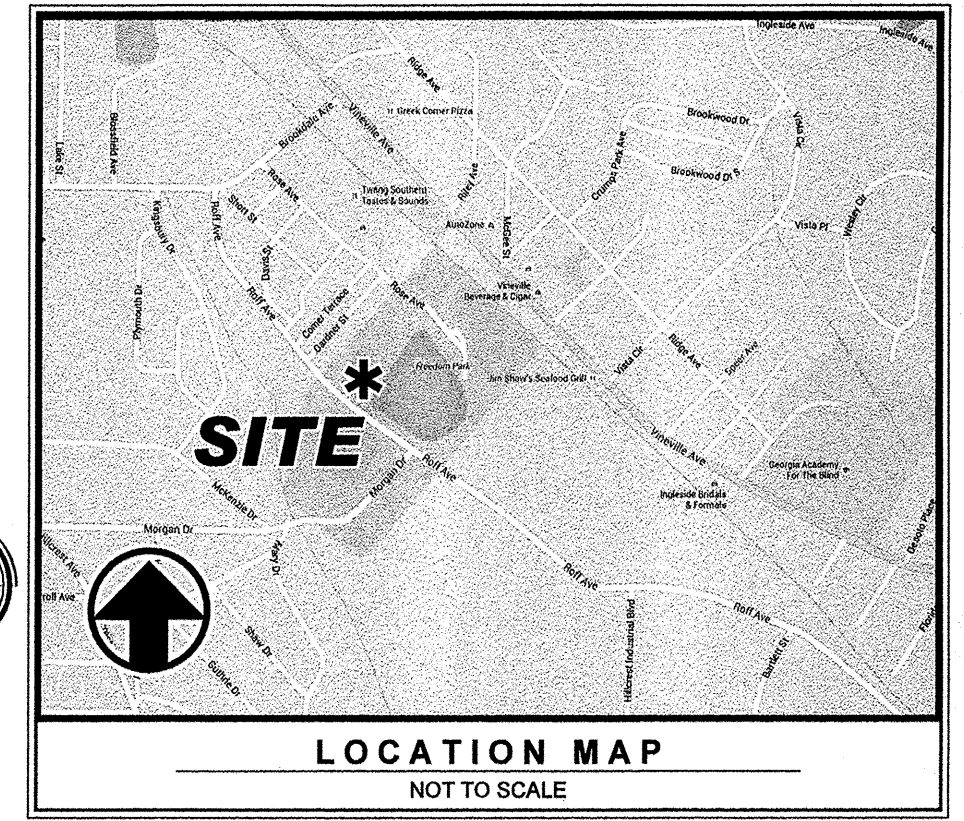
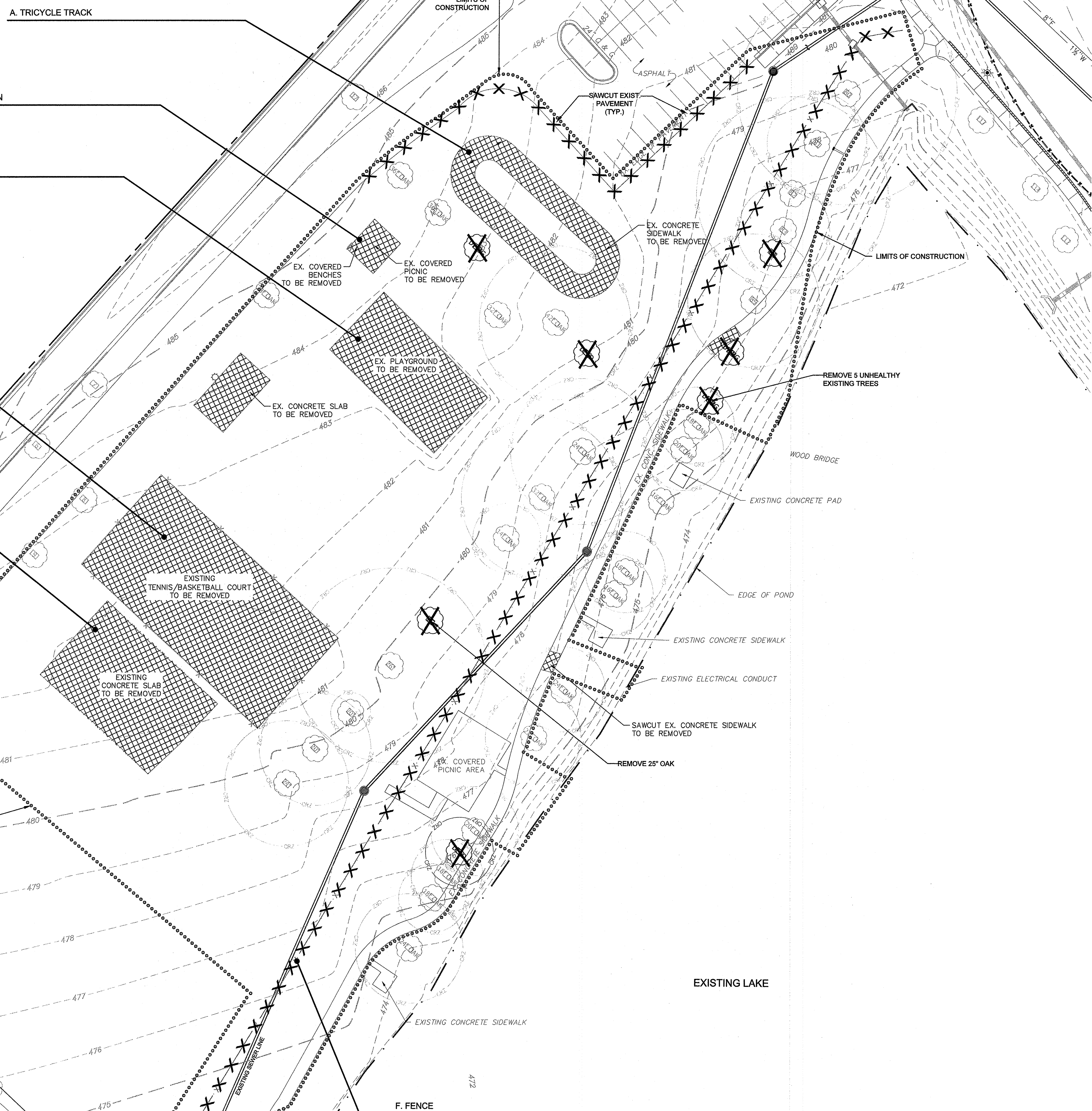


