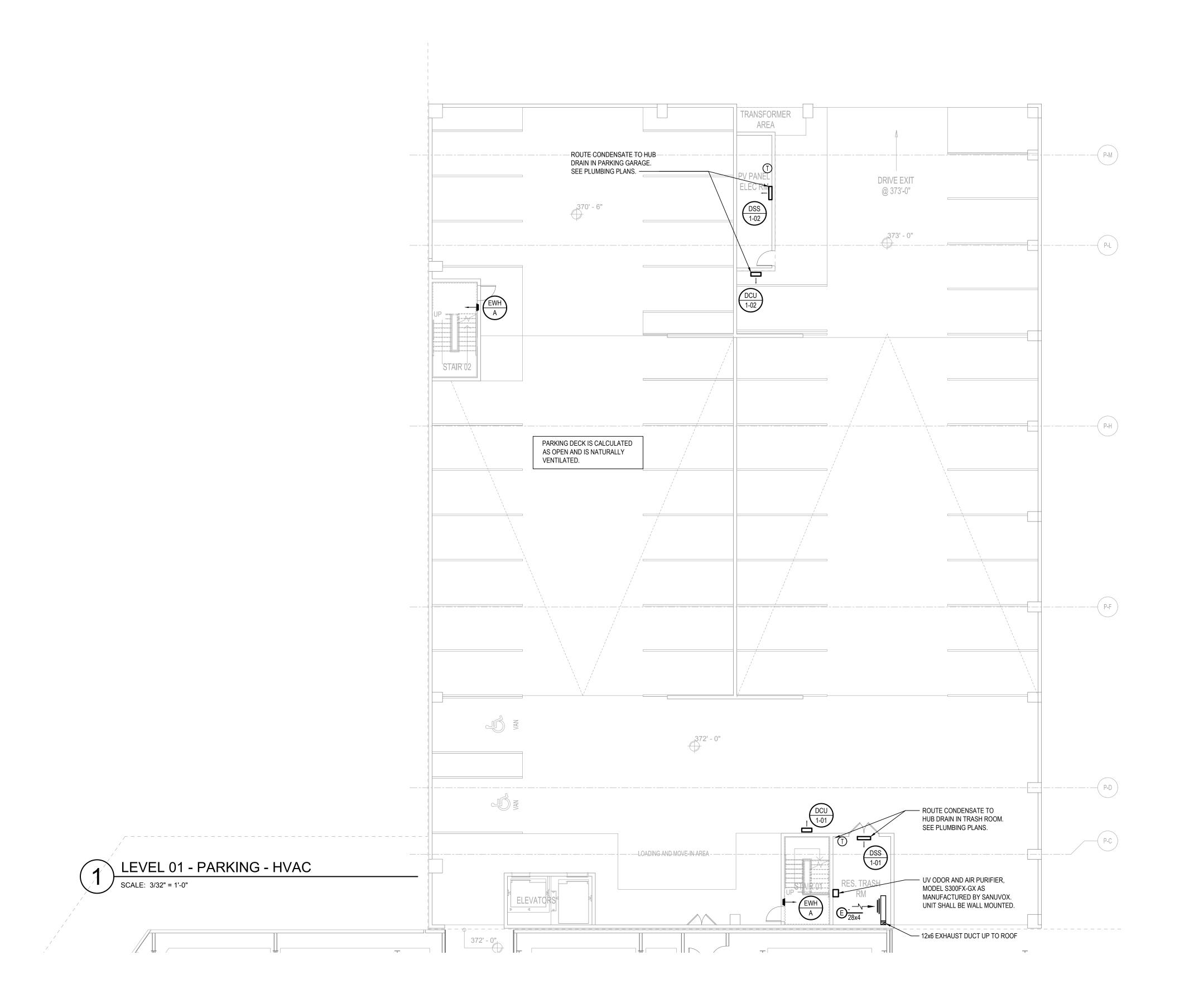
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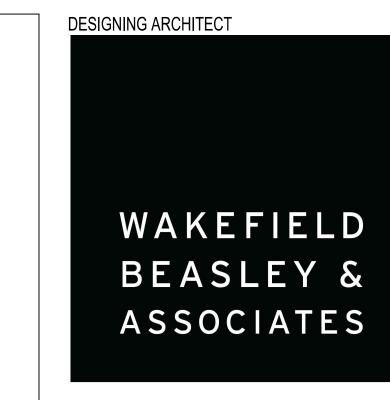
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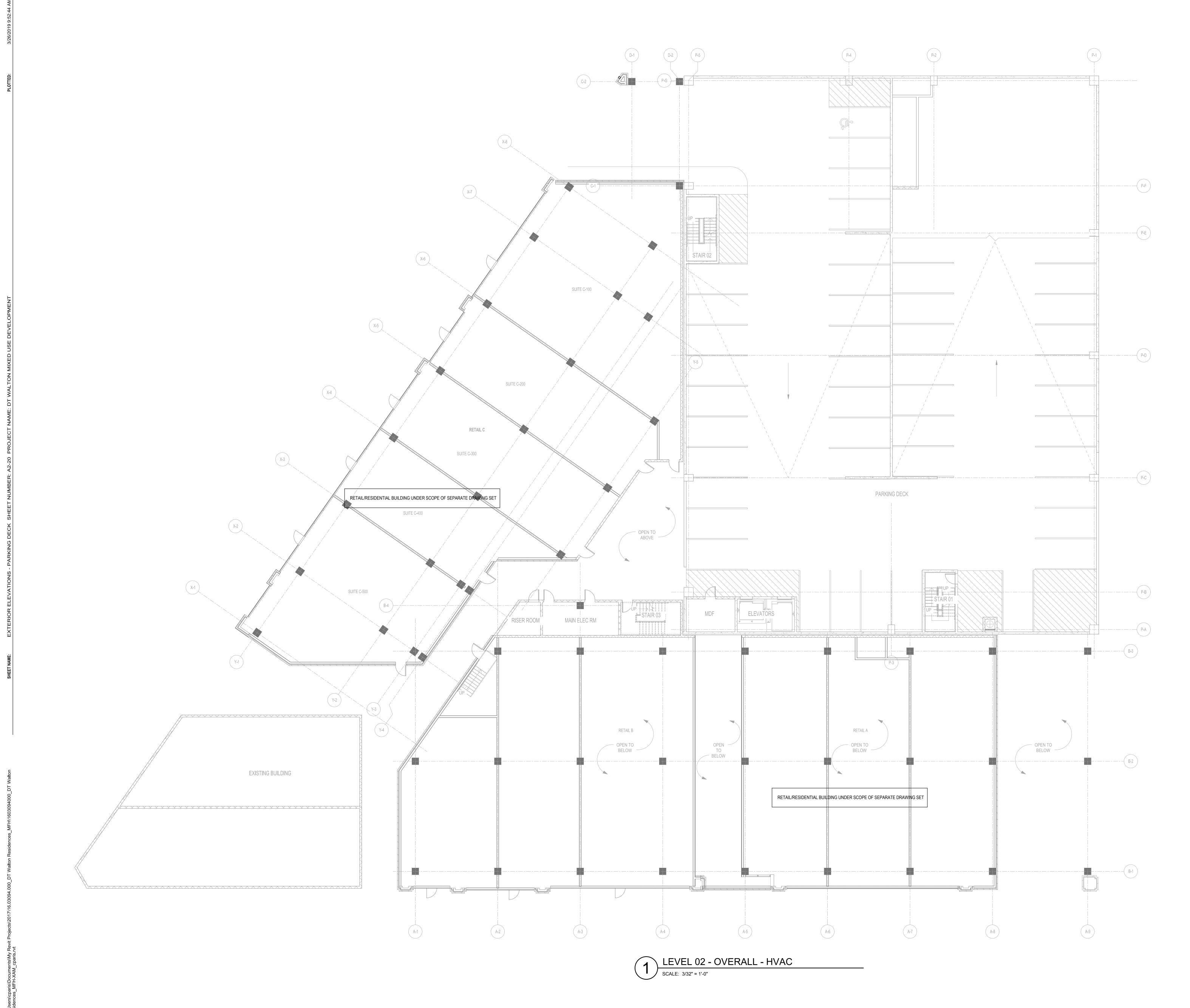
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LEVEL 01 - PARKING -HVAC

Sheet No.

M1-13





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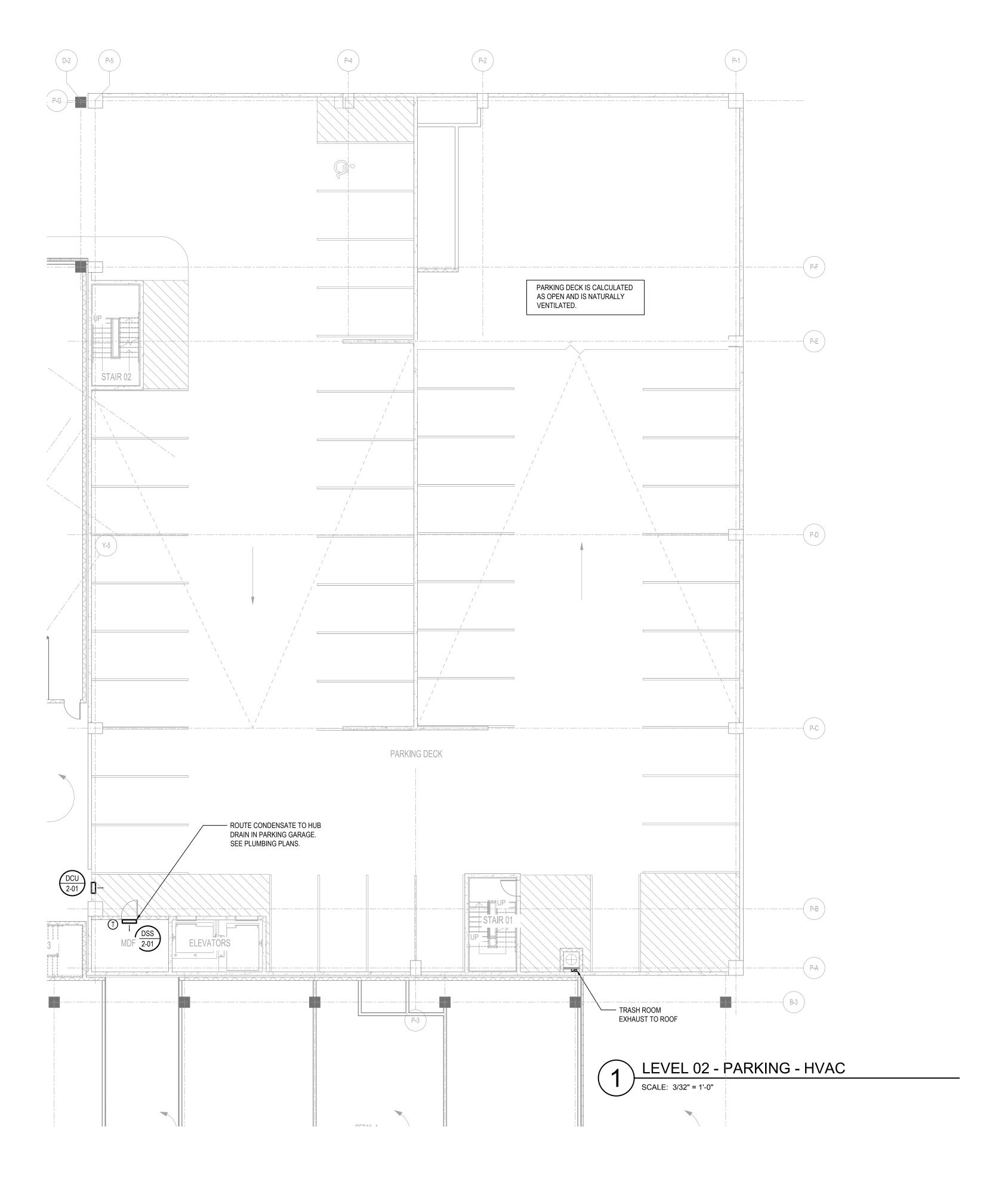
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LEVEL 02 - OVERALL -HVAC

Sheet No.

M1-20





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Sheet Title

LEVEL 02 - P.

LEVEL 02 - PARKING -HVAC

Sheet No.

M1-23



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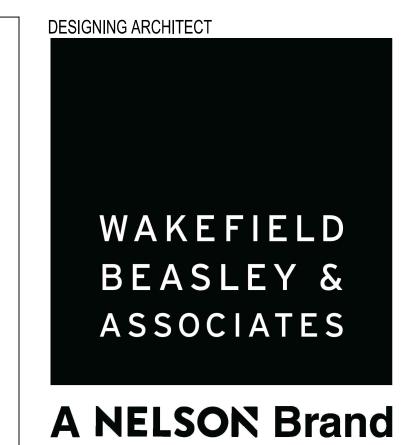
LEVEL 03 - OVERALL -

HVAC

Sheet No.

M1 - 30

PARKING DECK IS CALCULATED AS OPEN AND IS NATURALLY VENTILATED. TYPICAL FOR LEVELS 3, 5 & 6 TRASH ROOM
 EXHAUST TO ROOF 1 LEVEL 03 - PARKING - HVAC SCALE: 3/32" = 1'-0"



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LEVEL 03 - PARKING -

HVAC

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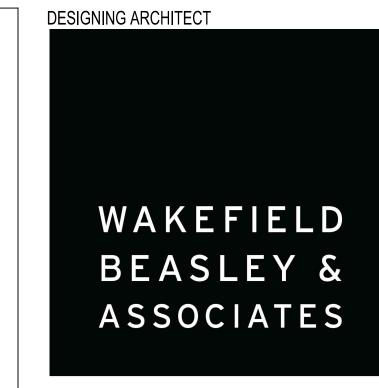
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4275 Shackleford Road, Suite 200
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V: (770) 447-5547 F: (770) 448-0262

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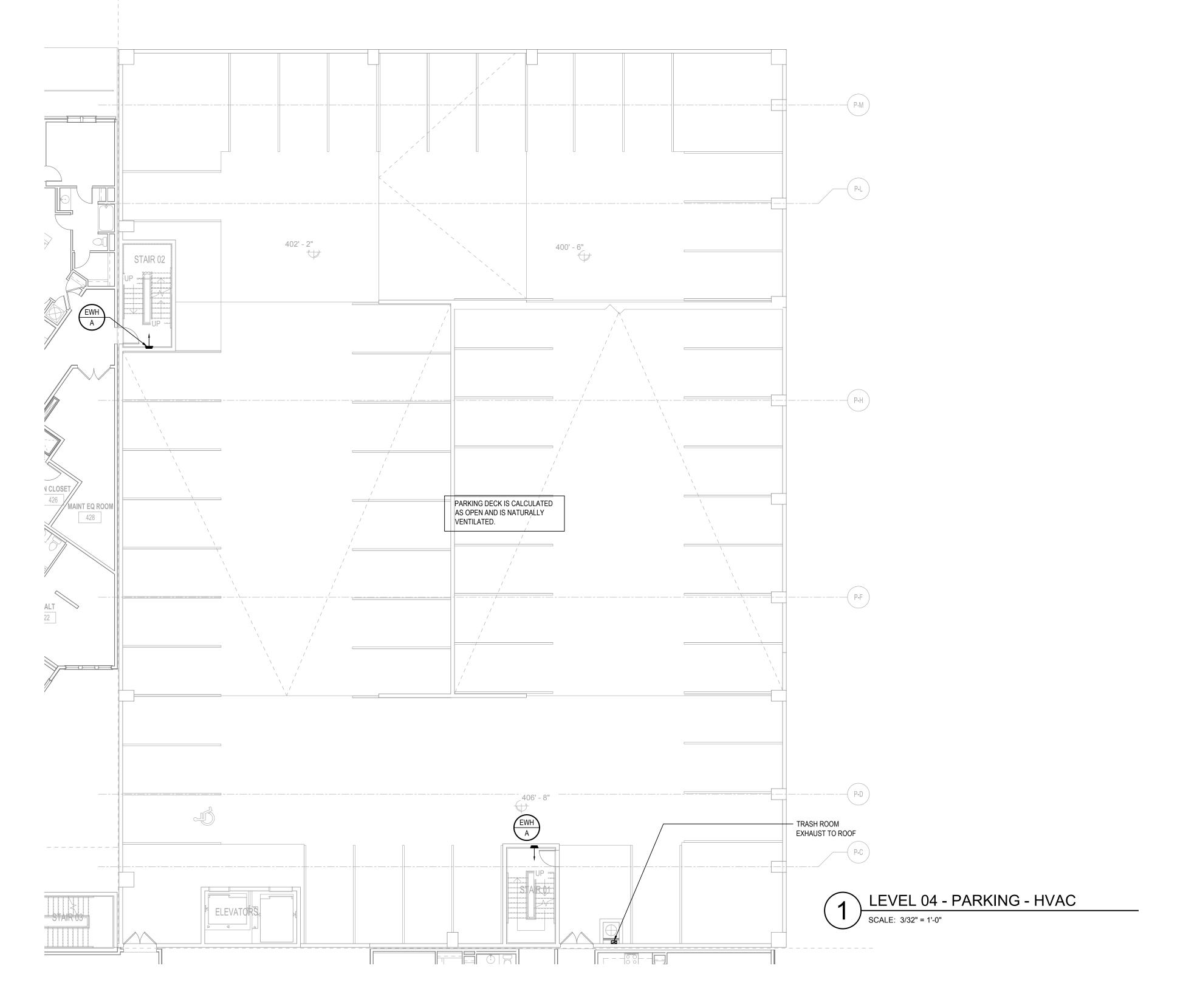
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LEVEL 04 - OVERALL
HVAC