- 1 REMOVE EXISTING STRUCTURES
- A. TRICYCLE TRACK
 - B. SMALL PAVILION
 - C. PLAYGROUND AND SWING
 - D. BASKETBALL COURT - 793 SF
 - E. CONCRETE SLAB - 3 - 4671 SF
 - F. FENCE - 662 LF
 - G. DEAD TREES - 6



OWNER
MACON-BIBB COUNTY PARKS AND RECREATION DEPARTMENT
 150 WILLIE SMOKE GLOVER DRIVE
 MACON, GA 31201
 478-621-6280
 E-mail: rwalker@maconbib.us

24 HOUR EMERGENCY CONTACT
 ROBERT WALKER
 478-621-6280
 E-mail: rwalker@maconbib.us

NO	DATE	DESCRIPTION
1		
2		
3		
4		
5		

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7611
 Fax: (770) 416-6759
 www.travispruit.com
 CONTACT PERSON: TED ANDERSON
 E-mail: Tanderson@travispruit.com

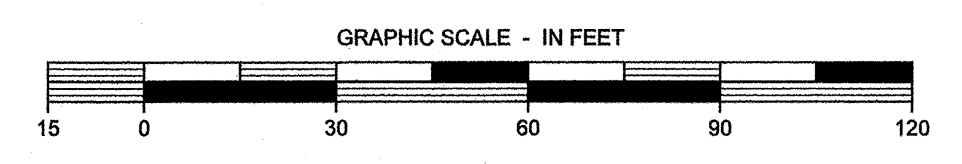
Travis Pruitt & Associates, Inc.
 LANDSCAPE ARCHITECTS

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

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GEORGIA811 1-800-282-7411
 Utilities Protection Center, Inc. Know what's below. Call before you dig.

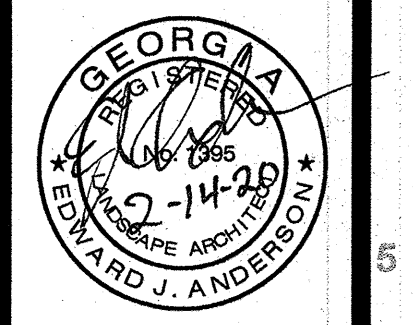
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EXISTING CONDITIONS AND DEMOLITION PLAN

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY, GEORGIA

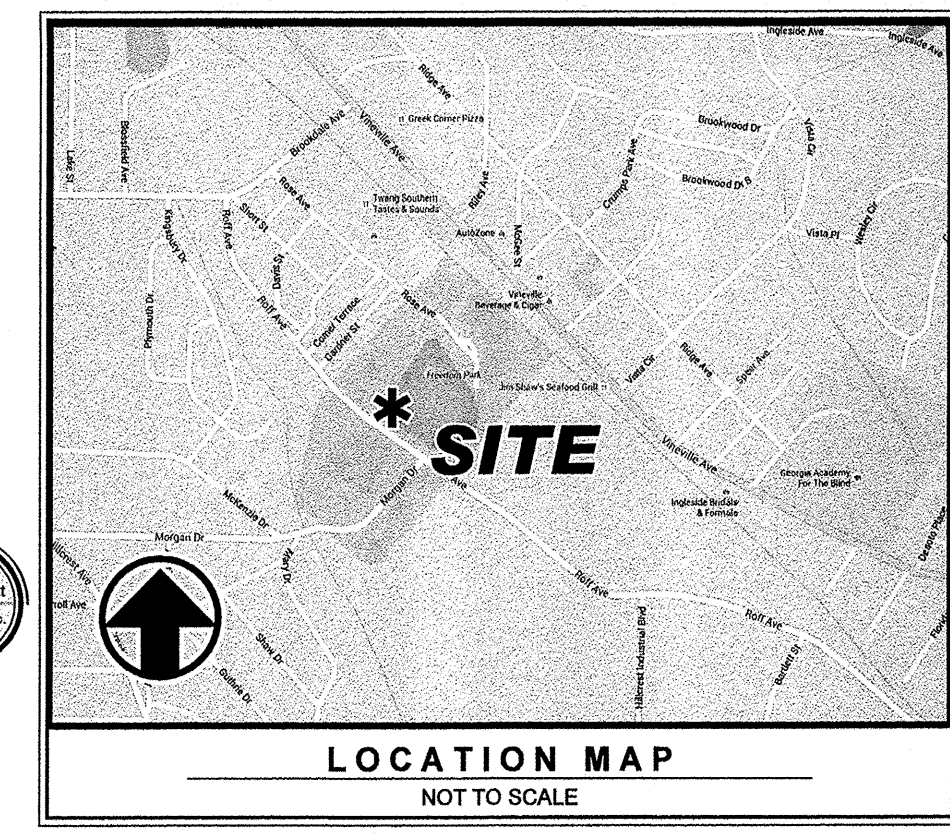
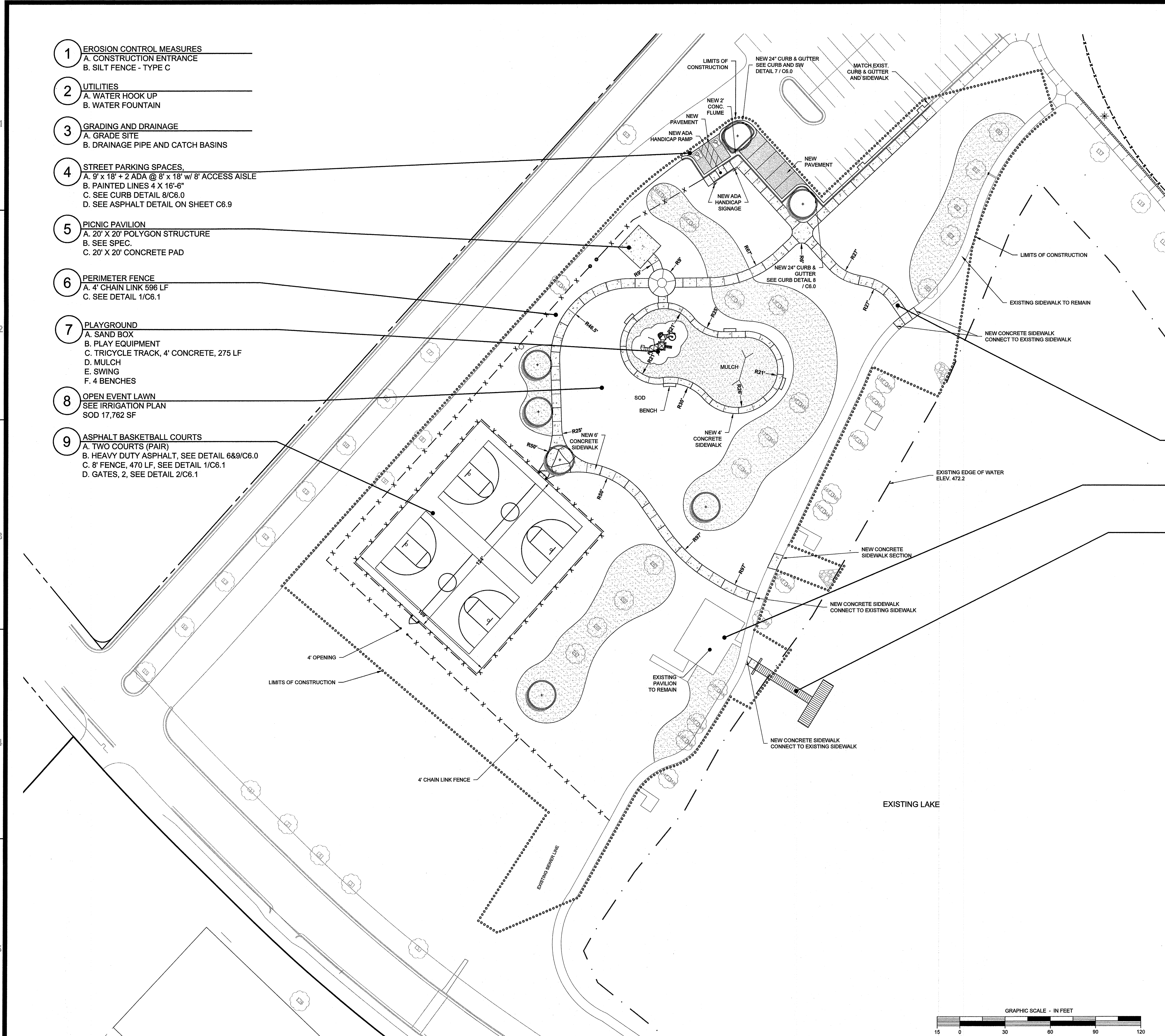