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LEVEL 04 - PARKING -HVAC

M1-43

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LEVEL 07 - OVERALL -HVAC

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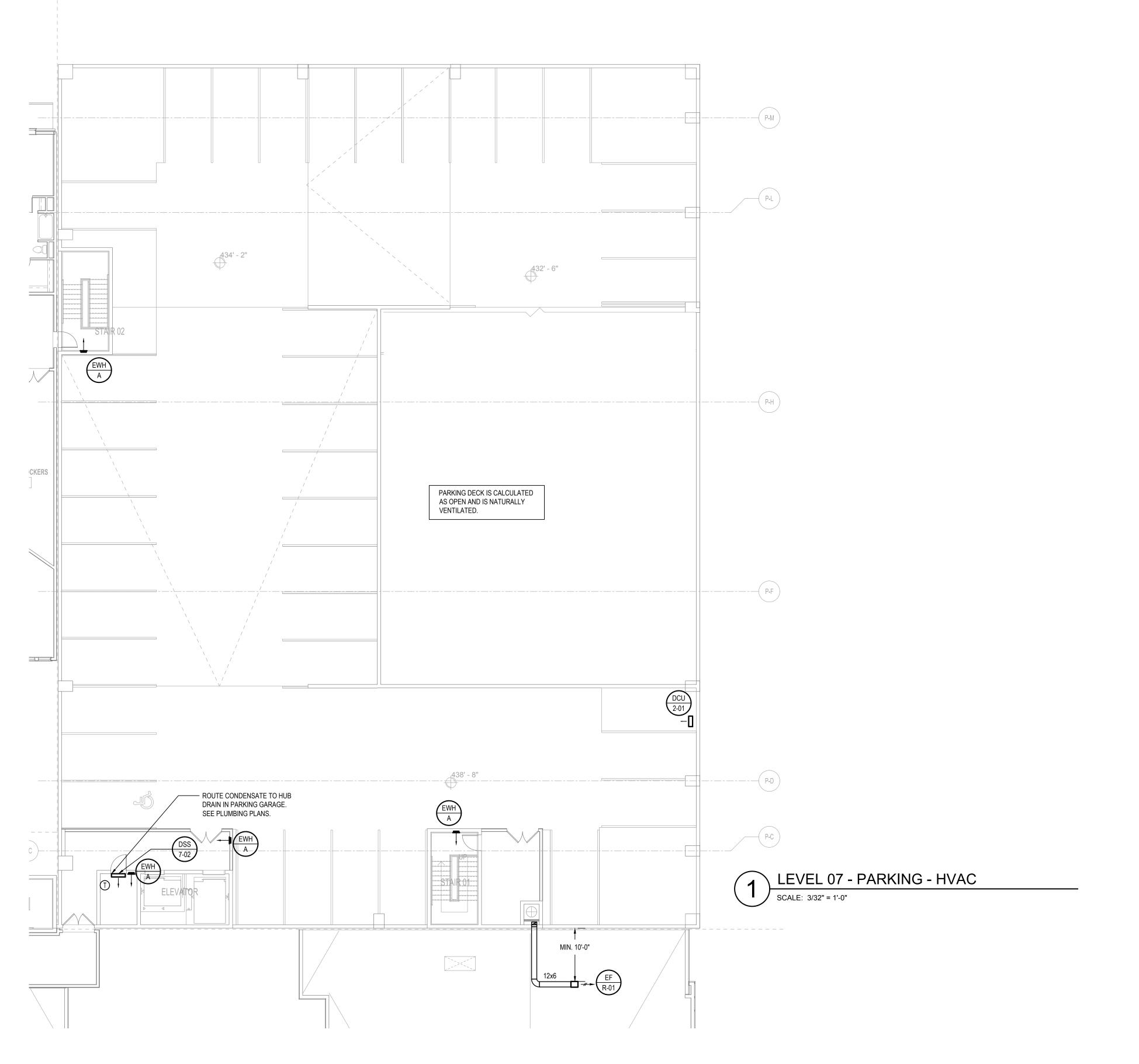
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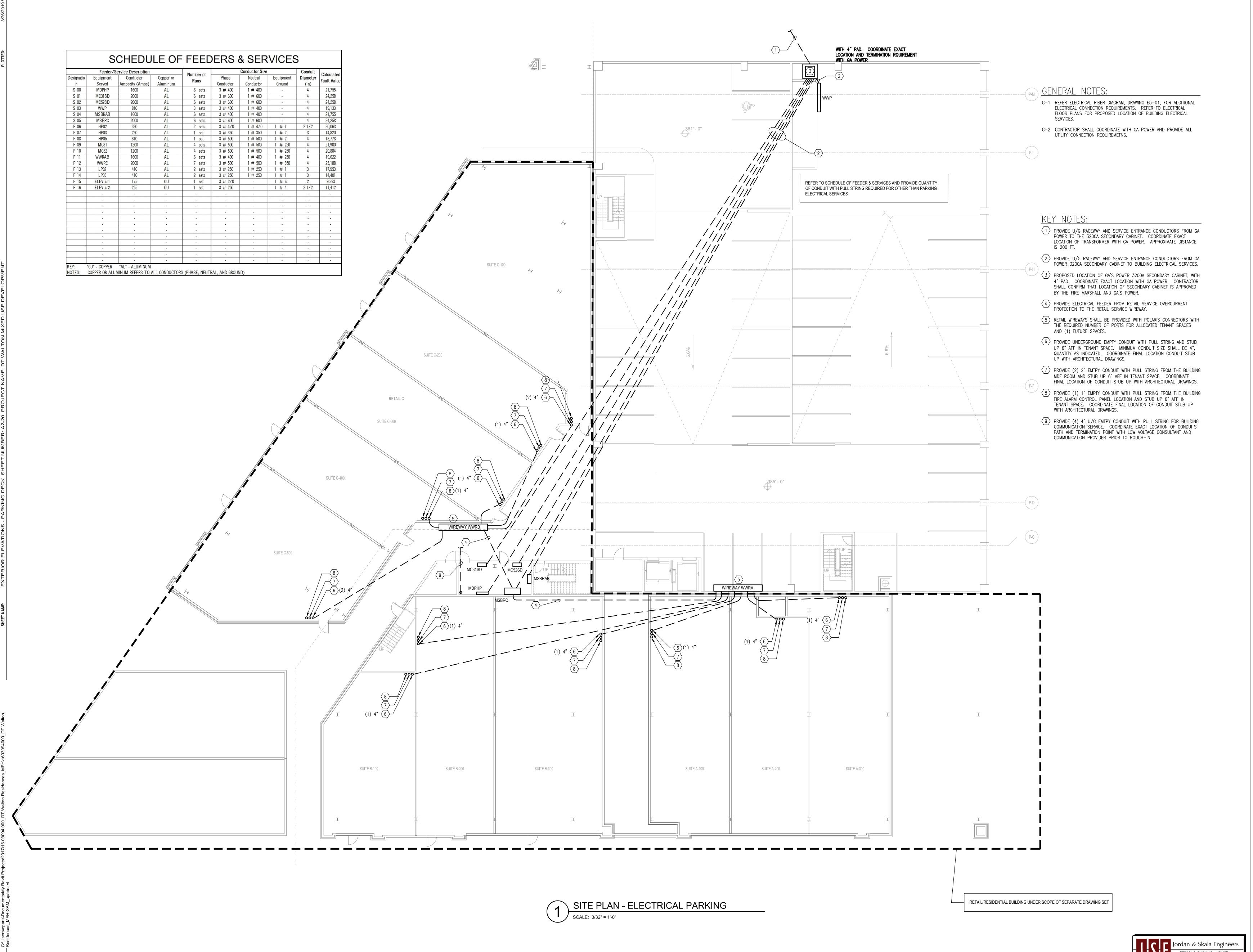
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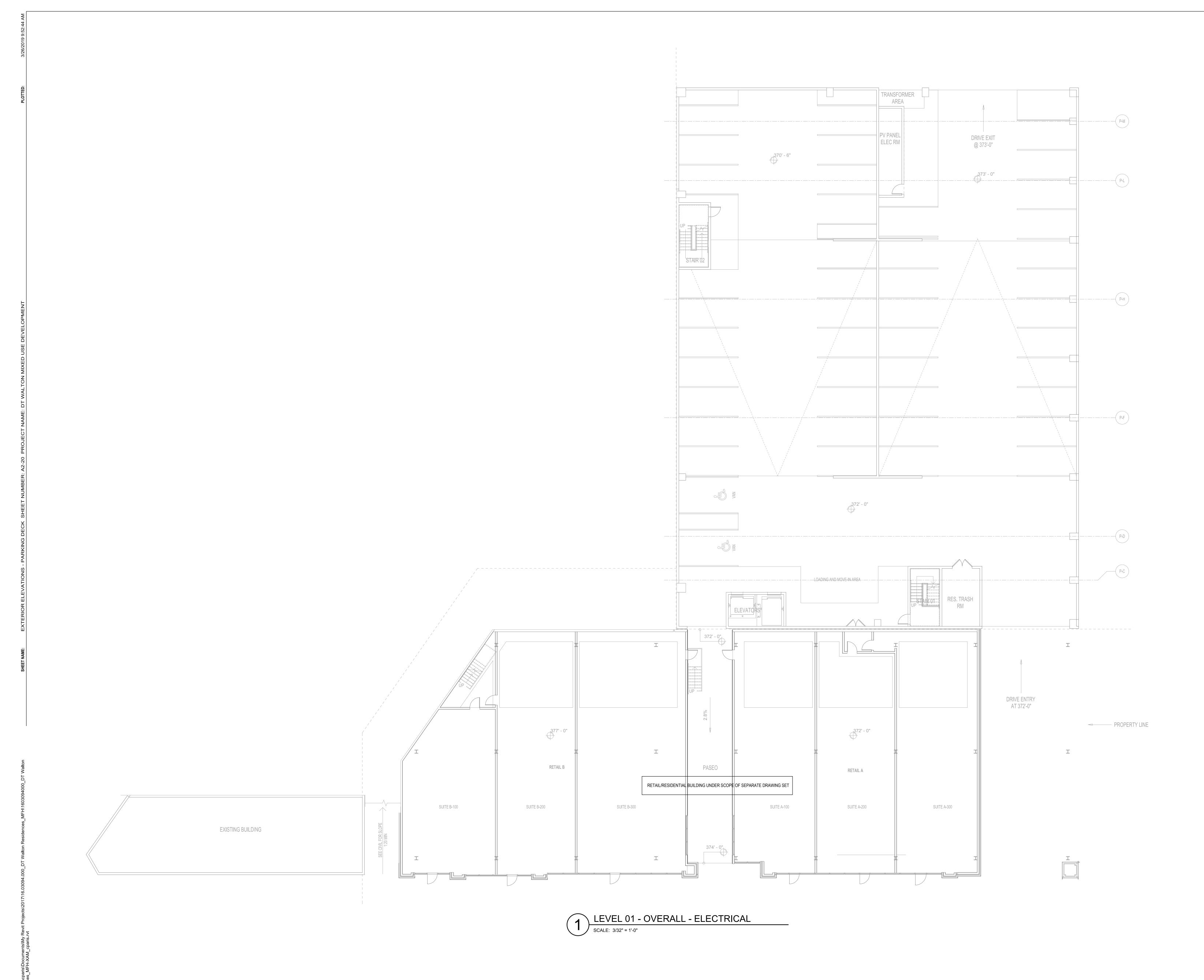
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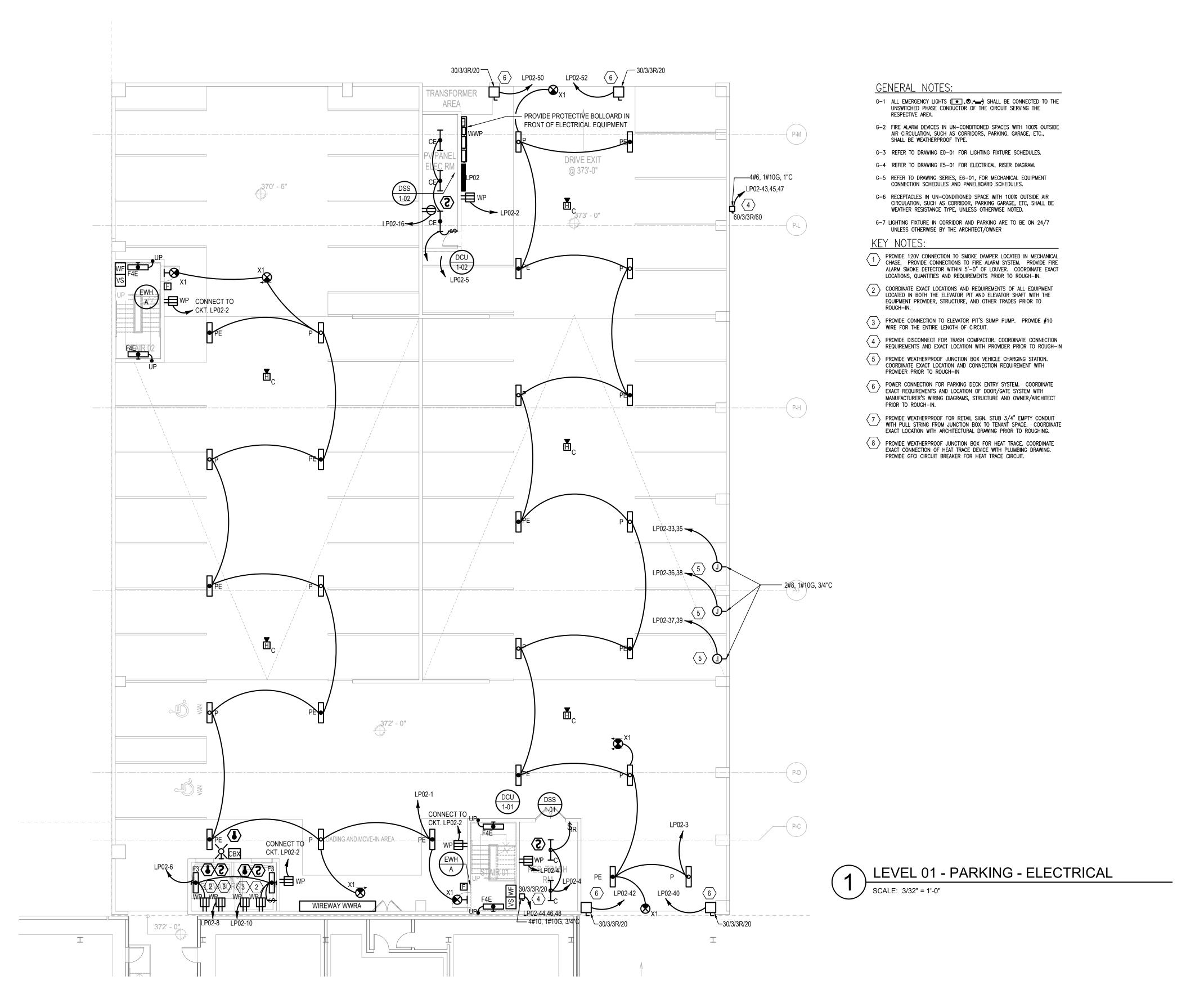
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LEVEL 01 - OVERALL
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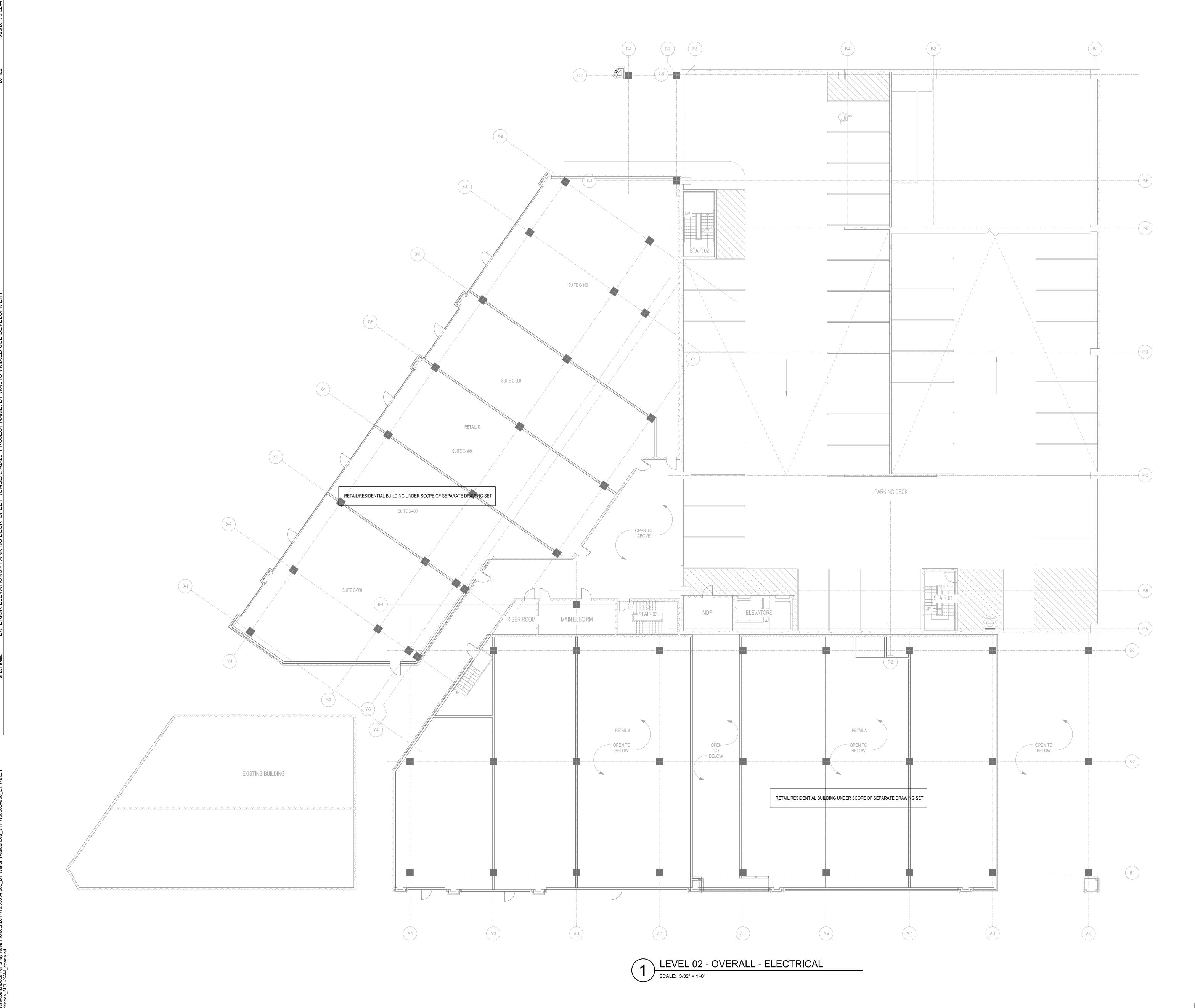
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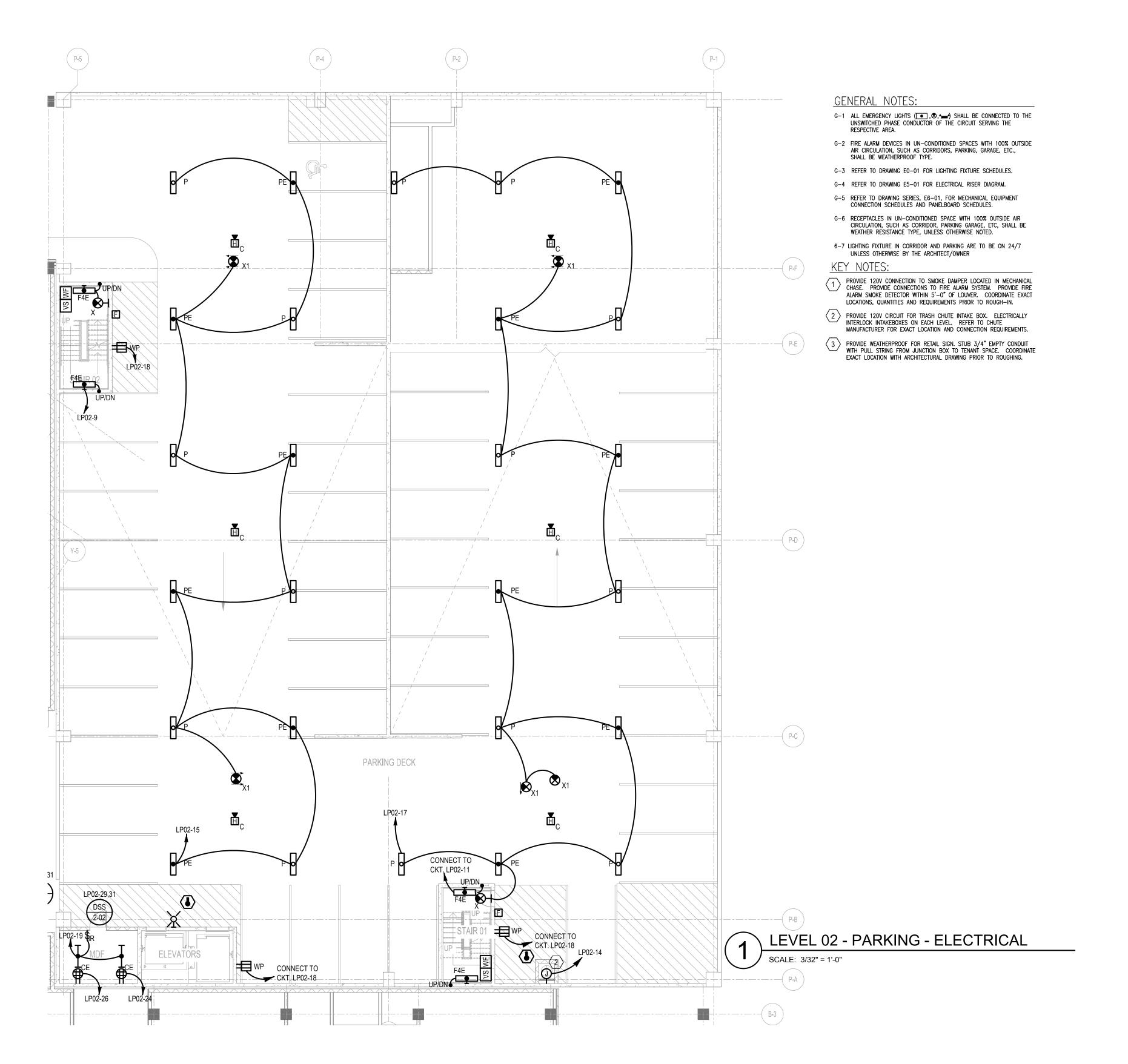
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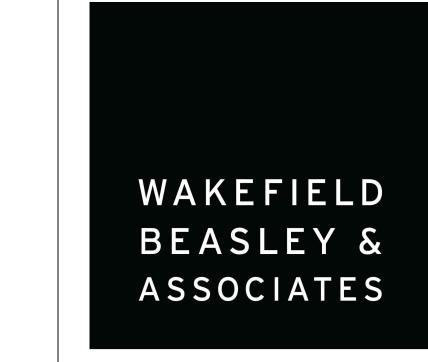