For The Firm
 Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
 SCALE: 1" = 30'
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
 SHEET NO: C1.0

- 1 EROSION CONTROL MEASURES
A. CONSTRUCTION ENTRANCE
B. SILT FENCE - TYPE C
- 2 UTILITIES
A. WATER HOOK UP
B. WATER FOUNTAIN
- 3 GRADING AND DRAINAGE
A. GRADE SITE
B. DRAINAGE PIPE AND CATCH BASINS
- 4 STREET PARKING SPACES.
A. 9' x 18' + 2 ADA @ 8' x 18' w/ 8' ACCESS AISLE
B. PAINTED LINES 4 X 16'-6"
C. SEE CURB DETAIL 8/C6.0
D. SEE ASPHALT DETAIL ON SHEET C6.9
- 5 PICNIC PAVILION
A. 20' X 20' POLYGON STRUCTURE
B. SEE SPEC.
C. 20' X 20' CONCRETE PAD
- 6 PERIMETER FENCE
A. 4' CHAIN LINK 596 LF
C. SEE DETAIL 1/C6.1
- 7 PLAYGROUND
A. SAND BOX
B. PLAY EQUIPMENT
C. TRICYCLE TRACK, 4' CONCRETE, 275 LF
D. MULCH
E. SWING
F. 4 BENCHES
- 8 OPEN EVENT LAWN
SEE IRRIGATION PLAN
SOD 17,762 SF
- 9 ASPHALT BASKETBALL COURTS
A. TWO COURTS (PAIR)
B. HEAVY DUTY ASPHALT, SEE DETAIL 6&9/C6.0
C. 8' FENCE, 470 LF, SEE DETAIL 1/C6.1
D. GATES, 2, SEE DETAIL 2/C6.1

- 10 6' CONCRETE SIDEWALK, 765 LF
A. SEE DETAIL 4/C6.0
- 11 EXISTING PAVILION
A. REFINISH WOOD
B. NEW ROOF/ REMOVE OLD SHINGLES
- 12 FISHING PIER
A. SEE DETAILS, SHEETS C6.2 & C6.3
- 13 SITE LIGHTING
A. SECURITY LIGHTING
B. SEE ELECTRICAL PLAN SHEET E1
- 14 REMOVE FLOATING DOCK



OWNER
MACON-BIBB COUNTY PARKS AND RECREATION DEPARTMENT
 150 WILLIE SMOKE GLOVER DRIVE
 MACON, GA 31201
 478-621-6280
 E-mail: rwalker@maconbibb.com

24 HOUR EMERGENCY CONTACT
 ROBERT WALKER
 478-621-6280
 E-mail: rwalker@maconbibb.com

SITE AREA: 39.3 ACRES
DISTURBED AREA: 2.7 ACRES
TAX PARCEL ID: N072-0095

PROJECT DESCRIPTION:
 Replacement of existing playgrounds, construction of new pavilion and fishing pier. Existing pavilion to have roof shingles replaced and all wood surfaces refinished. Area drains will also be added to address erosion issues.

NO.	DATE	DESCRIPTION

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511
 Fax: (770) 416-5789
 www.travisprutt.com
 CONTACT PERSON: TED ANDERSON
 e-mail: Tanderson@travisprutt.com

Travis Prutt & Associates, Inc.
 ASSOCIATES, INC.
 LANDSCAPE ARCHITECTS

SITE PLAN

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON - BIBB COUNTY GEORGIA

NOTE: ALL CURB RADII ARE 5 FT, UNLESS OTHERWISE NOTED.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.

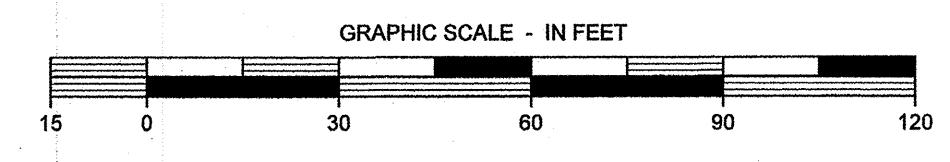
FLOOD HAZARD NOTE:
 THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY, GEORGIA COMMUNITY PANEL NUMBER 13021C0131F, DATED 04/02/2017.