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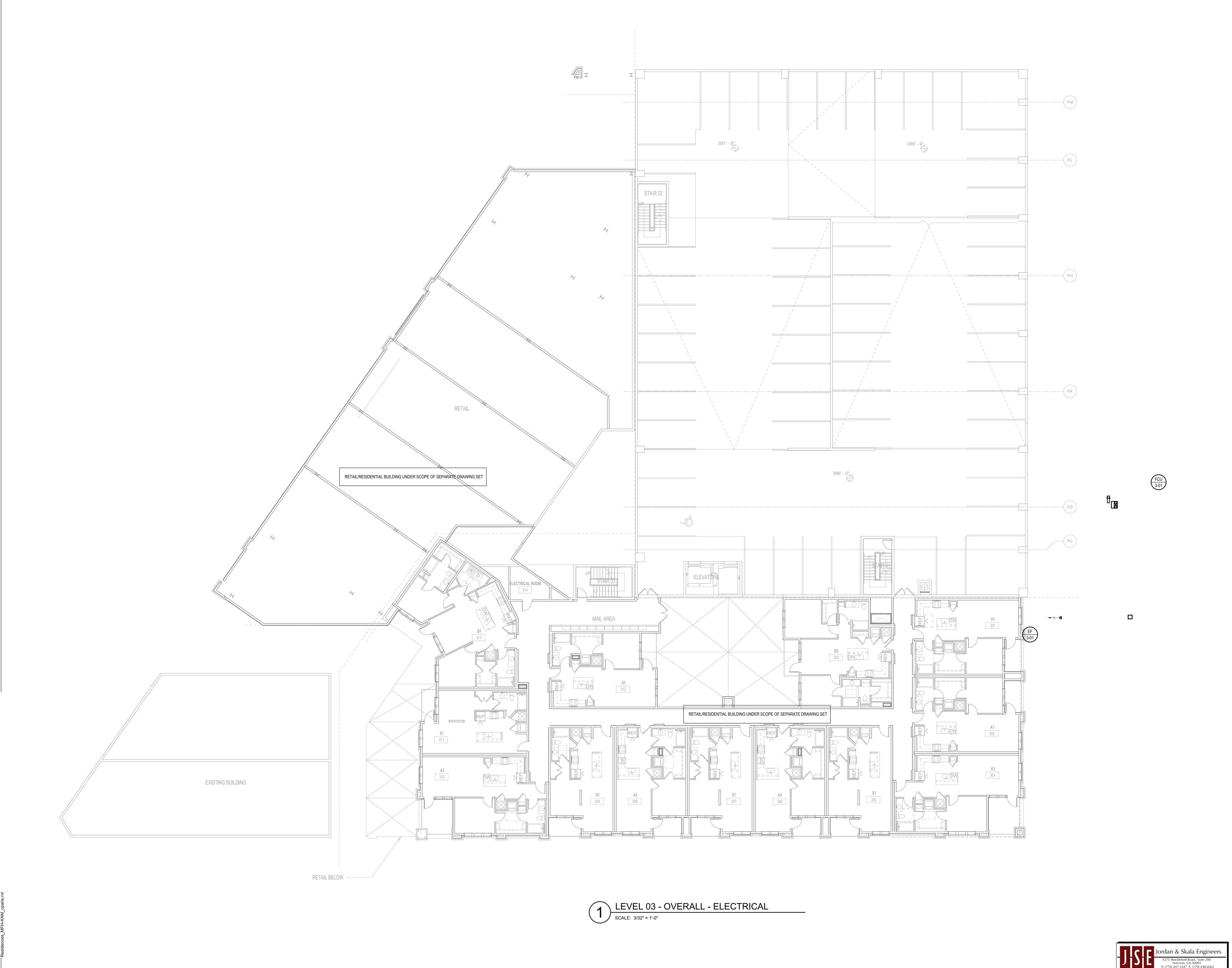
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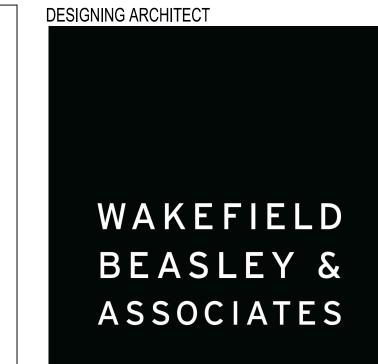
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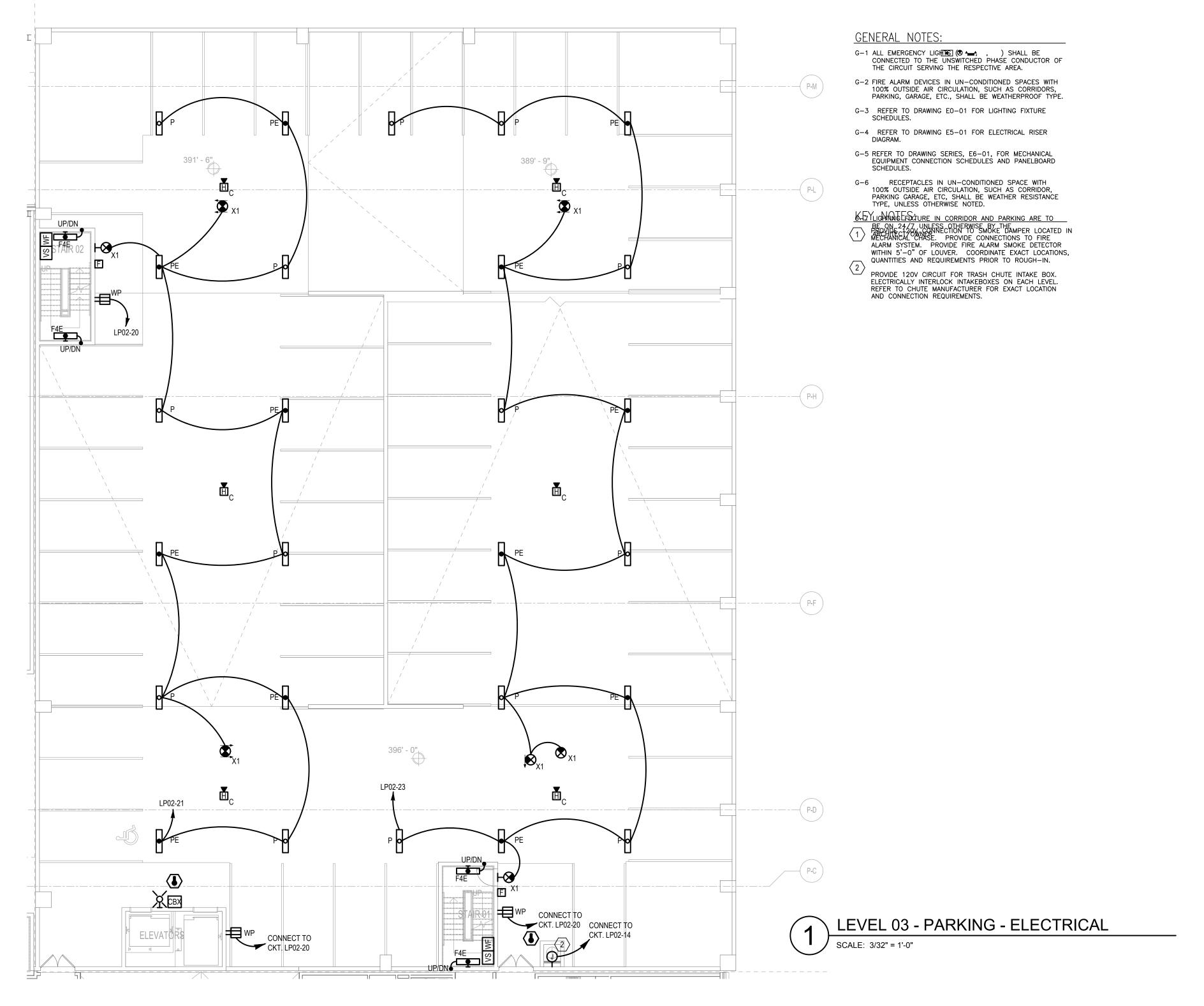
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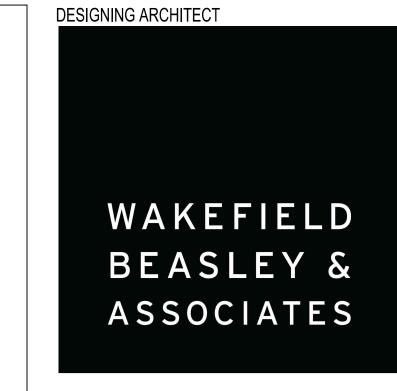
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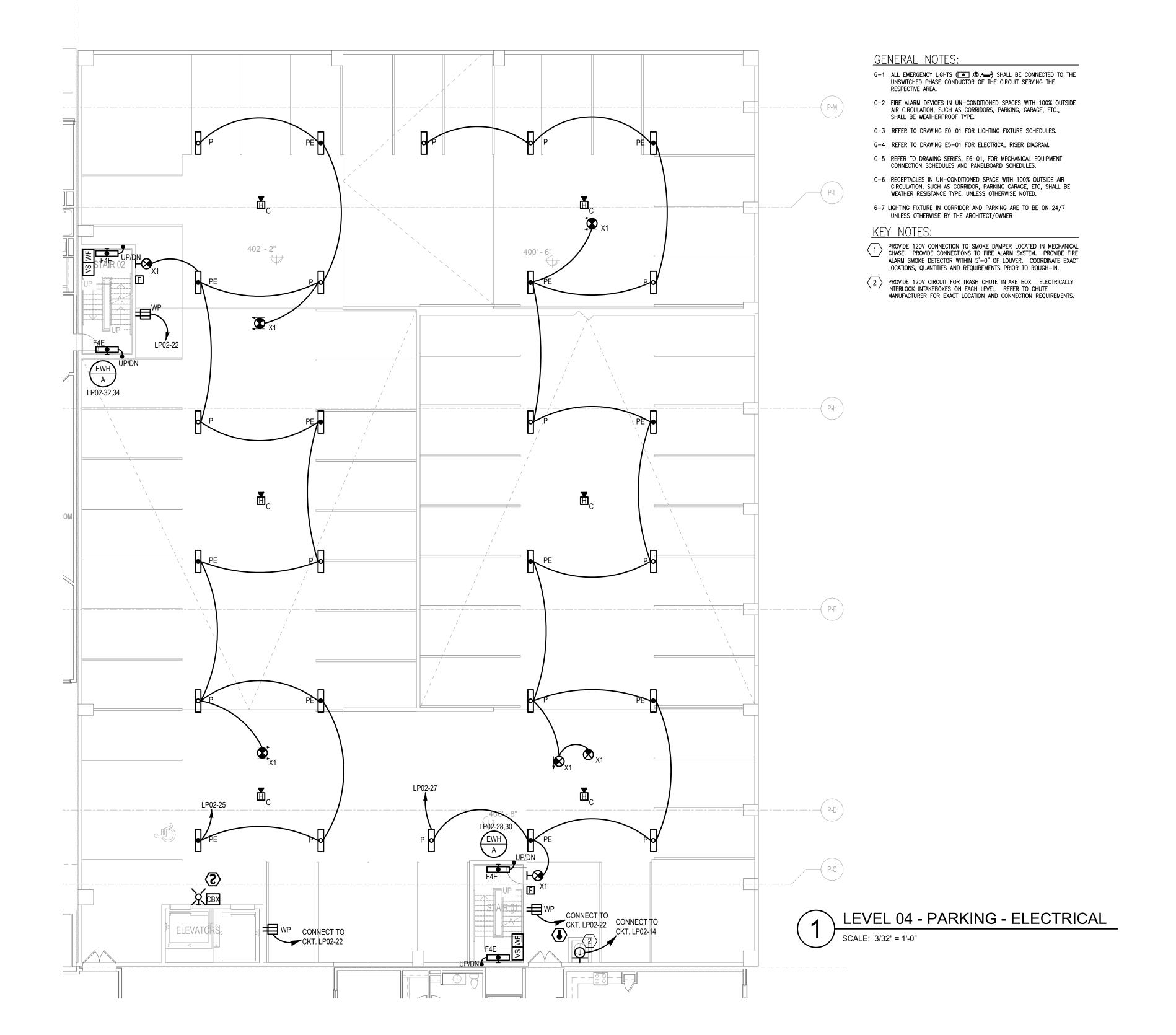
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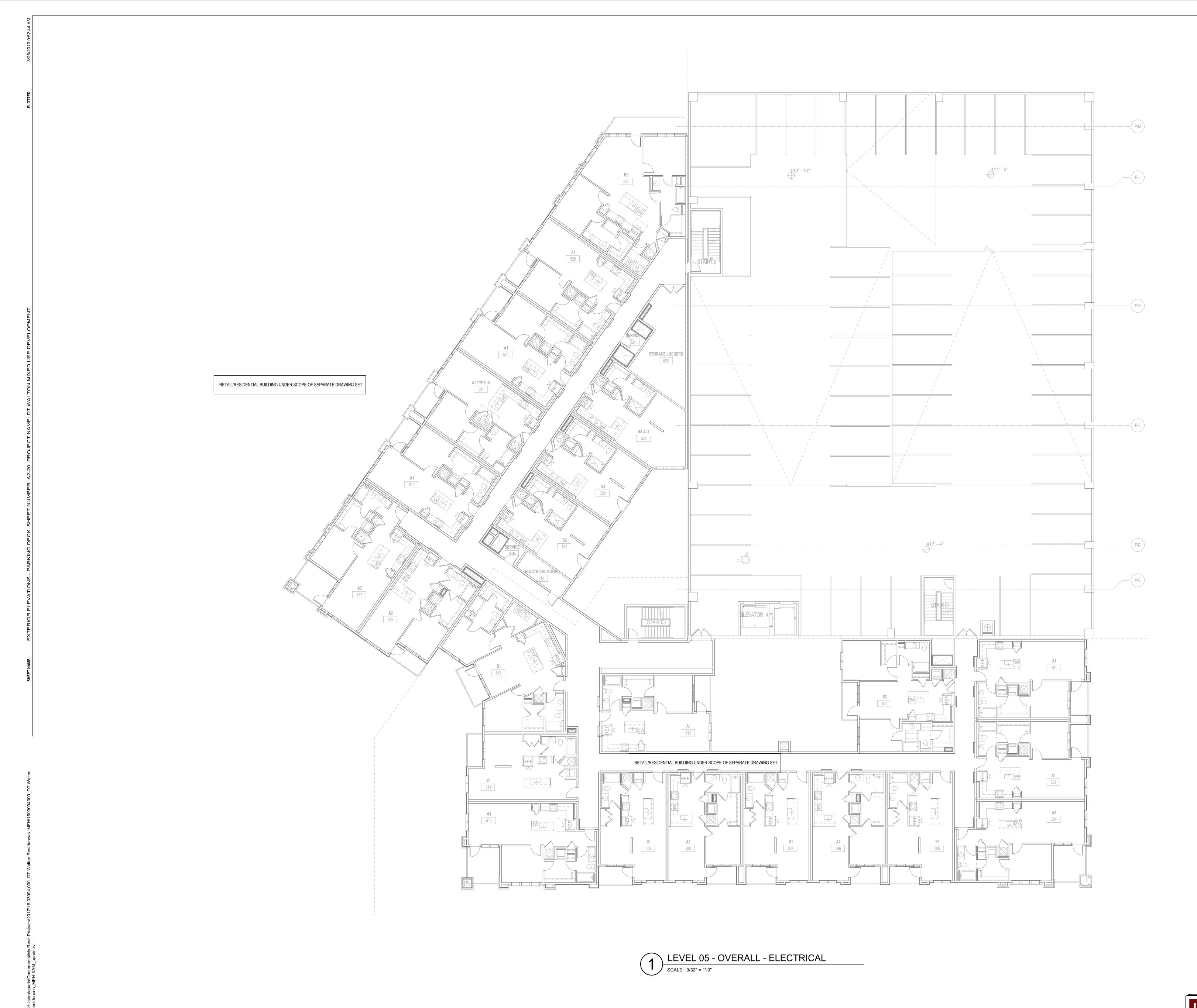
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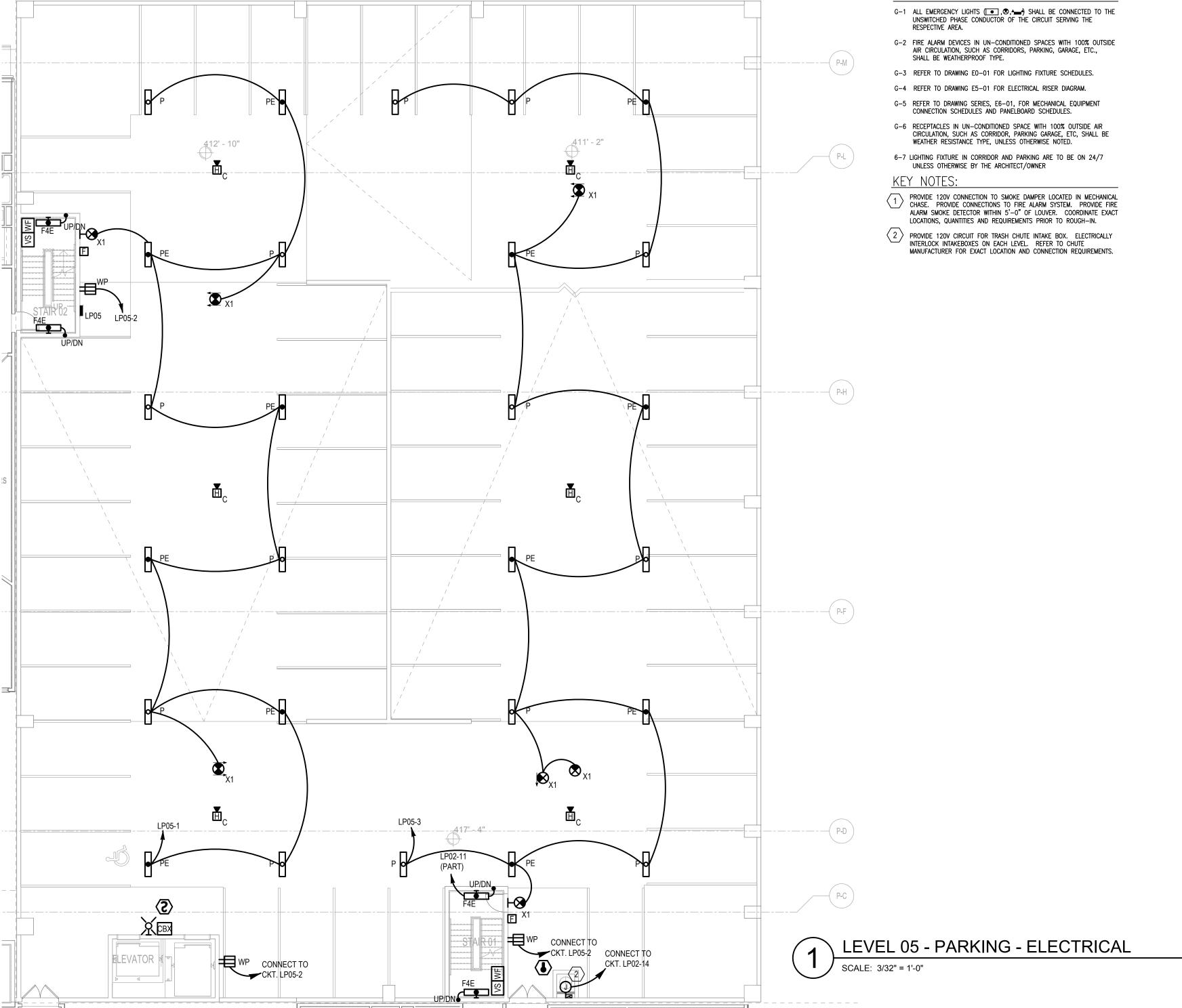
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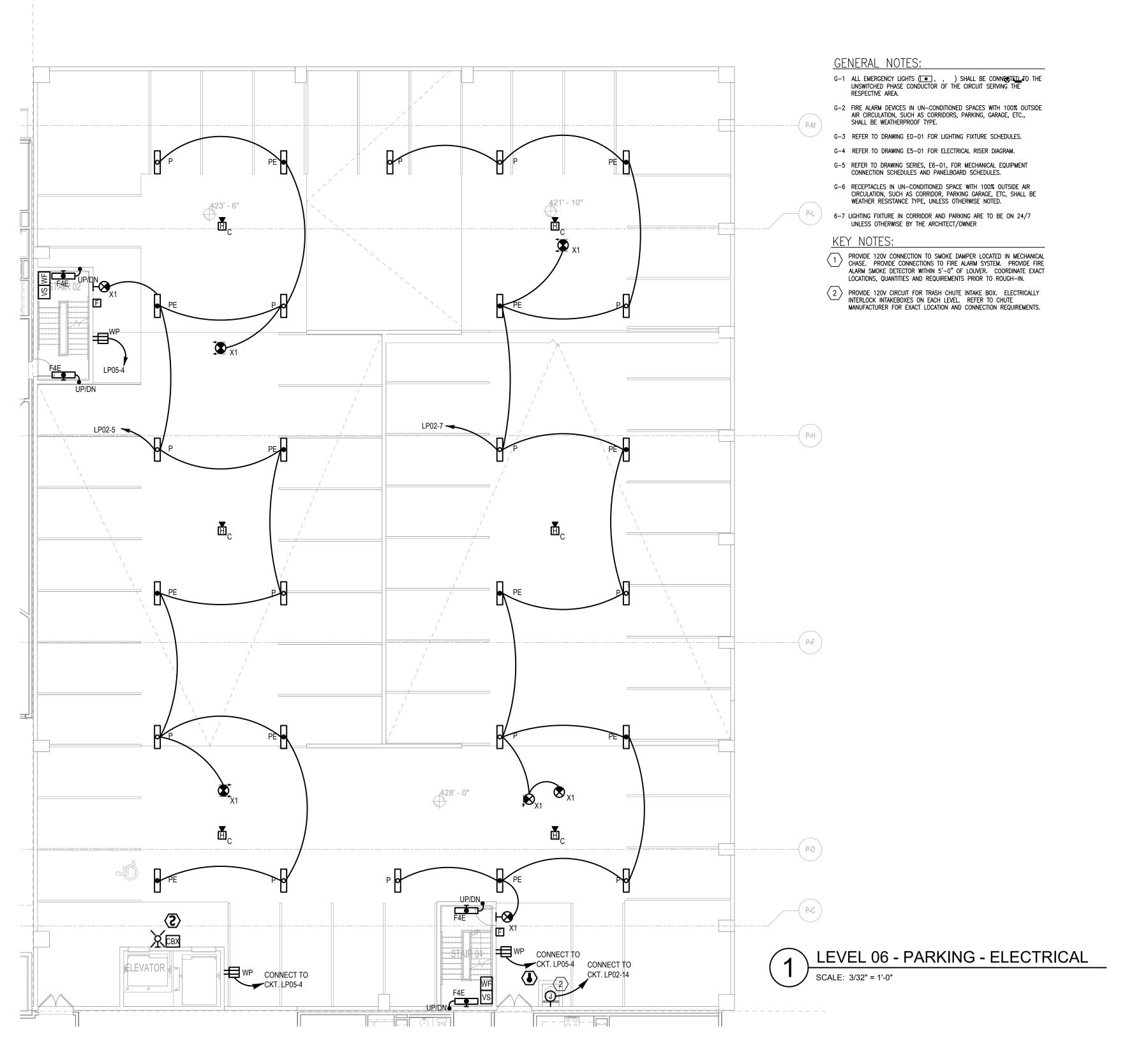
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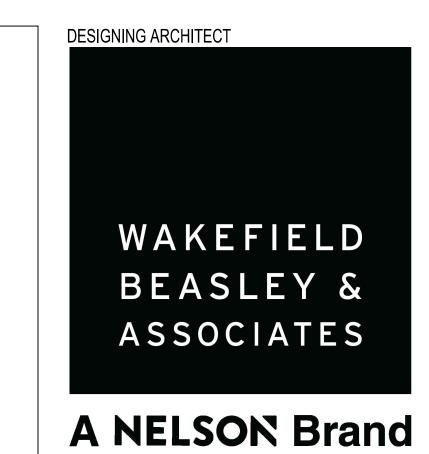
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LEVEL 07 - OVERALL - ELECTRICAL

SCALE: 3/32" = 1'-0"





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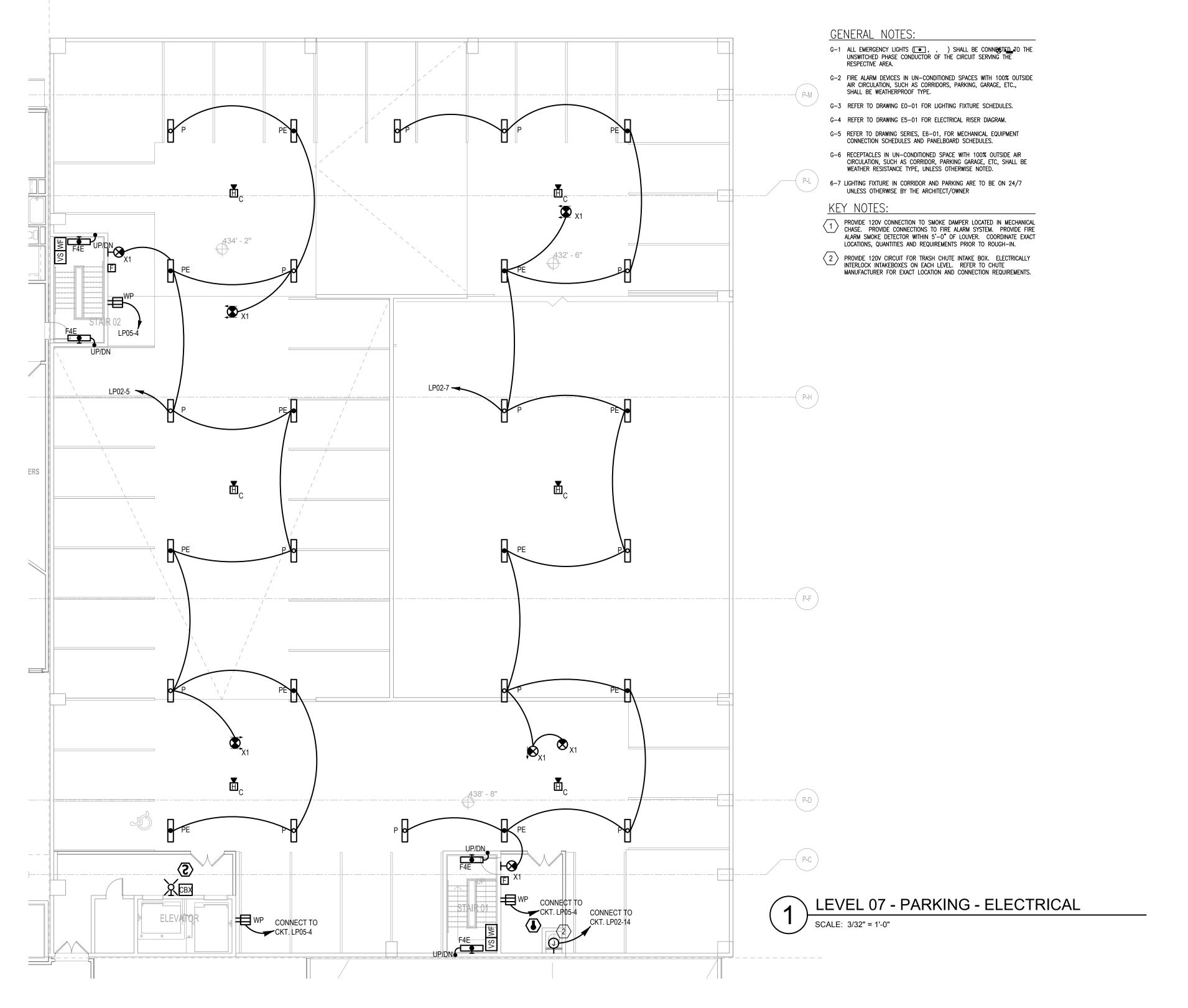
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LEVEL 07 - OVERALL -ELECTRICAL

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		TOTA	AL UN	TS SERVED =	45	
SQUARE FOOTAGE	35600	SF	X	3 VA/SF	106.8	K۷
KITCHEN/LAUNDRY	4500	VA	Χ	45	202.5	K۷
RANGES	8000	VA	Χ	45	360.0	K۷
DRYERS	5000	VA	Χ	45	225.0	K۷
DISPOSALS	800	VA	Χ	45	36.0	K۷
DISHWASHERS	1200	VA	X	45	54.0	K۷
MICROWAVE/HOOD	1500	VA	Χ	45	67.5	K۷
WATER HEATERS	4500	VA	Χ	45	202.5	K۷
TOTAL HVAC	294488	VA			294.5	K۷
			SUE	BTOTAL	1548.8	K۷
DEMAND FACTOR	1548.8	KVA	X	27 %	418.2	K۷
HOUSE PANEL N.E.C. TABLE 220-84		_KVA	X	100 %	0.0	K۷
TOTAL					418.2	K۷
VOLTAGE	: <u>208/120</u>	_	PHAS	E: <u>3</u>	1160.6	ΑM

FOR ANY BREAKER 1200A OR HIGHER, AN ARC-ENERGY REDUCING SWITCH	F
SHALL BE PROVIDED, OR A PLACARD STATING "WHEN WORKING WITHIN THE	S
ARC-FLASH BOUNDARY, BREAKER INSTANTANEOUS SETTING SHOULD BE	A
MINIMIZED FOR ARC-ENERGY REDUCTION PURPOSES. ORIGINAL SETTING	N
SHALL BE RESTORED UPON WORK COMPLETION".	S

MET	ER (EN	TE	R "MC	52"	
		TOTA	AL UN	TS SERVED =	42	
SQUARE FOOTAGE	33128	SF	X	3 VA/SF	99.4 KVA	Designati
KITCHEN/LAUNDRY	4500	VA	Χ	4 2	189.0 KVA	s 00
						S 01
RANGES	8000	VA	X	42	336.0 KVA	S 02
						S 03
DRYERS	5000	VA	X	42	210.0 KVA	S 04
an waterweet and comments of					CAPPER CONT. DAY AND ADDRESS.	S 05
DISPOSALS	800	VA	X	42	33.6 KVA	F 06
						F 07
DISHWASHERS	1200	VA	X	42	50.4 KVA	F 08
AMODOWANE (HOOD	1500	VA	V	40	00.0.1/1/4	F 09
MICROWAVE/HOOD	1500	VA	X	42	63.0 KVA	F 10
WATER HEATERS	4500	VA	Χ	42	189.0 KVA	F 11 F 12
WAIER HEATERS	4300	VA	٨	42	103.0 NVA	F 12
TOTAL HVAC	273784	VA			273.8 KVA	F 14
TOTAL TIVAG	2/3/04	VA.			2/3.0 IVA	F 15
			SUE	BTOTAL	1444.2 KVA	F 16
DEMAND FACTOR	1444.2	KVA	Χ	28 %	404.4 KVA	
HOUSE PANEL		KVA			0.0 KVA	***************************************
N.E.C. TABLE 220-84			10,51			
TOTAL					404.4 KVA	***************************************
VOLTAGE	: 208/120		PHAS	E: 3	1122.3 AMPS	***************************************

FOR ANY BREAKER 12	00A OR HI	GHER, A	N ARC	-ENERGY REDUC	CING SWITCH	
SHALL BE PROVIDED,	OR A PLA	CARD S	TATIN	IG "WHEN WORK	ING WITHIN THE	

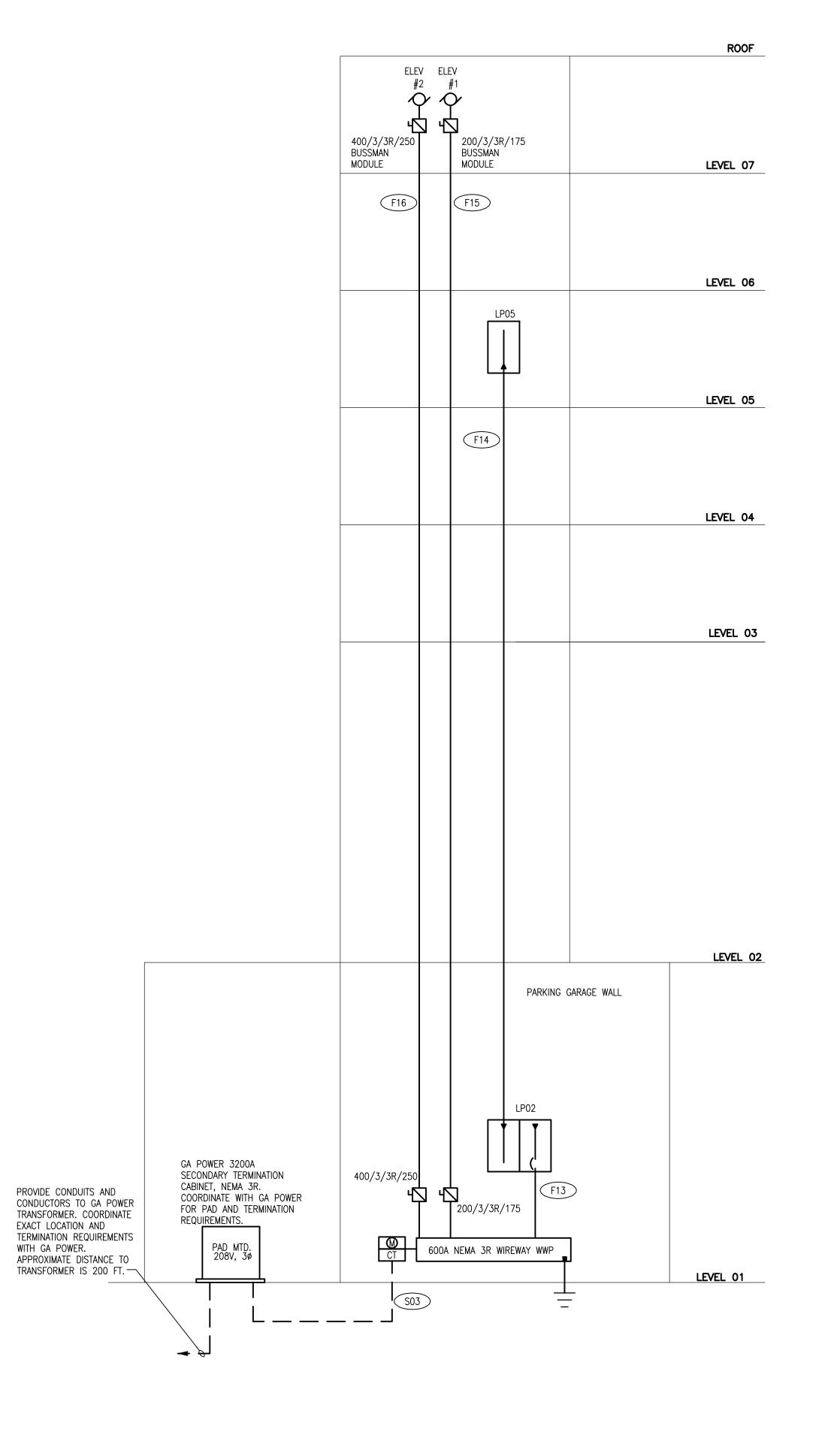
	FOR ANY BREAKER 1200A OR HIGHER, AN ARC-ENERGY REDUCING SWITCH
Ε	SHALL BE PROVIDED, OR A PLACARD STATING "WHEN WORKING WITHIN THE
	ARC-FLASH BOUNDARY, BREAKER INSTANTANEOUS SETTING SHOULD BE
	MINIMIZED FOR ARC-ENERGY REDUCTION PURPOSES. ORIGINAL SETTING
	SHALL BE RESTORED UPON WORK COMPLETION".

	Feeder/S	Service Description		Number of		Conductor Size		Conduit
Designatio	Equipment	Conductor	Copper or	Runs	Phase	Neutral	Equipment	Diameter
n	Served	Ampacity (Amps)	Aluminum		Conductor	Conductor	Ground	(in)
S 00	MDPHP	1600	AL	6 sets	3 # 400	1 # 400	-	4
S 01	MC31SD	2000	AL	6 sets	3 # 600	1 # 600	-	4
S 02	MC52SD	2000	AL	6 sets	3 # 600	1 # 600	-	4
S 03	WWP	810	AL	3 sets	3 # 400	1 # 400	-	4
S 04	MSBRAB	1600	AL	6 sets	3 # 400	1 # 400	-	4
S 05	MSBRC	2000	AL	6 sets	3 # 600	1 # 600	-	4
F 06	HP02	360	AL	2 sets	3 # 4/0	1 # 4/0	1 # 1	2 1/2
F 07	HP03	250	AL	1 set	3 # 350	1 # 350	1 # 2	3
F 08	HP05	310	AL	1 set	3 # 500	1 # 500	1 # 2	4
F 09	MC31	1200	AL	4 sets	3 # 500	1 # 500	1 # 250	4
F 10	MC52	1200	AL	4 sets	3 # 500	1 # 500	1 # 250	4
F 11	WWRAB	1600	AL	6 sets	3 # 400	1 # 400	1 # 250	4
F 12	WWRC	2000	AL	7 sets	3 # 500	1 # 500	1 # 350	4
F 13	LP02	410	AL	2 sets	3 # 250	1 # 250	1 # 1	3
F 14	LP05	410	AL	2 sets	3 # 250	1 # 250	1 # 1	3
F 15	ELEV #1	175	CU	1 set	3 # 2/0	-	1 # 6	2
F 16	ELEV #2	255	CU	1 set	3 # 250	-	1 # 4	2 1/2
	-	- ĺ	-	-	-	-	-	-
	-	- (-	-	-	-	-	-
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LOAD CENTER FEEDER/ BREAKER SCHEDULE (208/120V SINGLE PHASE)											
DWELLING UNIT LOAD AND FEEDER DISTANCE	FEEDER (AL) SER	BREAKER									
100 AMPS OR LESS LOAD, UP TO 155'	3#1/0, 1#6G	100/2									
100 AMPS OR LESS LOAD, OVER 155', AND UP TO 195'	3#2/0, 1#4G	100/2									
100 AMPS OR LESS LOAD, OVER 195' AND UP TO 245'	3#3/0, 1#4G	*100/2									
LOAD BETWEEN 100.1 AMPS AND 110 AMPS UP TO 175'	3#2/0, 1#4G	110/2									
LOAD BETWEEN 100.1 AMPS AND 110 AMPS, OVER 175' AND UP TO 220'	3#3/0, 1#2G	*110/2									
LOAD BETWEEN 110.1 AMPS AND 115 AMPS, UP TO 175'	3#2/0, 1#4G	125/2									
LOAD BETWEEN 110.1 AMPS AND 115 AMPS, OVER 175' AND UP TO 195'	3#3/0, 1#2G	*125/2									
LOAD BETWEEN 115.1 AMPS AND 125 AMPS, UP TO 195'	3#3/0, 1#4G	*125/2									
LOAD BETWEEN 115.1 AMPS AND 125 AMPS, over 195' UP TO 245'	3#4/0, 1#2G	*125/2									
LOAD BETWEEN 115.1 AMPS AND 125 AMPS, OVER 245' AND UP TO 295'	3#250, 1#2G	*125/2									
LOAD BETWEEN 125.1 AMPS AND 150 AMPS UP TO 205'	3#4/0, 1#4G	150/2									
LOAD BETWEEN 125.1 AMPS AND 150 AMPS, OVER 205' AND UP TO 245'	3#250, 1#3G	150/2									

* WHERE CONDUCTOR SIZE EXCEEDS LUG RATING, CONTRACTOR SHALL: INCREASE BREAKER/LOAD CENTER RATING, OR INSTALL COPPER PIGTAIL ADAPTOR (ILSCO CPM OR APPROVED EQUAL) ON SCHEDULED FEEDERS, WHERE ALLOWED BY AHJ. WIRE GUTTER SPACE WITHIN EQUIPMENT SHALL BE VERIFIED TO ACCOMMODATE THIS TERMINATION. CONTRACTOR SHALL GIVE NOTIFICATION PRIOR TO PURCHASE OR INSTALLATION OF REQUIRED EQUIPMENT.

				P	AN	ELE	30	AR	D S	CH	HEI	DU	LE	- "L	.P0	2"				
		400A	NEM/							AGE:	208/		PHA	SE: 3	WIR			MOUNTING: SURFACE AIC:	17,953	
	TRIP	DECODIDATION	LTO	DEC		AD (K	•	I/IT	MICC	PHASE		LDEC		AD (K)		I/IT \	MICC	DECODIDATION	TRIP	C
# 1	POLE 20/1	DESCRIPTION LTG - LV1 GARAGE E1-10	LTG 1.1	REC	WITK	A/C	HIG	NII	MISC	ABC	LIG	0.8	WIR	A/C	HIG	KIT	M12C	DESCRIPTION REC - LV 1 GARAGE E1-10	POLE 20/1	
3		LTG - LV1 GARAGE E1-10	1.4							▜▄▎		0.2						REC - LV 1 TRASH E1-10	20/1	
5		LTG - LV1 ELEC RM E1-10	0.3								0.2	0.4						ELEV PIT LTG & REC E1-10	20/1	T
7	20/1	LTG - LV1 PASEO E1-10	0.4									0.2						REC - SUMP PUMP E1-10	20/1	
9	20/1	LTG - STAIRWELL	0.9							║╇╽		0.2						REC - SUMP PUMP E1-10	20/1	
11	20/1	LTG - STAIRWELL	0.9							<u>╙</u> ╿투		0.2					٥٢	REC - SUMP PUMP E1-10	20/1	
13 15	20/1	SPARE LTG - LV2 GARAGE E1-20	1.2							₹₩		0.2					0.5	TRASH CHUTE E1-10 REC - LV1 ELEC RM E1-10	20/1	
17	20/1	LTG - LV2 GARAGE E1-20	1.4							╢┱╅		0.2						REC - LV2 GARAGE E1-20	20/1	
19	20/1	LTG - LV2 MDF RM E1-20	0.2							₩ IT		0.6						REC - LV3 GARAGE E1-30	20/1	
21	20/1	LTG - LV3 GARAGE E1-30	1.2									0.6						REC - LV4 GARAGE E1-40	20/1	
23	20/1	LTG - LV3 GARAGE E1-30	1.4									0.4						REC - LV2 MDF RM E1-20	20/1	
25	20/1	LTG - LV4 GARAGE E1-40	1.2							早 上		0.4						REC - LV2 MDF RM E1-20	20/1	
27	20/1	LTG - LV4 GARAGE E1-40	1.4							║╃╽					1.5			EWH-A E1-40	20/2	
29	30/2	DSS/DCU 2-02 E1-20				1.6				<u></u> ↓					1.5				- 00.70	
31	40.70	CAD CHADOED E1 10	_	1		1.6			2.0	₽ ↓│					1.5			EWH-A E1-40	20/2	
33 35	40/2	CAR CHARGER E1-10	 	1			-		3.6	╢╇╽					1.5		3.6	CAR CHARGER E1-40	40/2	
37	40/2	CAR CHARGER E1-10							3.6	┧							3.6	L	407.2	
39	-								3.6	▜▄▎			1.5				0.0	GATE ENTRY E1-10	20/1	
41	20/1	SPARE	1										1.5					GATE EXIT E1-10	20/1	
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40	00/0		-	<u> </u>		7//	0		_		┝	<u>- L</u>	<u> </u>	20	L	, 1 10			00.70	_
43 45	80/3	RETAIL TRASH COMP		1					11.1	▜▄▎							3.7	RES TRASH COMP	30/3	
47	-		 						11.1	╢┱╅							3.7		-	
49	20/1	SPARE								₩ IT		1	1.5				0.7	GATE ENTRY E1-10	20/1	H
51	20/1	SPARE								Tèl			1.5					GATE EXIT E1-10	20/1	
53	20/1	SPARE								∐T∎								SPARE	20/1	
55	20/1	SPARE	<u> </u>							果山								SPARE	20/1	
57 59	20/1	SPARE SPARE	<u> </u>	-						╢┯╨								SPARE SPARE	20/1 20/1	
33	20/ 1	STARE		_		<u> </u>					<u> </u>							STARE	20/1	
				P	AN	ELI	30	AR	DS	CI	HE	וטט	LE	- "L	.P0	5"				
1	20/1	LTG - LV5 GARAGE E1-50	1.2							ŖΙΙ		0.8						REC - LV5 GARAGE E1-50	20/1	
3	20/1	LTG - LV5 GARAGE E1-50	1.4	1				<u> </u>				0.6	1					REC - LV6 GARAGE E1-60	20/1	
5 7	20/1	LTG - LV6 GARAGE E1-60	1.2							╙╿		0.6			1 5			REC - LV7 GARAGE E1-70	20/1	_
9	20/1	LTG - LV6 GARAGE E1-60 ELEV CAB LTG DISC. E1-70	1.4	 				-		▜▄╽					1.5			EWH-A E1-70	20/2	\vdash
11		ELEV CAB LTG DISC. E1-70	1.2							╢┱╅					1.5			EWH-A E1-70	20/2	
13		ELEV CTRL RM E1-70	0.1	0.2						1 11					1.5				-	
15		SPARE																SPACE		
17		SPARE								<u></u> ∐∥								SPACE		
19 21		SPARE		1				<u> </u>		₽ ↓∣		_	1					SPACE		
-71		SPARE SPARE	├	1	-		-	-		╢╇┸			-					SPACE SPACE		
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23 25 27 29 31 33 35 37 39		SPACE SPACE SPACE SPACE																		-
23 25 27 29 31 33 35 37 39 41	ING (KVA	SPACE SPACE SPACE SPACE SPACE	20.7	02	0.0	3.2	0.0	0.0	47 7		0.2	7.0	6.0	0.0	12.0	0.0	18.8	SPACE	11	
23 25 27 29 31 33 35 37 39 41 IGHT	ING (KVA)	SPACE SPACE SPACE SPACE SPACE SPACE SPACE): 20.9	20.7	0.2	0.0	3.2	0.0	0.0	47.7		0.2	7.0	6.0	0.0	12.0	0.0	18.8			15.
23 25 27 29 31 33 35 37 39 41 IGHT		SPACE SPACE SPACE SPACE SPACE SPACE (SPACE): 20.9 (KVA): 7.2	20.7	0.2	0.0	3.2	0.0	PH/	ASE A	39	32	22.6	6.0	0.0	12.0	0.0	18.8	SPACE CONNECTED LOAD (KVA):		15.
23 25 27 29 31 33 35 37 39 41 IGHT RECEP	TACLES (RS (KVA) KVA):	SPACE SPACE SPACE SPACE SPACE SPACE D: 20.9 (KVA): 7.2 E: 6.0 3.2	20.7	0.2	0.0	3.2	0.0	PH/ PH/	ASE A ASE B	40	32	22.6	6.0	0.0	12.0	0.0	18.8	SPACE CONNECTED LOAD (KVA): DEMAND LOAD (KVA): CONNECTED LOAD (AMPS):	11 32	15.3 15.3 21.3
23 25 27 29 31 33 35 37 39 41 IIGHT ECEP MOTO A/C (I	TACLES (RS (KVA) KVA): NG (KVA)	SPACE SPAC	20.7	0.2	0.0	3.2	0.0	PH/ PH/	ASE A	40 37	32 33 30	22.6 33.3 99.3	6.0	0.0	12.0	0.0	18.8	SPACE CONNECTED LOAD (KVA): DEMAND LOAD (KVA):	11 32	15.3 15.3 21.3
23 25 27 29 31 33 35 37 39 41 IGHT RECEP MOTO A/C ((HEATI	TACLES (RS (KVA) KVA): NG (KVA) EN (KVA)	SPACE SPAC	20.7	0.2	0.0	3.2	0.0	PH/ PH/	ASE A ASE B	40	32 33 30	22.6	6.0	0.0	12.0	0.0	18.8	SPACE CONNECTED LOAD (KVA): DEMAND LOAD (KVA): CONNECTED LOAD (AMPS):	32 32	15.8 15.8 21.1 21.1





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T	WALTON I	MIXED	USE
	DEVELOF	PMENT	