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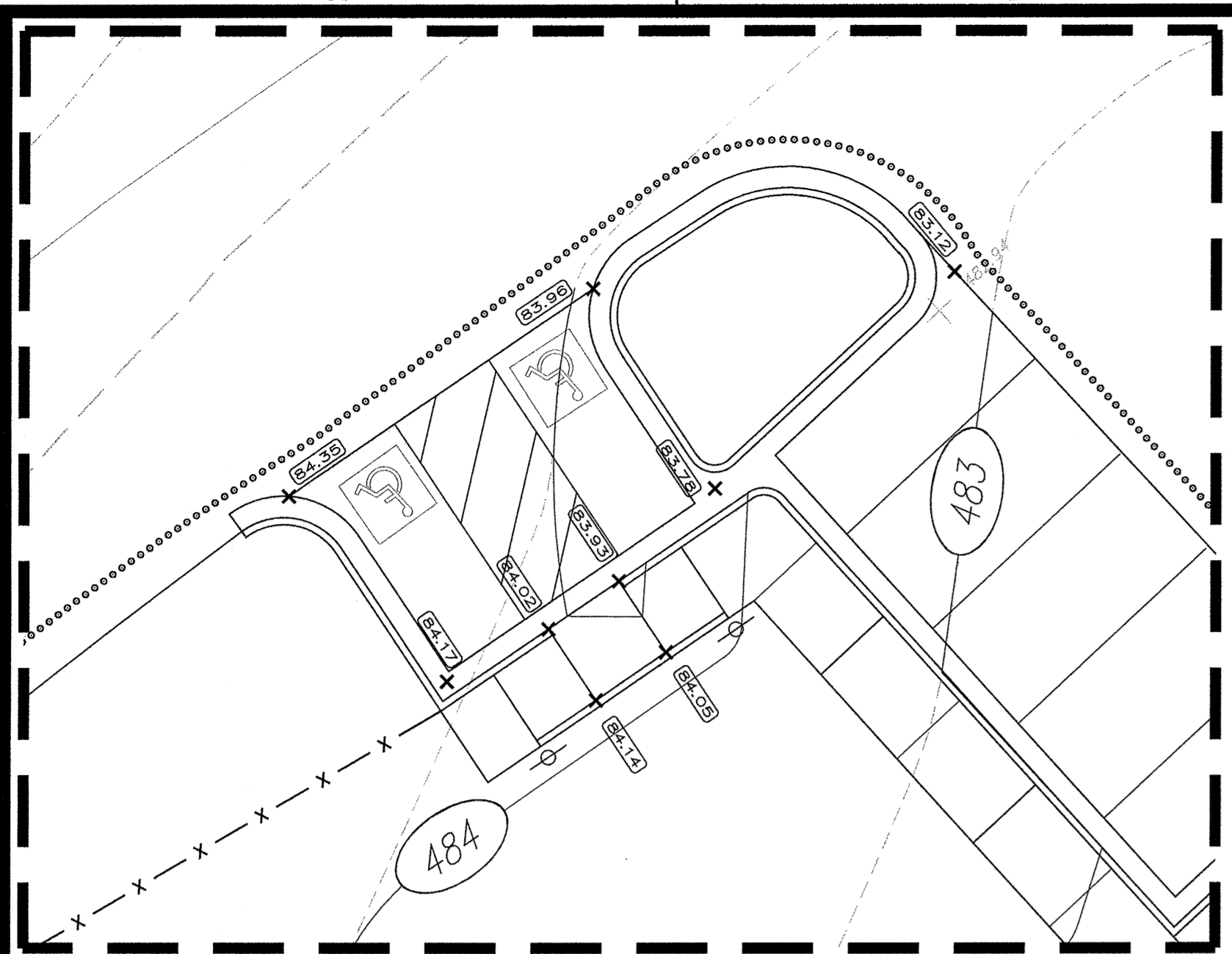
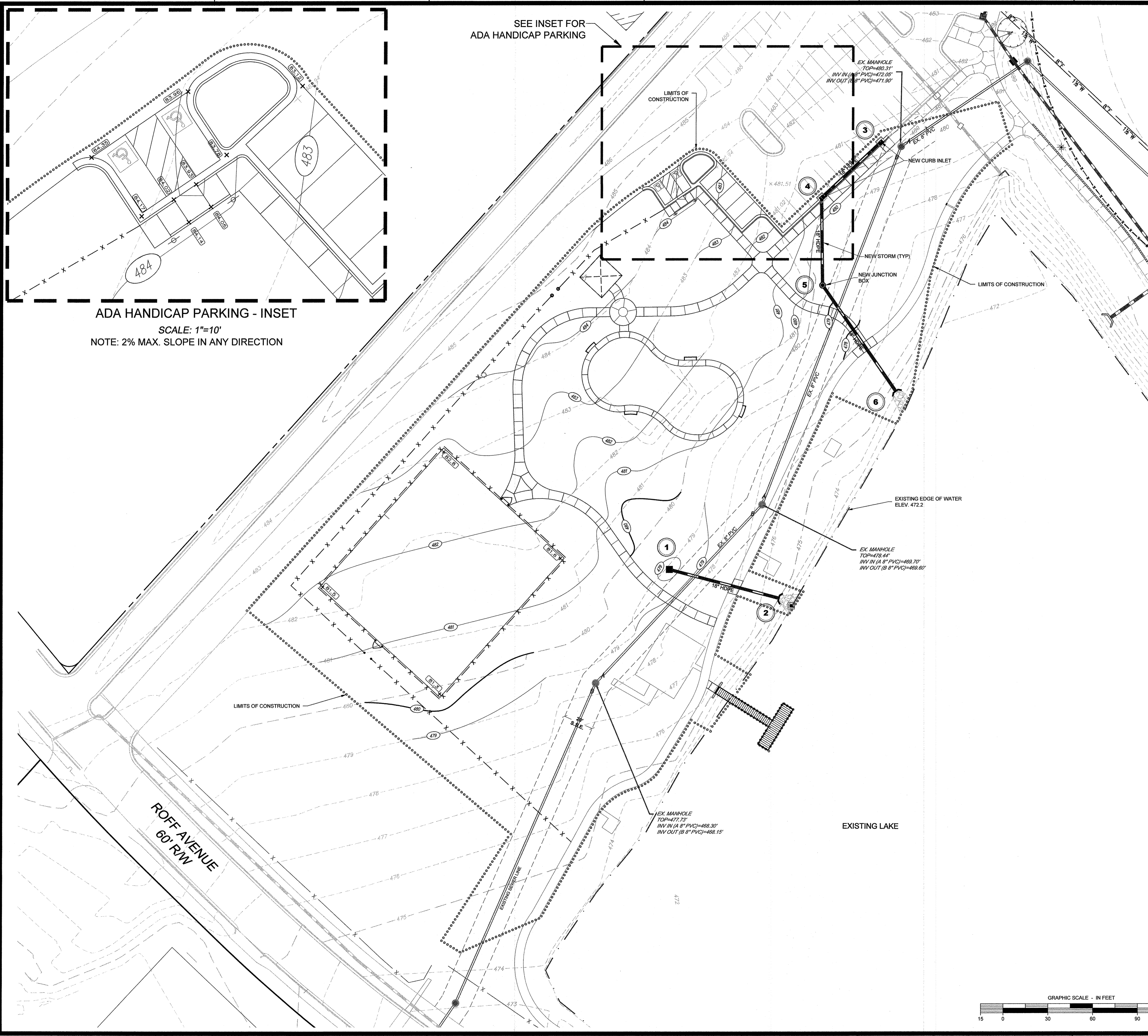
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