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Revisions

 Date
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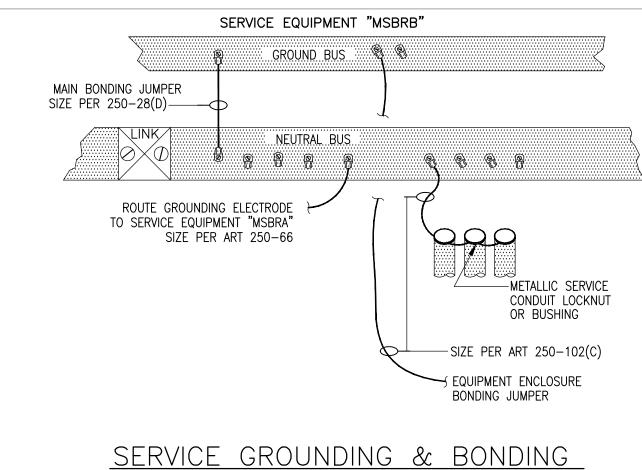
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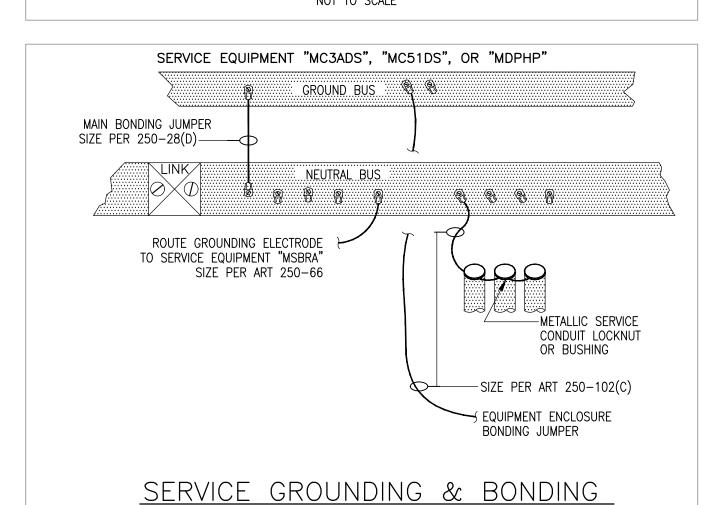
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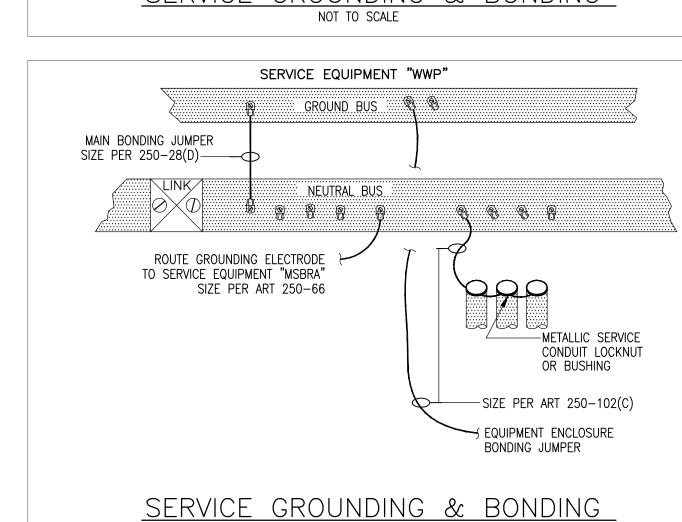
ELECTRICAL RISER
DIAGRAM

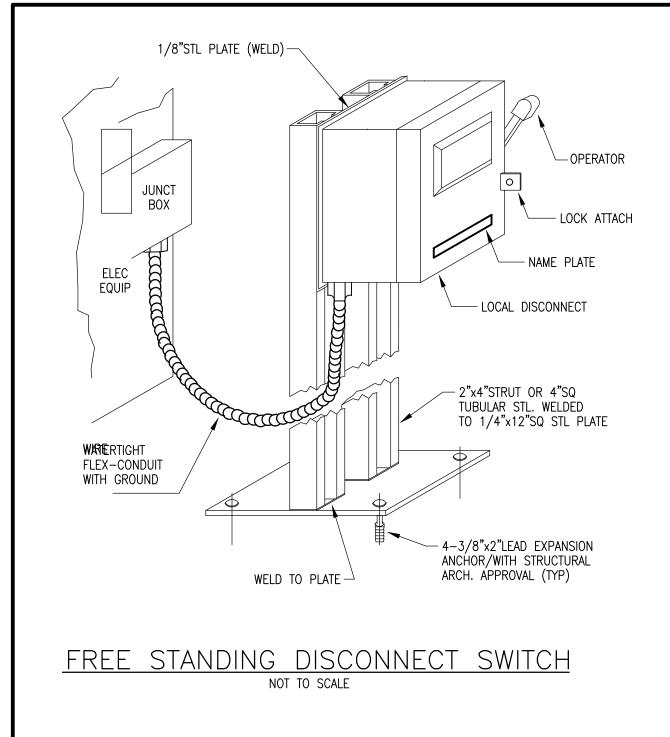
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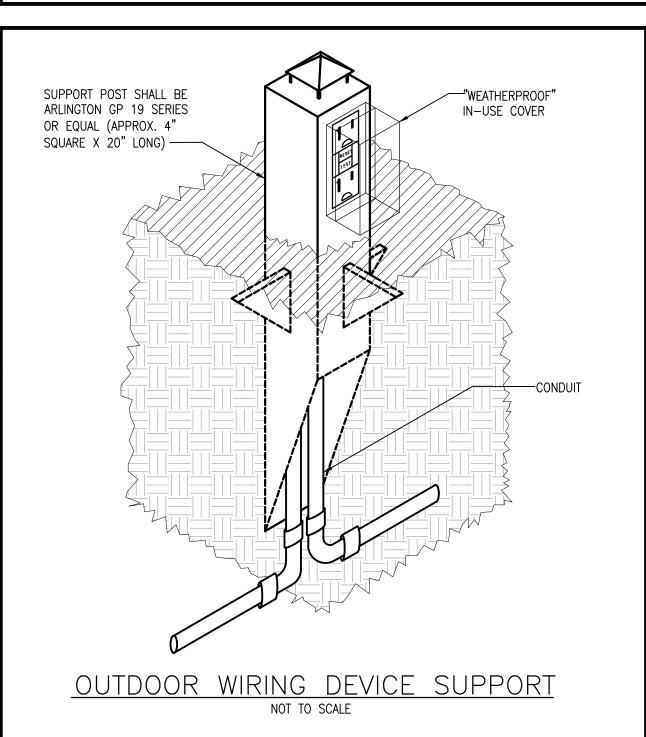
E5-01

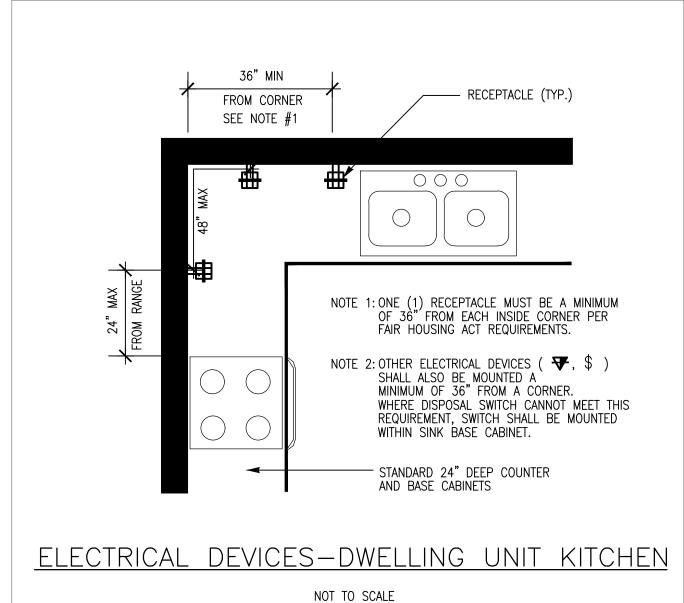


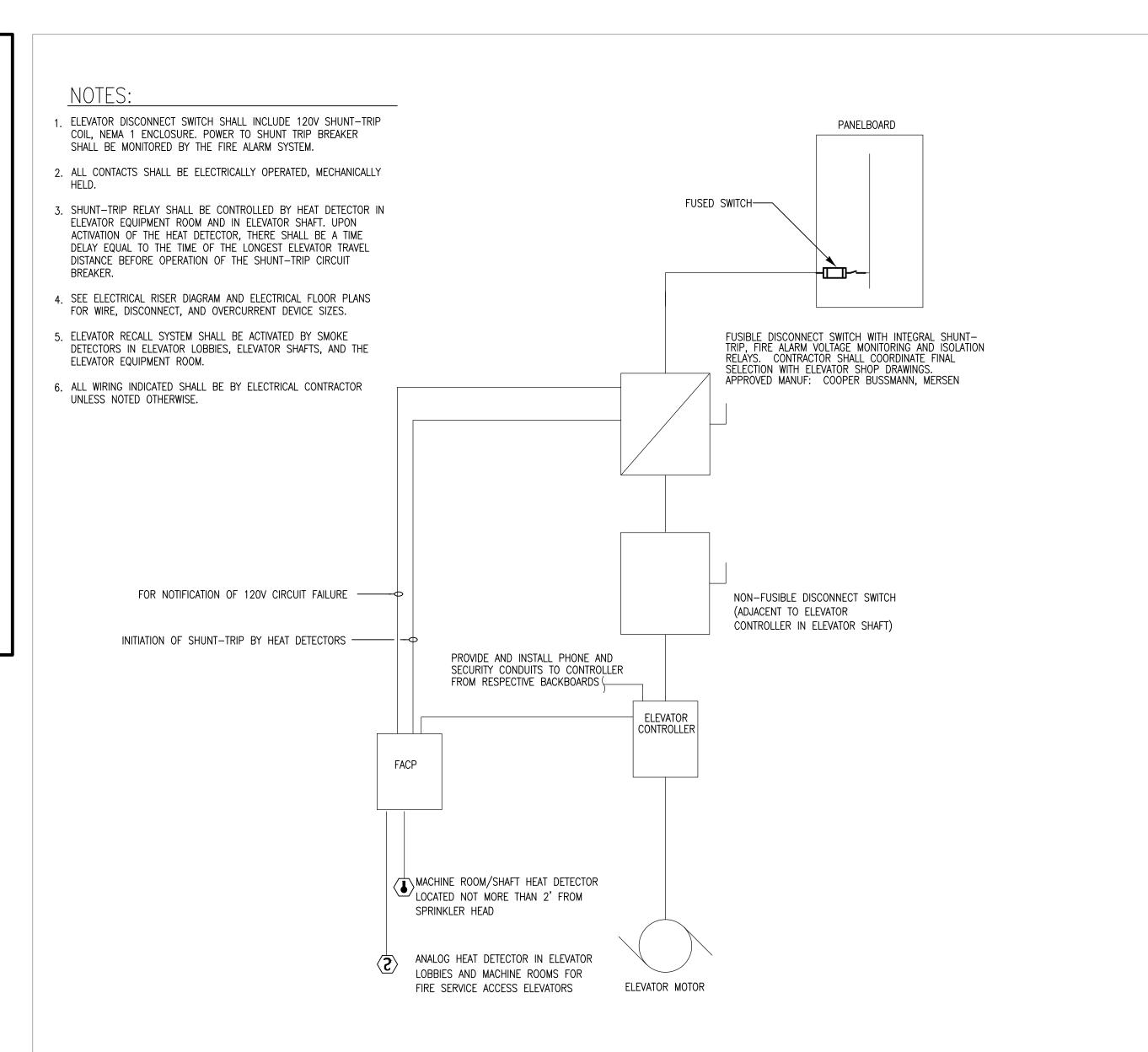






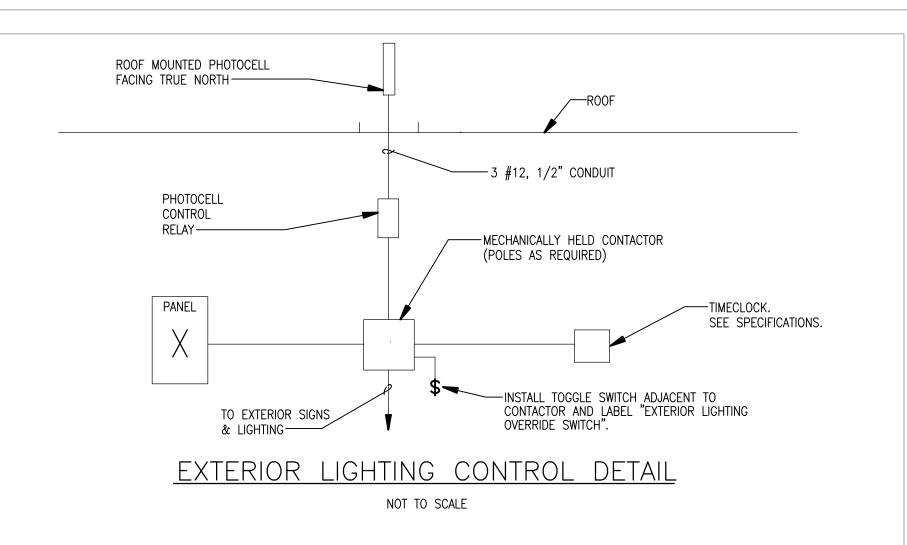




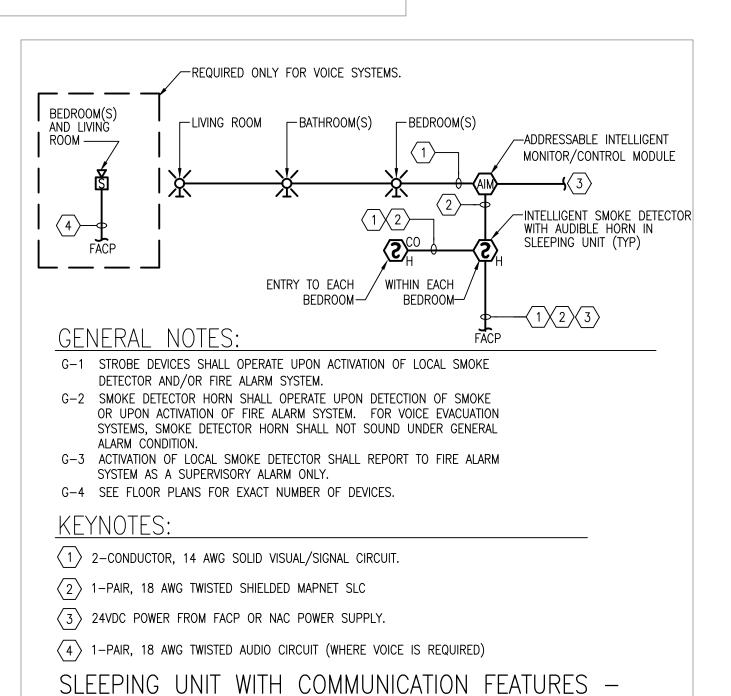


ELEVATOR (MACHINE ROOMLESS) WIRING DIAGRAM

NOT TO SCALE



,	LIGHTING CONTACTOR SCHEDULE														
CONT.	LOAD DESCRIPTION				CIRCUIT(S)		OL CIRCUIT	ON	OFF						
NO.	LOAD DESCRIPTION	VOLT	AMPS	POLE	CIRCUIT NUMBERS	VOLT	CKT. NO.	PHOTO/TC	PHOTO/TC						
1	XXX	120	20	2	LXX-X,X	120	LXX-X	TC	TC						
2	XXX	120	20	1	LXX-X	120	LXX-X	TC	TC						
3	XXX	120	20	1	LXX-X	120	LXX-X	РНОТО	TC						
NOTES	S: UNLESS NOTED OTHERWISE, CO	NTACTOR(S) SHALL	BE IN A	NEMA 1 ENCLOSURE.		1	ı							

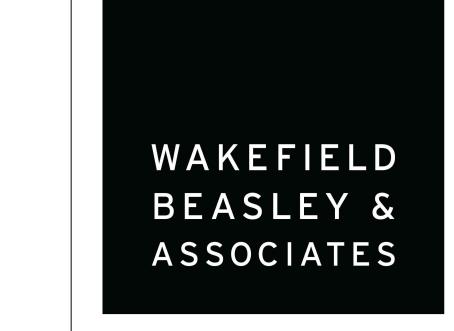


SMOKE AND FIRE ALARM NOT TO SCALE

Jordan & Skala Engineers

4275 Shackleford Road, Suite 200
Norcross, GA 30093
V: (770) 447-5547 F: (770) 448-0262

Project Number - 1710426 Drawn By: TNN Checked By: ADH



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DT WALTON MIXED USE DEVELOPMENT

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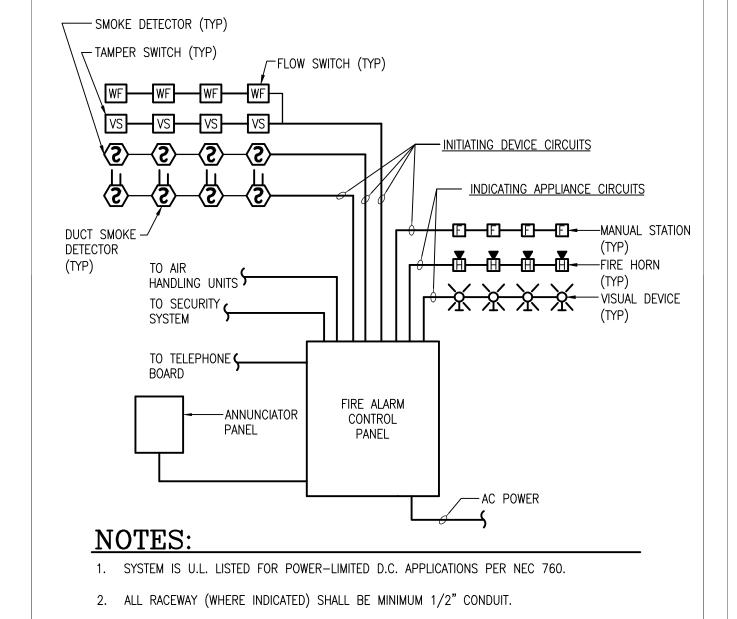
Revisions

Date Job No. 08/31/2017 1603094.0

ELECTRICAL DETAILS

Sheet No.

E7-01



3. QUANTITY OF DEVICES IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE FLOOR PLAN DRAWINGS FOR ACTUAL NUMBER OF DEVICES.

4. WHEN AN ALARM CONDITION IS DETECTED BY ONE OF THE SYSTEM INITIATING DEVICES, THE FOLLOWING FUNCTIONS SHALL IMMEDIATELY OCCUR:

4.a. THE SYSTEM ALARM LED SHALL FLASH. 4.b. A LOCAL SOUNDING DEVICE IN THE PANEL SHALL BE ACTIVATED.

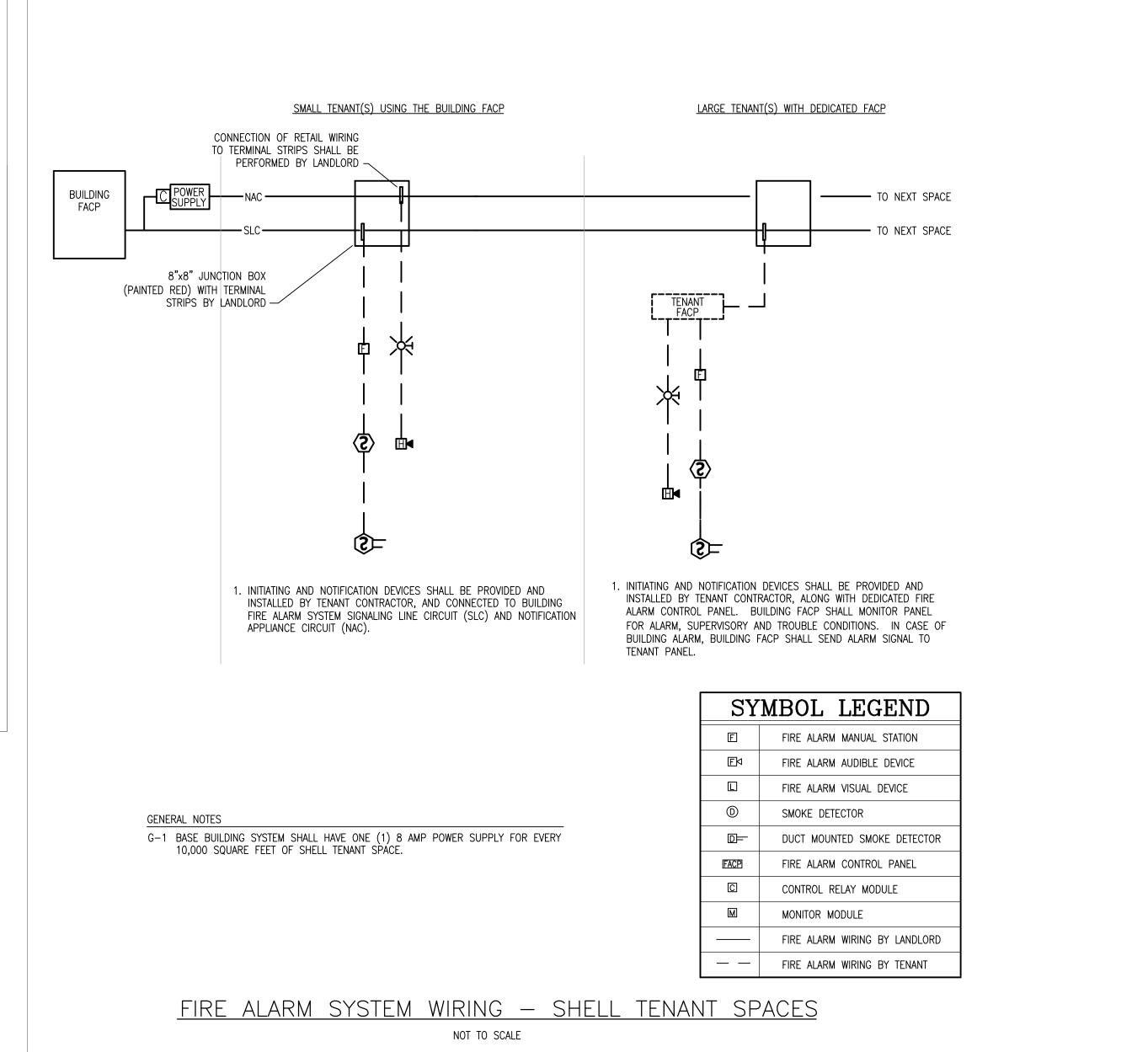
4.c. THE CORRESPONDING LED ON THE INITIATING ZONE(S) IN ALARM SHALL FLASH.
 4.d. ALL AUTOMATIC PROGRAMS ASSIGNED TO THE ALARM POINT SHALL BE EXECUTED PER THE MATRIX ABOVE. AS EACH INDICATING CIRCUIT OR CONTROL RELAY IS ACTIVATED, ITS LED SHALL BE ILLUMINATED.

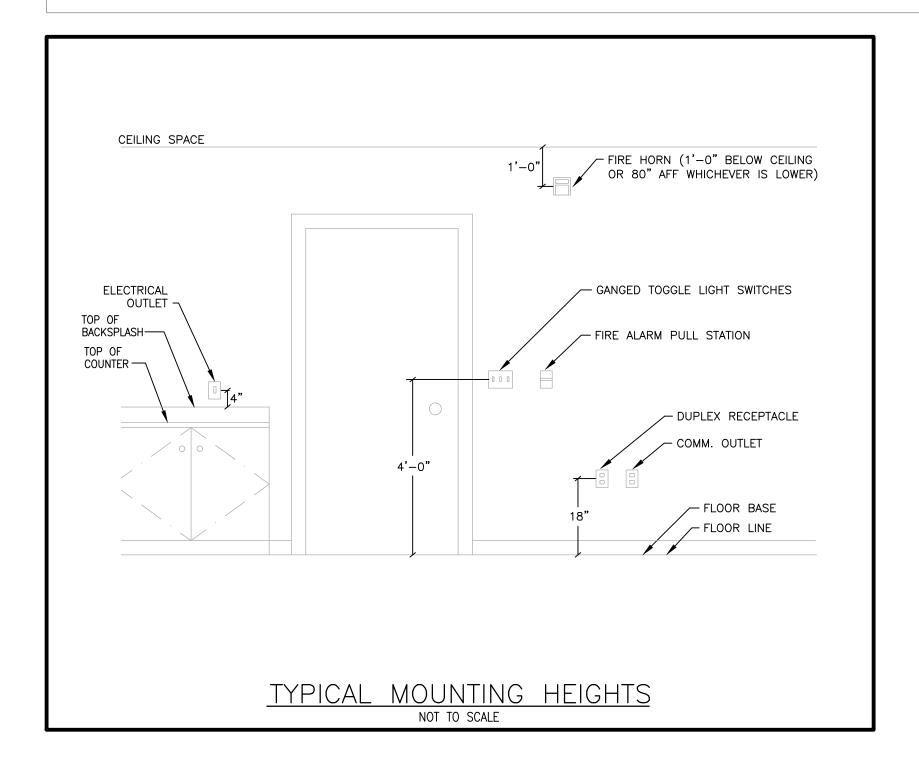
4.e. ACTIVATE AN OUTPUT TO THE MONITORING SERVICE APPROVED BY THE LOCAL AUTHORITY.

FIRE ALARM CONNECTION DETAIL

NOT TO SCALE

5. SEE SPECIFICATION SECTION 283111 FOR MORE INFORMATION.





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Project Number - 1710426 Drawn By: TNN Checked By: ADH

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DT WALTON MIXED USE DEVELOPMENT

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Sheet Title

ELECTRICAL DETAILS

Sheet No.

E7-02

PUMP SCHEDULE							
SYMBOL	SERVICE/LOCATION	TYPE	FLOW (GPM)	HEAD (PSI)	RPM	HP	NOTES
SP-1	SANITARY DRAINAGE/ ELEVATOR PIT	SUBMERSIBLE	100	8.66	3600	2	1
NOTES: 1. BASIS OF DESIGN: STANCOR MODEL SE-200							

ELEVATOR SUMP PUMP-DETAIL (SP-1)

NOT TO SCALE

	FLOW TEST DATA SCHEDULE			
UPON AWARD OF THE CONTRACT, THE FIRE PROTECTION CONTRACTOR SHALL PERFORM A FLOW TEST ON THE TWO HYDRANTS NEAREST THE SITE AND FORWARD THE TEST DATA TO THE ENGINEER AND ARCHITECT THE FOLLOWING WATER PRESSURE/FLOW DATA WAS OBTAINED FROM: MACON WATER AUTHORITY				
STATIC PRESSURE:	112 PSI			
RESIDUAL PRESSURE:	106 PSI			
FLOW (GPM):	1140 GPM			
ELEVATION OF TEST HYDRANT:	-388 FT			
LOCATION OF TEST HYDRANT:	PINE STREET AND NEW STREET			
DATE OF TEST:	08/15/2017			
TIME OF DAY OF TEST:	05:45 PM			

DRAINAGE PRODUCTS/SPECIALTIES

UNLESS OTHERWISE INDICATED NUMBERS ARE JAY R. SMITH. APPROVED EQUAL PRODUCTS: ZURN, JOSAM, WADE, WATTS AND PRECISION PLUMBING PRODUCTS

CO-EXPOSED CLEANOUT - UNFINISHED AREAS JAY R. SMITH FIG. 4420 CAST BRONZE COUNTERSUNK PLUG WITH SLOT TO RECEIVE 1/2" THICK STEEL BAR STOCK.

WCO-WALL CLEANOUT - FINISHED AREAS JAY R. SMITH FIG. 4436 C.I. FERRULE FOR NO HUB OR SERVICE WEIGHT PIPE, NICKEL BRONZE ROUND FRAME AND COVER WITH SECURING SCREWS.

FCO-CONCRETE FLOORS

JAY R. SMITH FIG. 4220 C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG FOR EASY REMOVAL, ADJUSTABLE ROUND CAST IRON TOP WITH SECURING SCREW, SPEEDI-SET OUTLET

FCO-TILE FLOORS
JAY R. SMITH FIG. 4151 C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG FOR EASY REMOVAL, ADJUSTABLE ROUND NICKEL BRONZE TOP RECESSED FOR TILE WITH SECURING SCREW, SPEEDI-SET OUTLET CONNECTION.

FCO-CARPETED FLOORS

JAY R. SMITH FIG. 4020-Y C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG, ADJUSTABLE ROUND NICKEL BRONZE TOP COMPLETE WITH STAINLESS STEEL CARPET MARKER WITH SECURING SCREW, SPEEDI-SET OUTLET CONNECTION.

YCO-EXTERIOR PAVED/CONCRETE AREAS
JAY R. SMITH FIG. 4261 C.I. FLANGED HOUSING WITH HEAVY DUTY C.I. COVER, LIFTING DEVICE, GASKET SEAL THREADED PLUG, V.P. SCREWS IN COVER.

YCO-EXTERIOR UNSURFACED AREAS
JAY R. SMITH FIG. 4261 C.I. FLANGED HOUSING WITH HEAVY DUTY C.I. COVER, LIFTING
DEVICE, GASKET SEAL THREADED PLUG, V.P. SCREWS IN COVER. PROVIDE 24" x 12"
CONCRETE PAD FLUSH WITH SURFACE.

FD "DD" — DECK DRAIN

JAY R. SMITH FIG. 1412—HP,C.I. FLOOR DRAIN WITH 13" SQUARE HEEL PROOF GRATE,

D.I. UNDERGRATE WITH NICKEL BRONZE STRAINER.

FD "G" — FLOOR DRAINS—GENERAL/RESTROOMS

JAY R. SMITH FIG. 2005—B6 SERIES C.I. FLOOR DRAIN WITH 6" DIAMETER SQUARE NICKEL

BRONZE STRAINER, SPEEDI—SET OUTLET CONNECTION AND TRAP PRIMER CONNECTION.

FD "M" -FLOOR DRAINS-GENERAL PURPOSE/MECHANICAL ROOM

JAY R. SMITH FIG. 3715 SERIES CAST IRON 12" DIAMETER DRAIN WITH SEDIMENT BUCKET, CAST IRON GRATE WITH INTEGRAL 4" FUNNEL, SPEEDI—SET OUTLET CONNECTION.

FD "P" — PLANTER DRAIN WITH STANDPIPE
JAY R. SMITH FIG. 2685, C.I. DRAIN WITH BRONZE STAND PIPE AND DOME, FIELD VERIFY

EXACT HEIGHT REQUIRED.

FD "PD" — PARKING DECK DRAIN
JAY R. SMITH FIG. 2142—M,C.I. FLOOR DRAIN WITH 11 1/2" DUCTILE IRON GRATE SEDIMENT

FD "S" -SCUPPER DRAIN
JAY R. SMITH FIG. 1520T-NB CAST IRON FLUSH DRAIN WITH NICKEL BRONZE STRAINER

FD "TD" - TRENCH DRAINS AT PARKING DECK, ZURN FLOW-THRU SYSTEM,
Z-812 SERIES, 12" WIDE, 4" OUTLETS, Z-812-HPD

DUCTILE IRON HEEL PROOF GRATE

LAVATORY—WALL HUNG SUPPORT

JAY R. SMITH #700 FOR MASONRY WALLS AND #700-M31 FOR METAL STUD WALLS.

ELECTRIC WATER COOLER CARRIER-WALL HUNG
JAY R. SMITH FIG. 830 SUPPORT WITH UPRIGHTS OF HIGH STRENGTH STEEL WITH WELDED

BASES BOLTED TO FLOOR. FOR STEEL STUD WALLS, USE M31 RECTANGULAR UPRIGHTS.

TP-"A"-AUTOMATIC TRAP PRIMER
PPP PRIME-RITE SERIES AUTOMATIC TRAP PRIMER WITH MULTIPLE OUTLET DISTRIBUTION
UNITS AS REQUIRED.

WATER HAMMER ARRESTORS
P.P.P. SYSTEM RATED PLUS SERIES COPPER WATER HAMMER ARRESTORS. INSTALL IN AN UPRIGHT
POSITION AT ALL FLUSH VALVES, WASHING MACHINE SUPPLIES, DISHWASHERS, PRV STATIONS,
AND OTHER QUICK CLOSING VALVES, SOLENOIDS AND PLUMBING FIXTURES. LOCATE AND
SIZE AS INDICATED ON DRAWINGS. WHERE NOT SHOWN ON DRAWINGS, LOCATE AND SIZE
IN ACCORDANCE WITH PDI STANDARD WH—201.

HB-HOSE BIBB WOODFORD #24P HOSE BIBB WITH WHEEL HANDLE WITH VACUUM BREAKER, ROUGH BRASS, FOR USE IN NON-PUBLIC AREAS.

HB-HOSE BIBB LOOSE KEY
WOODFORD #24P WITH LOOSE TEE KEY AND VACUUM BREAKER HOSE BIBB, CHROME PLATED
FOR USE IN PUBLIC AREAS.

NFHB - ROOF 3/4" ROOF MOUNT PEDESTAL NON-FREEZE HYDRANT COMPLETE WITH MOUNTING FLANGE AND SHROUD, MALE HOSE END OUTLET WITH DUAL CHECK BACKFLOW PREVENTOR, SEF DRAINING VENTURI, WOODFORD MODEL SRH-MS.

NFWH-WALL HYDRANT-EXTERIOR
JAY R. SMITH FIG. 5509-QT NON FREEZE 3/4" CAST BRONZE HYDRANT WITH RECESSED
STAINLESS STEEL BOX AND FRAME INTEGRAL VACUUM BREAKER, NICKEL BRONZE FACE, AND
SIZED IN ACCORDANCE WITH WALL THICKNESS.

NFHB-HOSEBIBB-EXTERIOR
JAY R. SMITH FIG. 5609-QT NON FREEZE 3/4" CAST BRONZE EXPOSED HYDRANT
INTEGRAL VACUUM BREAKER, NICKEL BRONZE FACE, AND
SIZED IN ACCORDANCE WITH WALL THICKNESS.

RD-ROOF DRAINS-INSULATED ROOF
JAY R. SMITH FIG. 1015-Y-RC. C.I. BODY WITH FLASHING CLAMP AND SUMP RECEIVER CLAMP,
CAST IRON, ADJUSTABLE EXTENSION TO SUIT INSULATION THICKNESS, NO HUB OUTLET
CONNECTION, CAST IRON DOME.

ERD-EMERGENCY ROOF DRAIN
JAY R. SMITH FIG. 1080-Y C.I. BODY WITH 2" HIGH WATER DAM AND CAST IRON, NO HUB
OUTLET CONNECTION, CAST IRON DOME.

WASHING MACHINE UTILITY CONNECTION
GUY GRAY MODEL B200 16 GAUGE UTILITY CONNECTION WITH 1/2" ANGLE VALVES
AND 2" WASTE. PROVIDE FR-12 SERIES IN ALL FIRE RATED WALLS. APPROVED EQUALS ARE
SIOUX CHIEF AND IPS.

ICE MAKER SUPPLY
GUY GRAY MODEL BIM875 16 GAUGE SUPPLY WITH 1/2" INLET, AND 1/4" OUTLET ANGLE VALVE.
PROVIDE FR-12 SERIES IN ALL FIRE RATED WALLS.

DOWNSPOUT NOZZLE:

JAY R. SMITH FIG. 1770,
WALL MOUNTED CAST BRONZE BODY AND FLANGE, NICKEL BRONZE FINISH

PLUMBING NOTES

- ALL PLUMBING EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL PLUMBING CODE, THE 2012 INTERNATIONAL BUILDING CODE, THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE, STATE AND LOCAL AMENDMENTS, NFPA 54, 101, UNDERWRITERS LABORATORIES (OR ETL) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL PLUMBING FIXTURES.

INSULATED AND HEAT TRACED.

- ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR BE SUPPORTED FROM CEILING TILES.
- WATER PIPING ROUTED ABOVE CEILING AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UNDERSIDE) OF CEILING INSULATION AND HEATED SIDE (INSIDE) OF WALL INSULATION.

 ALL PIPING, P—TRAPS, AND CONDENSATE DRAINAGE SUBJECT TO FREEZING SHALL BE
- 3. ALL PLUMBING EQUIPMENT, CONDENSATE DRAINAGE, SANITARY, RAINWATER, AND WATER PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL AHJ REQUIREMENTS.
- 7. SANITARY AND DRAINAGE PIPING 2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT MINIMUM, PIPING 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT MINIMUM.
- 3. TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR.

 9. TRAP PRIMERS ARE TO BE PROVIDED ON ALL FLOOR DRAINS AND HUB DRAINS. TP "A"

 AUTOMATIC TRAP PRIMERS ARE TO BE PROVIDED IN ALL REQUIRED LOCATIONS. PROSET TRAP

 GUARDS OR EQUAL MAY BE USED IN LIEU OF TRAP PRIMERS IF ALLOWABLE BY THE AHJ.
- IO. PLUMBING AND FIRE PROTECTION PIPING IS NOT TO BE INSTALLED IN ELECTRICAL ROOMS, CLOSETS, TELEPHONE ROOMS, OR ELEVATOR EQUIPMENT ROOMS EXCEPT PIPING SERVING THAT SPECIFIC ROOM. ELECTRICAL EQUIPMENT, ETC. PER THE NATIONAL ELECTRICAL CODE ARTICLE
- . ROUTING OF PIPING SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR AND ALL OTHER TRADES DURING THE SUBMITTAL AND LAYOUT PHASE. PIPING SHALL NOT BE ROUTED THROUGH THE DEDICATED ELECTRICAL SPACE ABOVE EACH LOAD CENTER.
- 2. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS AND IN WALL STRUCTURE TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEMS. ACCESS PANELS IN CEILING AND WALLS SHALL BE PROVIDED WHERE SHOWN ON THE DRAWINGS OR NECESSARY TO ACCESS VALVES, ETC. COORDINATE EXACT LOCATION OF ALL ACCESS PANELS WITH THE ARCHITECT DURING THE SHOP DRAWING PROCESS.
- 3. LOCATE ALL SECTIONAL OR MAIN CONTROL VALVES WITHIN 1'-0" FROM ACCESS PANELS, CEILING TILES, OR OTHER POINTS OF ACCESS.
- 14. ALL COLD WATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH HANDI-LAV GUARD MODELS 102 AND 105 INSULATION KITS.
- 5. PROVIDE SHOCK ABSORBERS SIZED PER PDI SPECIFICATIONS ON ALL DOMESTIC WATER LINES SERVING FLUSH VALVE FIXTURES, WASHING MACHINES SUPPLIES, PRV STATIONS AND OTHER INSTALLATIONS WITH QUICK CLOSING VALVES.

 6. PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS
- PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS.
 ALL SHOWER HEAD ARMS AND VALVES SHALL BE PROVIDED WITH ADDITIONAL BLOCKING AS REQUIRED AND RIGIDLY SECURED TO ADJACENT STRUCTURE.
- 18. ALL SHOWER HEADS SHALL BE INSTALLED WITH THE CENTER POINT OF THE SHOWER HEAD FACE LOCATED 6'-3" MINIMUM ABOVE THE TUB/SHOWER FINISHED SURFACE.
- 19. ALL CLOTHES WASHER BOXES AND ICE MAKER BOXES SHALL BE KEPT OUT OF RATED WALLS WHERE PRACTICAL. IF BOXES ARE IN RATED WALLS THEN FIRE RATED BOXES OR EQUAL MUST BE USED.
- 20. PROVIDE REDUCED PRESSURE BACKFLOW PREVENTORS AT ALL DOMESTIC WATER CONNECTIONS TO MECHANICAL EQUIPMENT, IRRIGATION CONNECTIONS, ICE MACHINES, AND VENDING EQUIPMENT CONNECTIONS AS REQUIRED BY LOCAL CODE AND AUTHORITIES. BACKFLOW PREVENTORS ARE TO BE LOCATED WITH A MINIMUM OF 1'-0" CLEARANCE AT THE LOWEST POINT AND AT NO MORE THAN 5'-0" ABOVE FINISHED FLOOR AT THE HIGHEST POINT OF THE DEVICE
- 1. PROVIDE MANUFACTURED EXPANSION DEVICE OR FABRICATED EXPANSION LOOP ON ALL PIPING SYSTEMS CROSSING BUILDING EXPANSION JOINTS.
- CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL FIRE PROTECTION EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND SHALL FURNISH EQUIPMENT SELECTED FOR THE VOLTAGES SHOWN THEREIN. THE VOLTAGE COORDINATION STATEMENT IS TO BE COMPLETED AND SUBMITTED WITH THE SHOP DRAWING SUBMITTAL. FAILURE TO SUBMIT THE VOLTAGE COORDINATION STATEMENT WILL BE CAUSE FOR REJECTION.
- 23. ALL PLUMBING EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH
 DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR
 NON-FUSED) WITH ELECTRICAL DRAWINGS.
- 24. ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPED.

AFTER ACCEPTANCE BY THE OWNER.

FIRE WRAP. WRAP MUST EQUAL T-RATING.

- 25. ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR
- 26. ALL PIPE PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED AS REQUIRED TO RESTORE THE ASSEMBLY TO ITS ORIGINAL INTEGRITY. FIRE BARRIER PRODUCTS SHALL BE AS MANUFACTURED BY 3M COMPANY, CP25 CAULK, CS195 COMPOSITE PANEL, FS195 WRAP/SRINK, TREMCO, HILTI, METACAULK, NELSON, OR PSS 7900 SERIES SYSTEMS AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATIONS, OR EQUIVALENT SYSTEM AS APPROVED BY LOCAL CODE OFFICIALS. T-RATINGS SHALL BE MAINTAINED BY DOUBLE WRAPPING PENETRATIONS 4'-0" ABOVE FLOOR PENETRATIONS WITH A
- PROVIDE AN INLINE FILTER ON THE DOMESTIC WATER SUPPLY TO ALL ICE MACHINES; FILTRINE MODEL TM OR ENGINEER APPROVED EQUAL.
- 28. ALL VENT THRU ROOF PENETRATIONS SHALL BE ROUTED TO TERMINATE AT THE LEAST VISIBLE LOCATION FROM THE ENTRY VIEW.
- 29. PROVIDE A FLANGED DOUBLE SPHERE FLOATING FLANGE FLEXIBLE CONNECTOR COMPLETE WITH CONTROL RODS AT THE DOMESTIC BOOSTER PUMP SUCTION AND DISCHARGE CONNECTIONS (PRESSURE RATING AS REQUIRED BY SYSTEM PRESSURE); KINETICS KINFLEX FTC SERIES.
- 30. ALL COMPONENTS OF THE DOMESTIC WATER SYSTEM SHALL COMPLY WITH ANSI/NSF 61, NSF 372, AND NSF 61-G LEAD FREE REQUIREMENTS.

PLUMBING MATERIALS

- DOMESTIC COLD WATER SERVICE PIPING BELOW GRADE 4" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON PIPE WITH PUSH—ON JOINTS, PIPING 3" AND SMALLER SHALL BE TYPE L HARD DRAWN COPPER TUBING WITH SWEAT JOINTS. DOMESTIC WATER BRANCH PIPING BELOW GRADE SHALL BE PROTECTED WITH SLEEVES AT ALL PENETRATIONS THROUGH CONCRETE.
- 2. DOMESTIC HOT & COLD WATER PIPING ABOVE GRADE SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND CAST OR WROUGHT FITTINGS. ALL JOINTS SHALL BE MADE WITH LEAD FREE SOLDER. TYPE M COPPER OR CHLORINATED POLYVINYL CHRLORIDE (CPVC) PIPE/TUBE AND FITTINGS MAY BE SUBMITTED FOR OWNER APPROVAL AS A DEDUCTIVE ALTERNATE.
- . SANITARY WASTE & STORM DRAIN PIPING BELOW GROUND SHALL BE CAST—IRON WITH PUSH—ON JOINTS. SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS MAY BE SUBMITTED FOR OWNER APPROVAL AS A DEDUCTIVE ALTERNATE. PVC PIPING SHALL NOT RECEIVE WASTES OVER 130°F.
- 4. SANITARY WASTE & VENT, AND STORM DRAIN PIPING ABOVE GROUND SHALL BE NO-HUB CAST-IRON WITH STAINLESS STEEL COUPLINGS. SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS MAY BE SUBMITTED FOR OWNER APPROVAL AS A DEDUCTIVE ALTERNATE. PVC PIPING SHALL NOT RECEIVE WASTES OVER 130°F AND SHALL NOT BE LOCATED IN RETURN AIR PLENUM SPACES.
- LOW PRESSURE NATURAL GAS PIPING ABOVE GRADE SHALL BE SCHEDULE 40 BLACK STEEL WITH WELDED JOINTS. PIPING 2 1/2" AND SMALLER MAY BE SCHEDULE 40 BLACK STEEL PIPE WITH SCREWED JOINTS AND 150 LB. MALLEABLE IRON FITTINGS.
- 6. ALL ABOVE GRADE HOT AND COLD DOMESTIC WATER, AND RECIRCULATION PIPING SHALL BE INSULATED EXCEPT AT HORIZONTAL CHASE BRANCH PIPING TO INDIVIDUAL PLUMBING FIXTURES AND ON VERTICAL RISERS WITHIN SEALED CHASES.