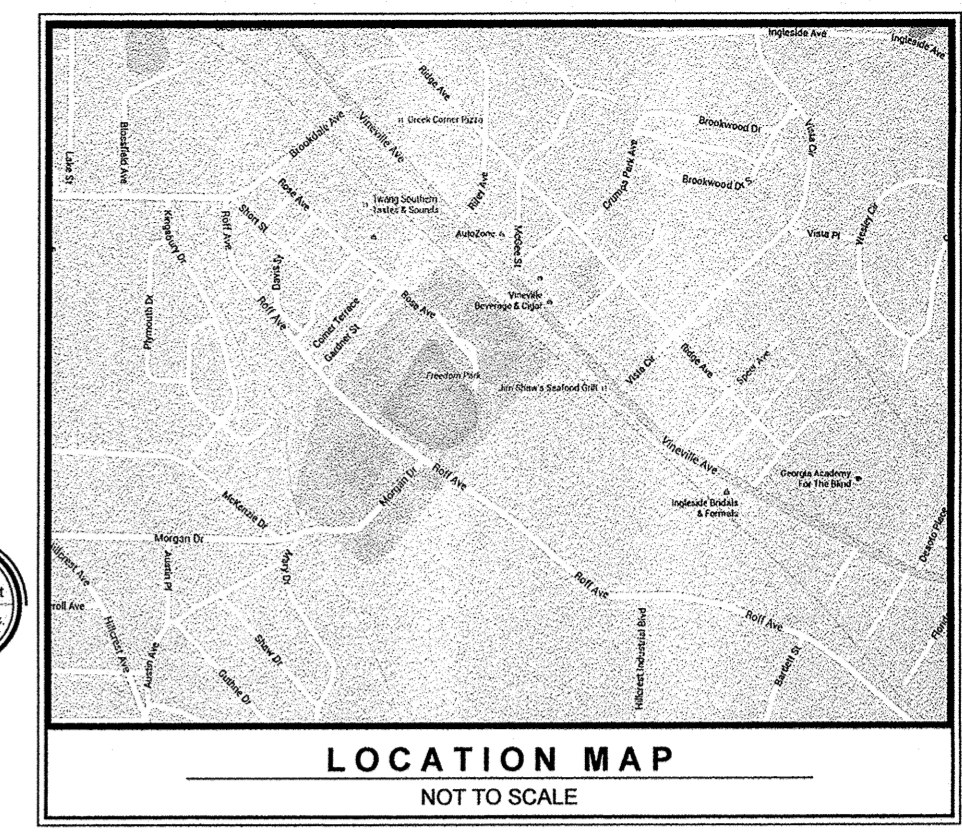
DATE: 01/26/2020
 SCALE: 1" = 30'
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
 SHEET NO: C2.0