 ALL HOT WATER, HOT WATER RETURN PIPING ABOVE GRADE SHALL BE INSULATED WITH 1 INCH NOMINAL THICKNESS PIPE INSULATION WITH VAPOR BARRIER JACKET, ALL COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH 1/2 INCH THICKNESS INSULATION ON PIPING 2" AND SMALLER, 1" THICK INSULATION ON PIPING 2 1/2" AND LARGER. ALL HORIZONTAL STORM DRAIN PIPING AND ROOF DRAIN BODIES SHALL BE INSULATED. MATERIALS AS MANUFACTURED BY ARMSTRONG, CERTAINTEED, KNAUF OR EQUAL. ARE NOT ALLOWED.

FIRE PROTECTION NOTES

- 1. ALL SPRINKLERS IN SPACES VISIBLE TO PUBLIC VIEW SHALL BE LOCATED SYMMETRICALLY IN RELATION TO CEILING DESIGN ELEMENTS, LIGHTING FIXTURES, SPEAKERS, DIFFUSERS, ETC. ALL CEILING COMPONENTS ARE TO BE INDICATED ON THE SUBMITTAL DRAWINGS AS NOTED PREVIOUSLY TO INSURE COORDINATION WITH ALL CEILING ELEMENTS AND DEVICES. PIPING TO SPRINKLERS IN THESE AREAS IS TO BE PROVIDED WITH RETURN BENDS IF REQUIRED TO ALLOW FOR EXACT PLACEMENT.
- 2. SPRINKLER HEADS INSTALLED IN LAY IN ACOUSTICAL TILE CEILINGS SHALL BE CENTERED IN THE CEILING TILES OR INSTALLED ON QUARTER POINTS OF THE FOUR FOOT DIMENSIONS OF 2' X 4' TILES.
- . ALL FIRE PROTECTION WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA STANDARDS AND SHALL MEET THE APPROVAL OF THE OWNERS INSURANCE UNDERWRITER, AND LOCAL AUTHORITIES HAVING JURISDICTION.
- 4. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATION ANY FIRE PROTECTION EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE: SPRINKLER DRAWINGS AND CALCULATIONS BEARING THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER OR EQUIVALENT CONTRACTORS FIRE SPRINKLER CERTIFICATE SEAL AND APPROVAL STAMP OF LOCAL CODE AUTHORITY; SPRINKLER PIPING; SPRINKLER HEADS; HOSE RACKS, HYDRANTS AND VALVES; PUMPS, CONTROLLERS AND ACCESSORIES; TANKS AND ACCESSORIES. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNERS INSURANCE UNDERWRITER PRIOR TO BEING SUBMITTED TO THE ARCHITECT.
- 5. CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL FIRE PROTECTION EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN.
- ALL FIRE PROTECTION EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- 7. ALL PIPING ABOVE GRADE SHALL BE SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR CEILING STRUCTURE. PIPING HUNG FROM JOISTS SHALL BE HUNG FROM THE TOP CHORDS OF THE JOISTS.
- ALL SPRINKLER SYSTEMS SHALL BE DESIGNED TO THE AVAILABLE CITY WATER SUPPLY. CONTRACTOR SHALL HAVE CURRENT FLOW TEST PERFORMED PRIOR TO DESIGN.
- ALL SPRINKLER SYSTEM RISERS SHALL INCLUDE AN ALARM CHECK VALVE, WATER MOTOR GONG, FLOW SWITCH, ETC.
- 10. HYDRAULIC CALCULATIONS SHALL INCLUDE AN ALLOWANCE FOR INSIDE AND OUTSIDE HOSE STREAMS.
- 11. FIRE PROTECTION SUBCONTRACTOR SHALL FURNISH AND INSTALL 2A RATED 10 LB. FIRE EXTINGUISHERS FOR EVERY 3000 SQ. FT. OF FLOOR AREA. EXTINGUISHERS SHALL BE LOCATED TO MINIMIZE TRAVEL DISTANCE TO 75 FEET.
- 12. ALL MAJOR VALVES SHALL HAVE U.L. LISTED SUPERVISORY SWITCHES COMPATIBLE WITH THE OWNERS CENTRAL ALARM SYSTEM. WIRING OF THE SWITCHES SHALL BE BY OTHERS.
- 3. GROOVED (VICTAULIC) COUPLINGS SHALL NOT BE USED OVER OR NEAR ELECTRICAL
- 14. ALL SPRINKLER PIPING SHALL BE ROUTED TO MAINTAIN MINIMUM CLEAR HEIGHTS

PRESSURE SWITCHES COMPATIBLE WITH THE OWNERS CENTRAL ALARM SYSTEM.

SWITCHGEAR, PANELS, TRANSFORMERS, ETC.

WIRING OF THE SWITCHES WILL BE BY OTHERS.

- INDICATED ON ARCHITECTURAL DRAWINGS.5. ALL DRY PIPE SPRINKLER SYSTEMS SHALL BE COMPLETE WITH OS&Y GATE VALVES AND DRY PIPE VALVES, AIR COMPRESSORS, WATER MOTOR GONGS, ACCESSORIES AND
- 16. ALL PIPING ON THE SYSTEM SIDES OF DRY PIPE OR PREACTION VALVES SHALL BE GALVANIZED CLASS 150 AND 300 MALLEABLE IRON THREADED FITTINGS, ANSI B16.1.

FIRE PROTECTION SYSTEM MATERIALS

- I. ALL MATERIALS, PIPE, VALVES AND EQUIPMENT FURNISHED UNDER THIS SECTION SHALL BE NEW AND APPROVED BY NFPA, UNDERWRITER'S LABORATORIES, INC. (U.L.), FACTORY MUTUAL (F/M) AND AMERICAN WATER WORKS ASSOCIATION (AWWA) WHERE APPLICABLE.
- SCHEDULE 40 WELDED OR SEAMLESS STEEL PIPE, ASTM A53, AND A135.

 A. CLASS 125, AND 250 CAST IRON THREADED FITTINGS, ANSI B16.4.
- B. CLASS 150, AND 300 MALLEABLE IRON THREADED FITTINGS, ANSI B16.3.C. GROOVED MECHANICAL COUPLINGS AND FITTINGS WITH EPDM GASKET,

MALLEABLE IRON OR DUCTILE IRON, 800 PSI MINIMUM RATING ASTM

- A47 AND A536, U.L. LISTED, F.M. APPROVED.

 LIGHTWALL WELDED OR SEAMLESS STEEL PIPE, ASTM A53, AND A135.
- A. GROOVED MECHANICAL COUPLINGS AND FITTINGS WITH EPDM GASKET,
 MALLEABLE IRON OR DUCTILE IRON, 800 PSI MINIMUM RATING
 ASTM A47, AND A536, U.L. LISTED, F.M. APPROVED.
- B. LIGHTWALL, 150 PSI, BUTTWELD FITTINGS, ANSI B16.9.

SPRINKLER OR APPROVED EQUAL.

- 4. AUTOMATIC SPRINKLERS SHALL BE PROVIDED AS FOLLOWS:

 A. FULLY CONCEALED TYPE SPRINKLERS, GLASS ELEMENT OR FUSIBLE LINK STYLE, FAST RESPONSE, HIGH SENSITIVITY SPRINKLERS SHALL BE PROVIDED IN ALL AREAS WITH GYPSUM CEILINGS.

 TEMPERATURE RATING OF SPRINKLERS SHALL BE 155* 165*.

 CEILING COVERPLATE SHALL BE FACTORY PAINTED TO MATCH THE ADJACENT CEILING COLOR, SUBMIT PAINTED SAMPLE TO THE ARCHITECT FOR APPROVAL. SPRINKLER TO BE VIKING HORIZON MIRAGE CONCEALED
 - B. SMALL FRAME GLASS ELEMENT, SEMI-RECESSED, FAST RESPONSE PENDENT SPRINKLERS SHALL BE PROVIDED IN ALL REMAINING AREAS WITH LAY-IN CEILINGS UNLESS OTHERWISE NOTED. TEMPERATURE RATING OF SPRINKLERS SHALL BE 155° 165°. SPRINKLERS TO BE VIKING MICROFAST MODEL M SERIES WITH MODEL E-1 ESCUTCHEON.
 - C. FAST RESPONSE UPRIGHT PENDENT SPRINKLERS SHALL BE PROVIDED IN ALL AREAS WITH NO CEILING. TEMPERATURE RATING IS TO BE 165° UNLESS CONDITIONS REQUIRE HIGHER TEMPERATURE. FINISH OF SPRINKLER TO BE ROUGH BRASS. SPRINKLER TO BE VIKING MICROFAST MODEL M
 - D. ALTERNATE ACCEPTABLE MANUFACTURERS WITH EQUIVALENT SPRINKLERS ARE AUTOMATIC, GRINNELL, GEM, AND RELIABLE.
- ALL INTERIOR SPRINKLER PIPING SHALL MEET THE REQUIREMENTS OF APPLICABLE SECTIONS OF NFPA, AND THE OWNER'S UNDERWRITER. ALL PIPE, FITTINGS, VALVES, AND SPRINKLER SYSTEM COMPONENTS SHALL BE RATED FOR WORKING PRESSURES AS REQUIRED BY SYSTEM DESIGN.
- ALL PIPE, SUPPORTS AND HANGER ASSEMBLIES SHALL BE IN ACCORDANCE WITH NFPA-13 AND SHALL BE U.L. LISTED OR F.M. APPROVED.

SYMBOL	ABBREVIATION	DESCRIPTION			
	A/C	ABOVE CEILING			
	AD	AREA DRAIN			
	A/F	ABOVE FLOOR			
AFF		ABOVE FINISHED FLOOR			
AFG		ABOVE FINISHED GRADE			
	A/P	ACCESS PANEL			
	B/F	BELOW FLOOR			
	B/G	BELOW GRADE			
	BV	HOT WATER RETURN BALANCING VALVE			
—— CA ——	CA	COMPRESSED AIR			
—— CD ——	CD	CONDENSATE DRAIN			
	CV	CHECK VALVE			
	CW	COLD WATER PIPING			
—	CWV	COMBINATION WASTE & VENT			
G	DN	PIPING TURNING DOWN			
(o)	ERD	EMERGENCY ROOF DRAIN			
——ERL——	ERL	EMERGENCY RAIN LEADER			
—•	FCO	FLOOR CLEANOUT			
[OE—	FD	FLOOR DRAIN			
	FS	FLOOR SINK			
G	G	GAS PIPING – LOW PRESSURE			
GW	GW	GREASE WASTE PIPING			
<u>м</u> G	MG	GAS PIPING - MEDIUM PRESSURE			
	GV	GATE/BALL VALVE			
─ ~;,	HB/NFHB	HOSE BIBB/NON-FREEZE HOSE BIBB			
	HC	HANDICAPPED			
() 	HD	HUB DRAIN			
/ / / / / /	HT	HEAT TRACED PIPING			
	HW	HOT WATER PIPING			
	HWR	HOT WATER RETURN PIPING			
— – —НZ — НZ		HIGH ZONE (BOOSTED) COLD WATER			
— - —LZ—	LZ	LOW ZONE COLD WATER (STREET PRESSURE)			
	0/H	OVER HEAD			
•	POC	POINT OF CONNECTION NEW TO EXISTING			
——PD——	PD	PUMPED DISCHARGE			
○		P-TRAP			
	PRV	PRESSURE REDUCING VALVE			
(b) (o)	RD	ROOF DRAIN			
->\frac{1}{1}	RPZ	REDUCED PRESSURE BACKFLOW PREVENTOR			
— s—	S,W	SOIL, WASTE PIPING (ABOVE GROUND)			
 s	S,W	SOIL, WASTE PIPING (BELOW GROUND)			
	SA	SHOCK ABSORBER			
—_ST —	ST	STORM DRAINAGE PIPING			
	TP	TRAP PRIMER			
		UNION			
	U/C	UNDER COUNTER			
0	UP	PIPING TURNING UP			
┌ ●	V	VENT PIPING			
	VTR	VENT THRU ROOF			
1	WCO	WALL CLEANOUT			
G	WH/NFWH	WALL HYDRANT/NON-FREEZE WALL HYDRANT			
	WSV	WASTE STACK VENT			
<u>•</u>	YCO	YARD CLEANOUT			
F	IRE PRO	OTECTION LEGEND			
SYMBOL	ABBREVIATION	DESCRIPTION			
3 TIVIDUL	VDDIVEABUION	DESCRIPTION DELOCATION			

PLUMBING LEGEND

	WSV	WASTE STACK VENT				
<u>•</u>	YCO	YARD CLEANOUT				
F	IRE PRO	TECTION LEGEND				
SYMBOL	ABBREVIATION	DESCRIPTION				
0	CS CONCEALED SPRINKLER HEAD					
	ESFR	EARLY SUPPRESSION FAST RESPONSE				
<u>—</u> ғ—	F	FIRE PROTECTION SUPPLY				
	FCV	FLOOR CONTROL VALVE				
	FSP	FIRE STANDPIPE				
<u></u>	FVC	FIRE VALVE CABINET				
OTH	FDV	FIRE DEPARTMENT VALVE				
F	FSW	FLOW SWITCH				
	RCV	RISER CONTROL VALVE				
—SP—	SP	SPRINKLER PIPING				
	TSW	TAMPER SWITCH				
\triangle	ECSS	EXTENDED COVERAGE SIDEWALL SPRINKLER HEAD				
•	PS	PENDENT MOUNTED SPRINKLER HEAD				
	RM	ROOF MANIFOLD				
	SFDC	SIAMESE FIRE DEPARTMENT CONNECTION				
Δ	SS	SIDEWALL SPRINKLER HEAD				
\otimes	UR	UPRIGHT SPRINKLER HEAD				

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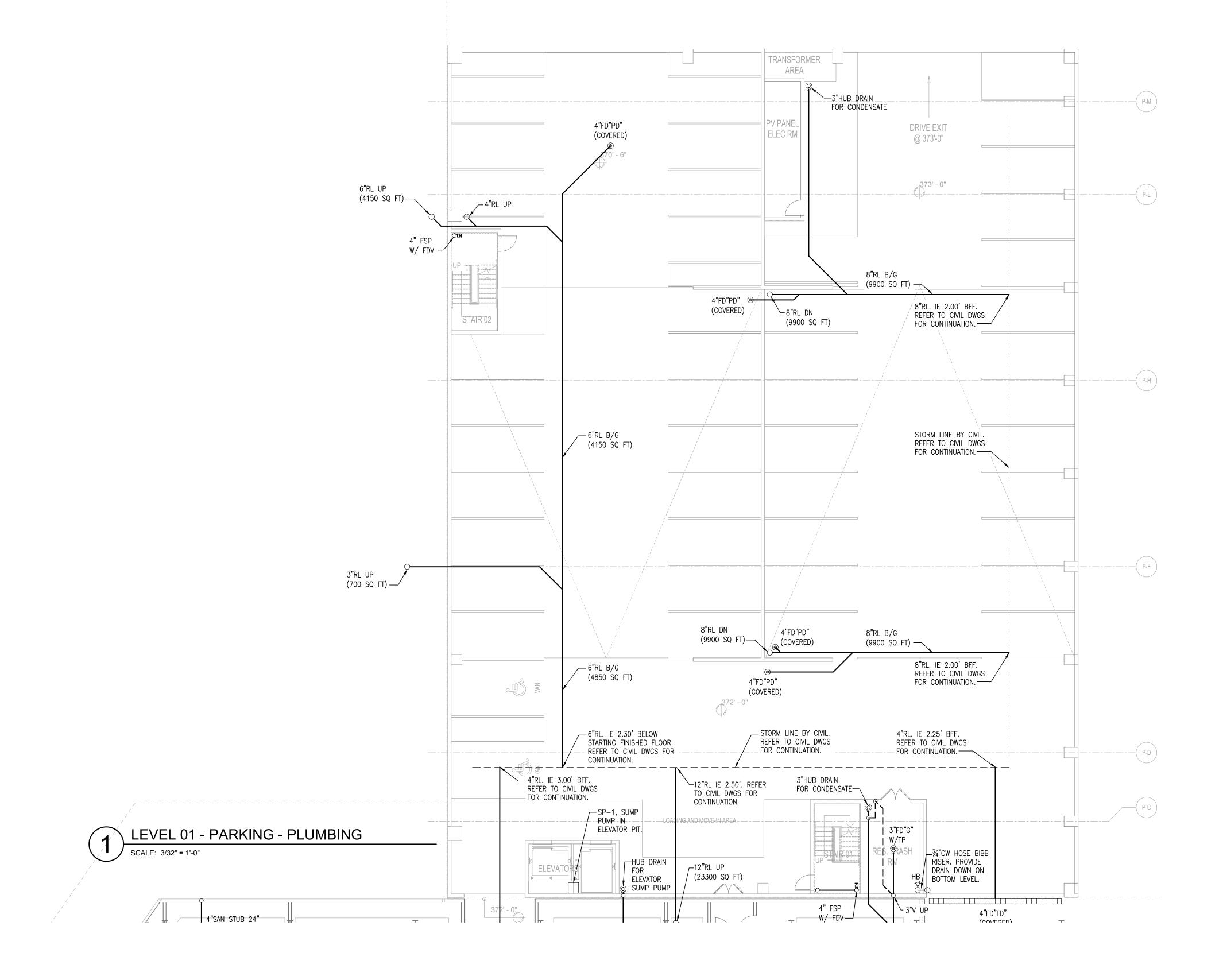
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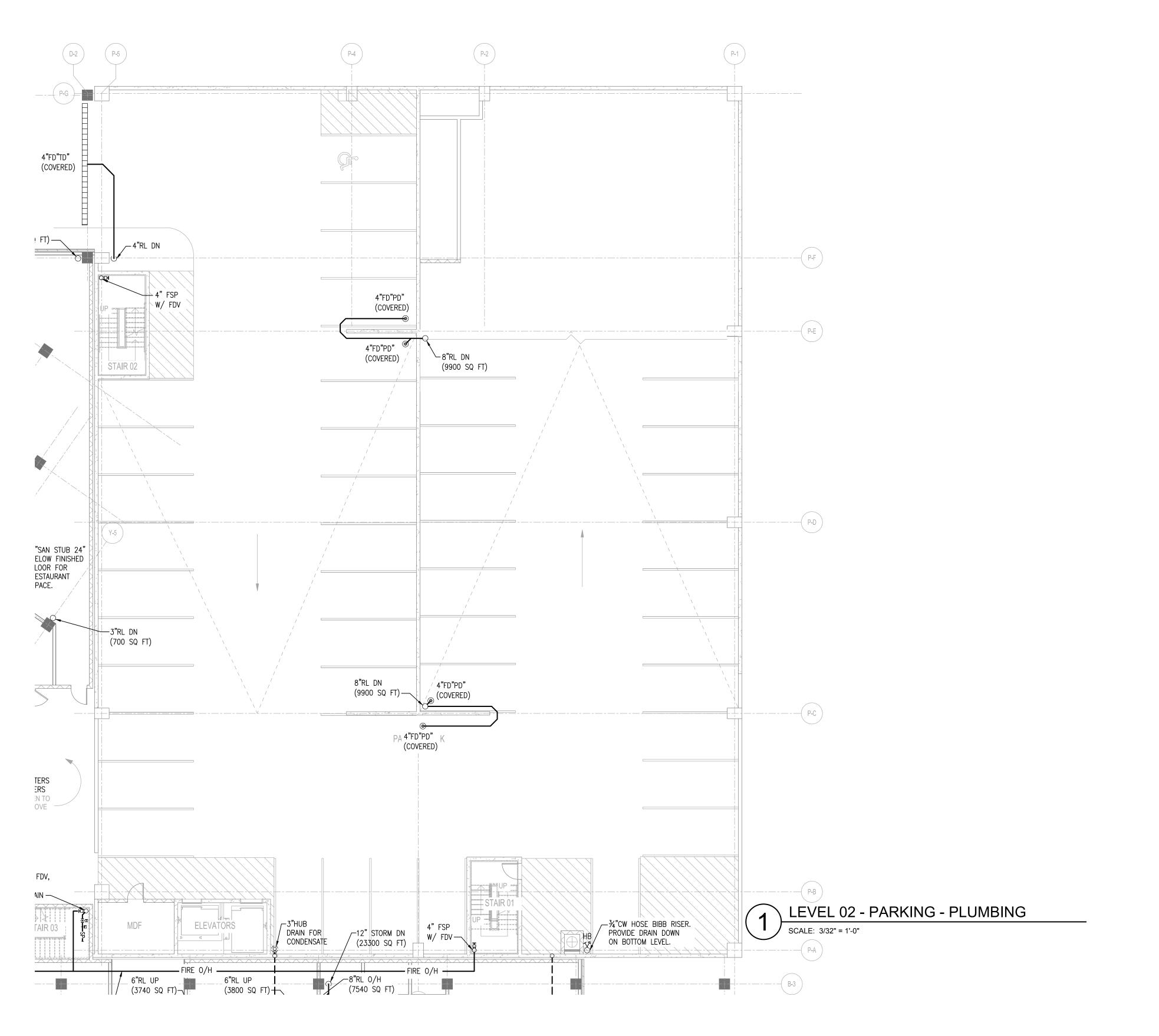
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LEVEL 01 - PARKING -PLUMBING

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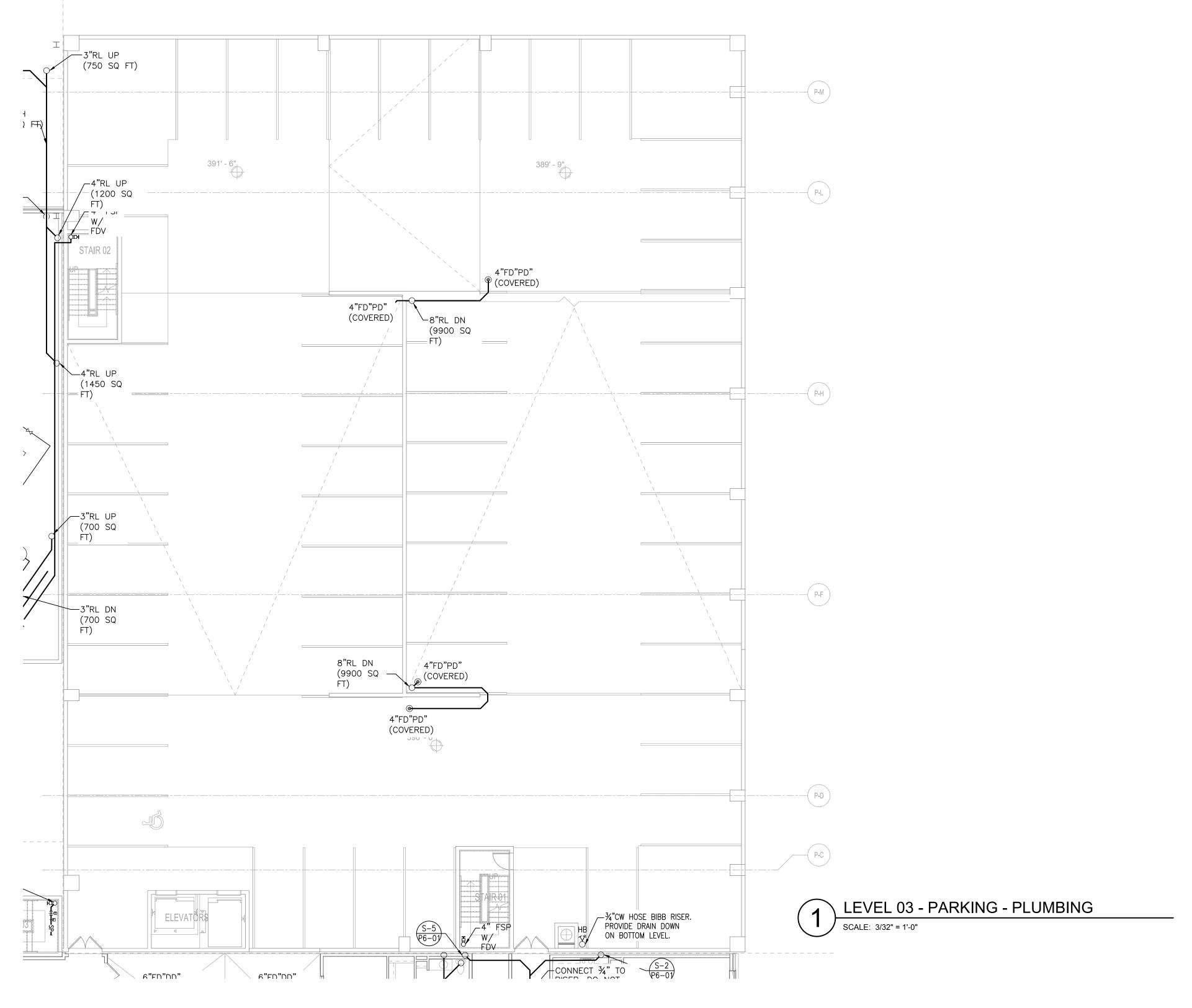
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LEVEL 03 - PARKING -PLUMBING

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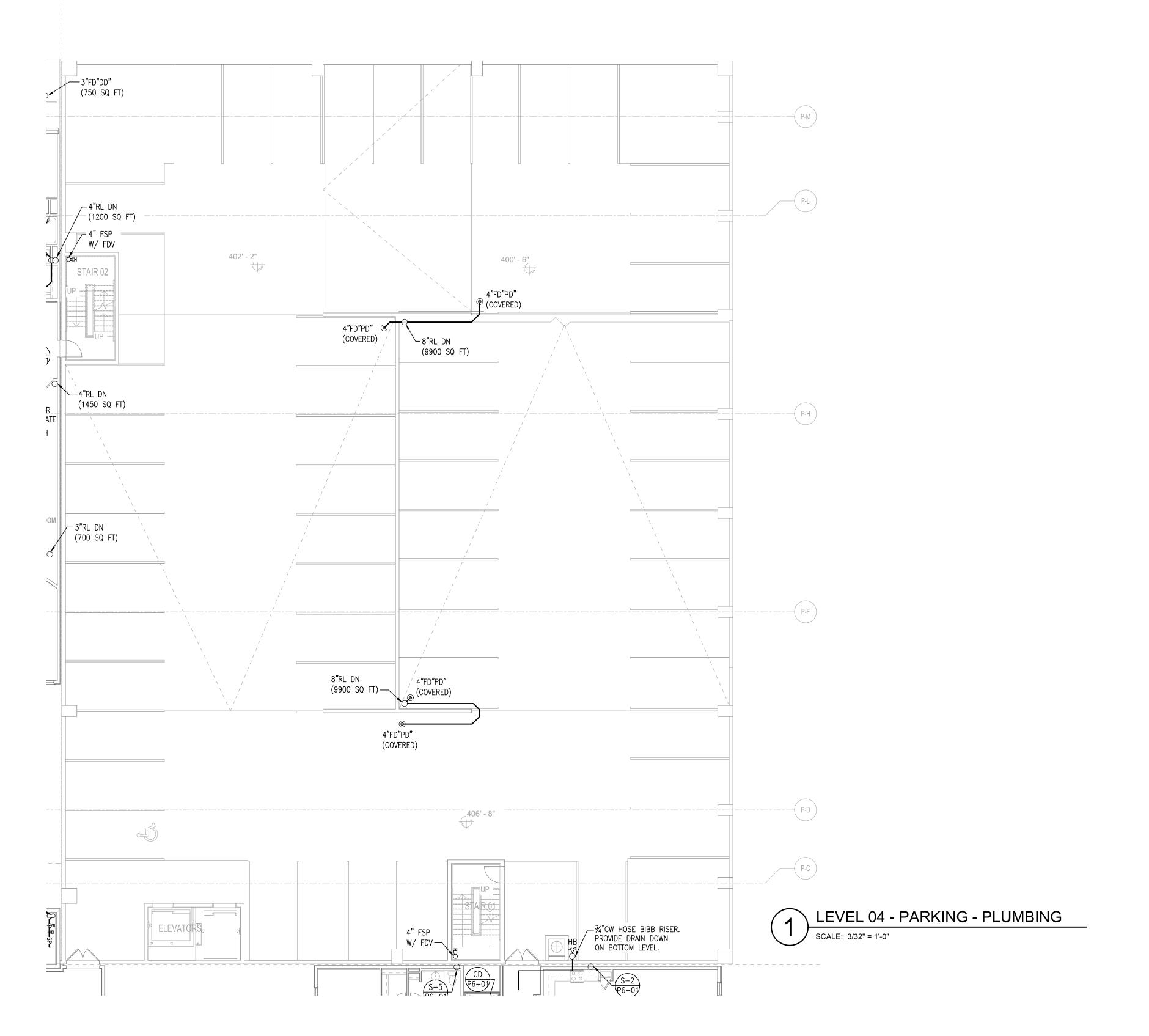
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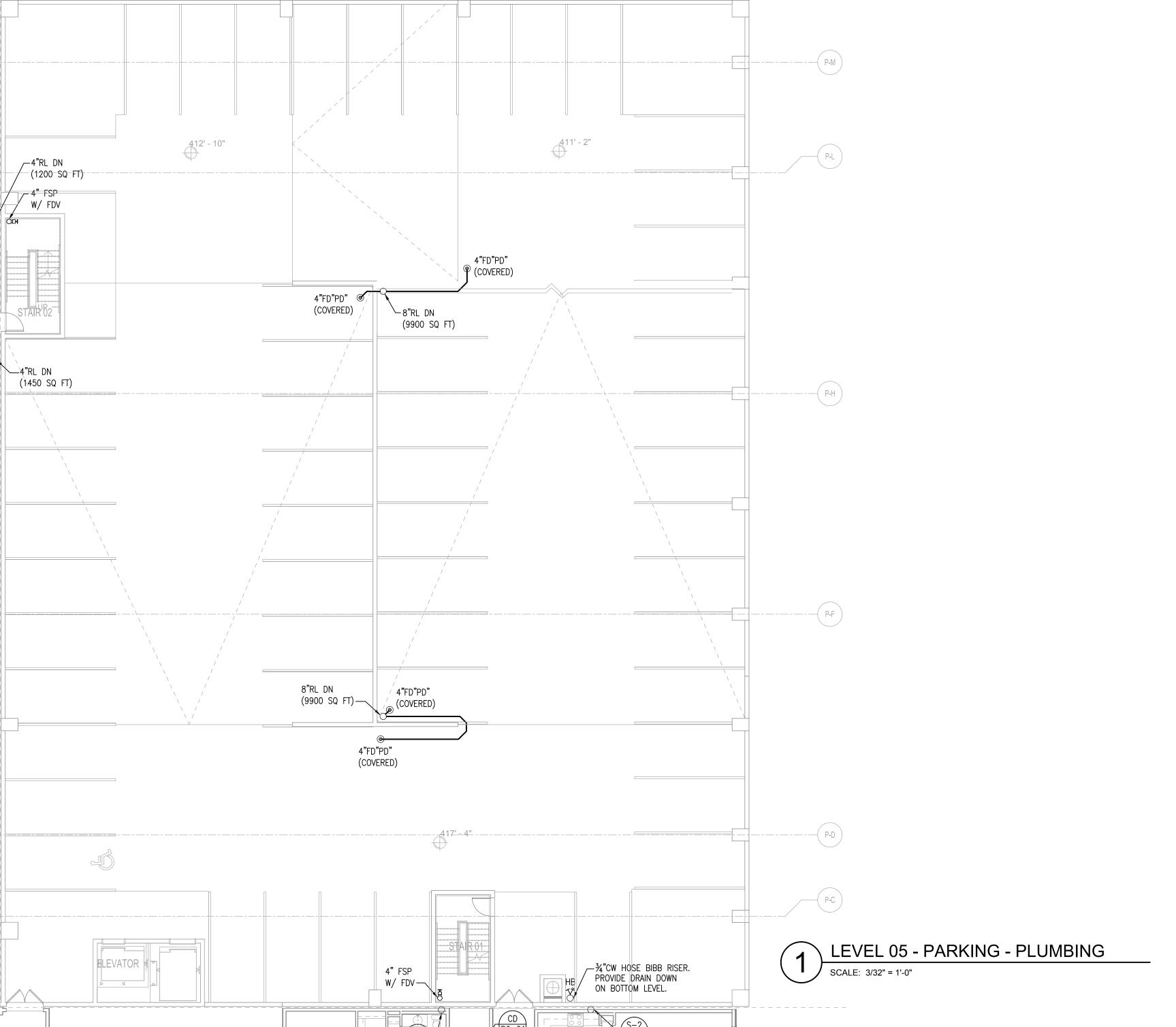
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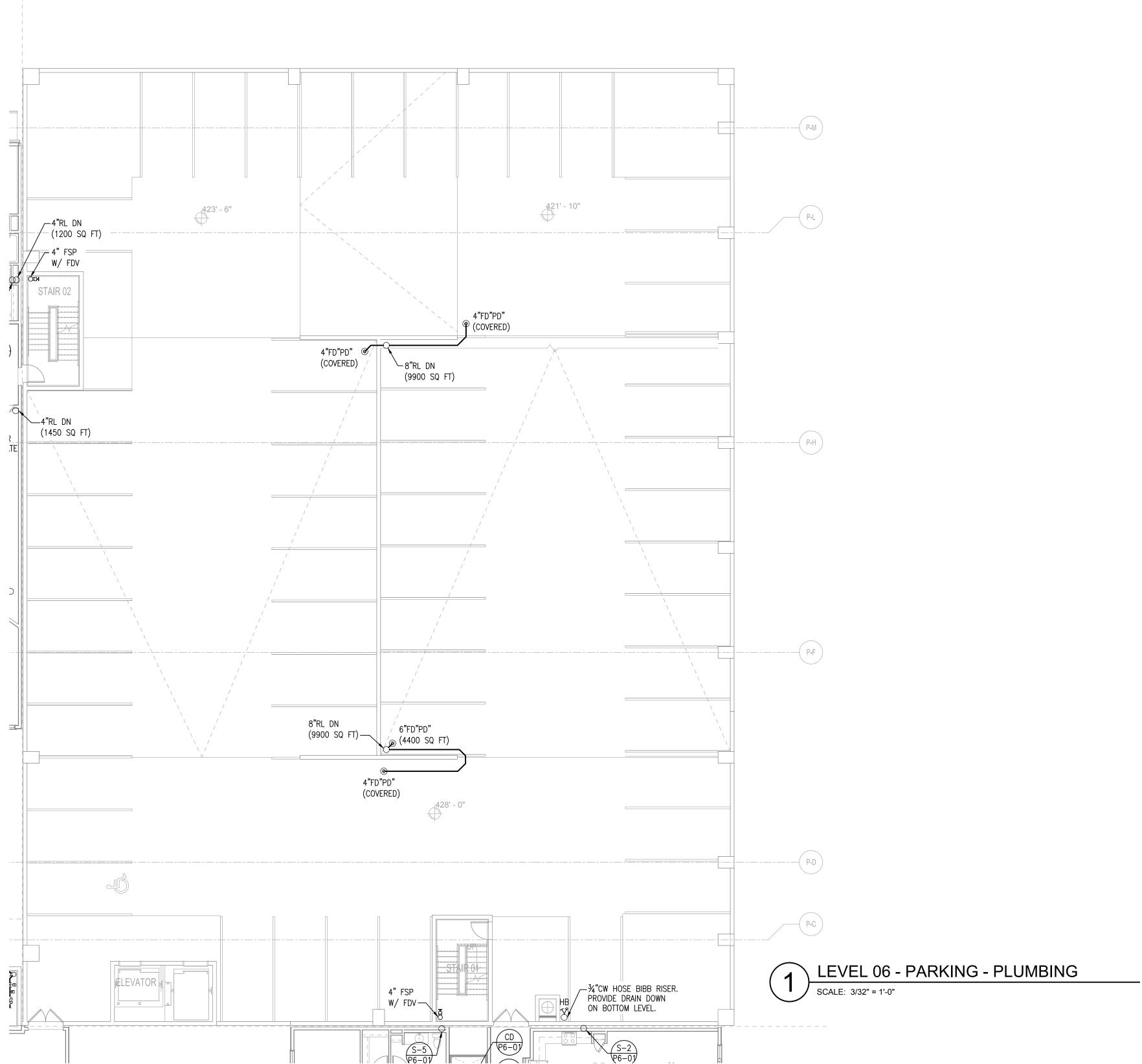
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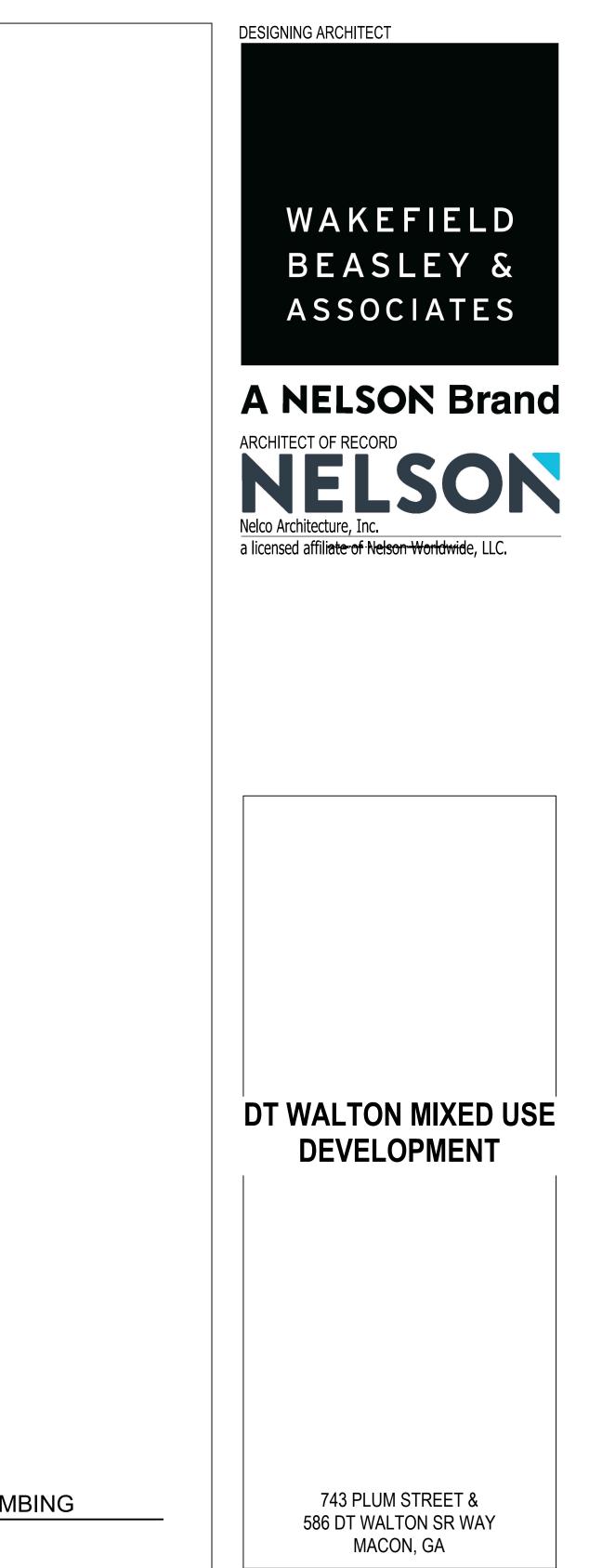
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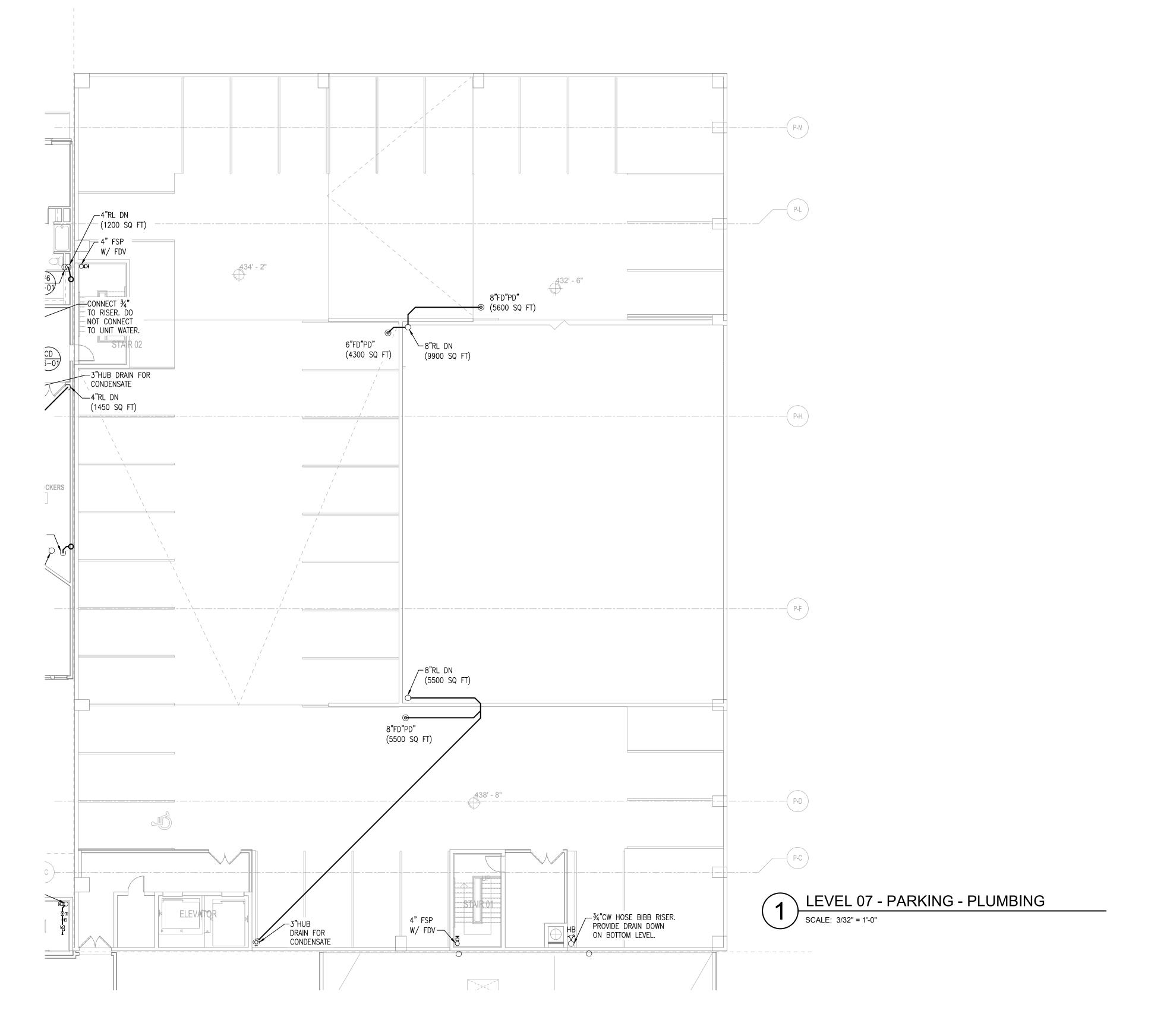
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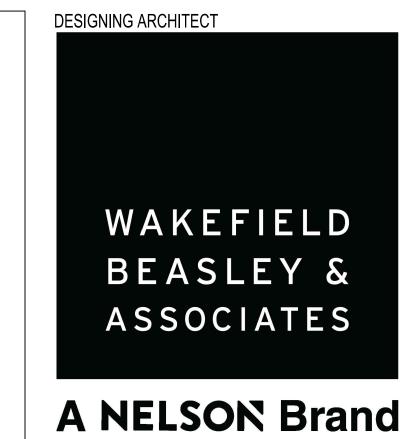
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