SEE INSET FOR
ADA HANDICAP PARKING



ADA HANDICAP PARKING - INSET
SCALE: 1"=10'
NOTE: 2% MAX. SLOPE IN ANY DIRECTION



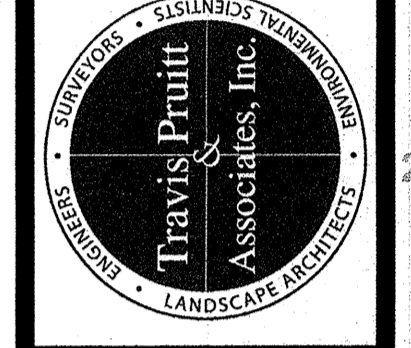
OWNER
**MACON-BIBB COUNTY PARKS
AND RECREATION
DEPARTMENT**
150 WILLIE SMOKE GLOVER DRIVE
MACON, GA 31201
478-621-6280
E-mail: rwalker@maconbibb.us

24 HOUR EMERGENCY CONTACT
ROBERT WALKER
478-621-6280
E-mail: rwalker@maconbibb.us

SITE AREA: 39.3 ACRES
DISTURBED AREA: 2.7 ACRES
TAX PARCEL ID: N072-0095

NO	DATE	DESCRIPTION
1	03/12/2020	ADDRESS COMMENTS
2		
3		
4		
5		
6		

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6759
www.travispruit.com
CONTACT PERSON: EDWARD J. ANDERSON
E-mail: anderson@travispruit.com



GRADING PLAN

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

NOTE: THERE ARE STATE WATERS WITHIN 200 FT OF THE SITE.

NOTE: THERE ARE WETLANDS ON THE SITE.

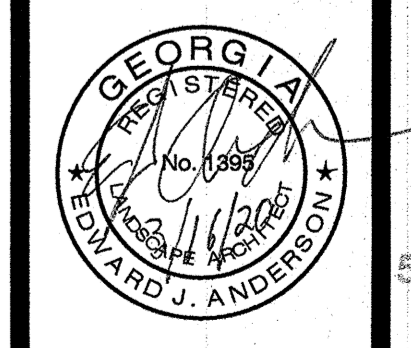
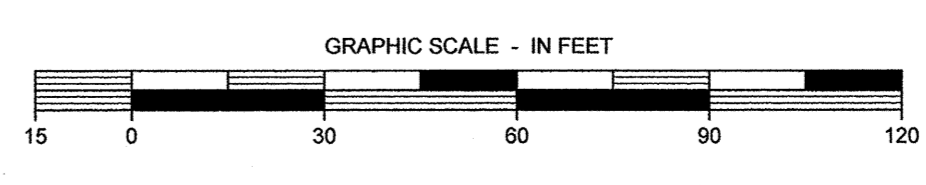
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FLOOD HAZARD NOTE:
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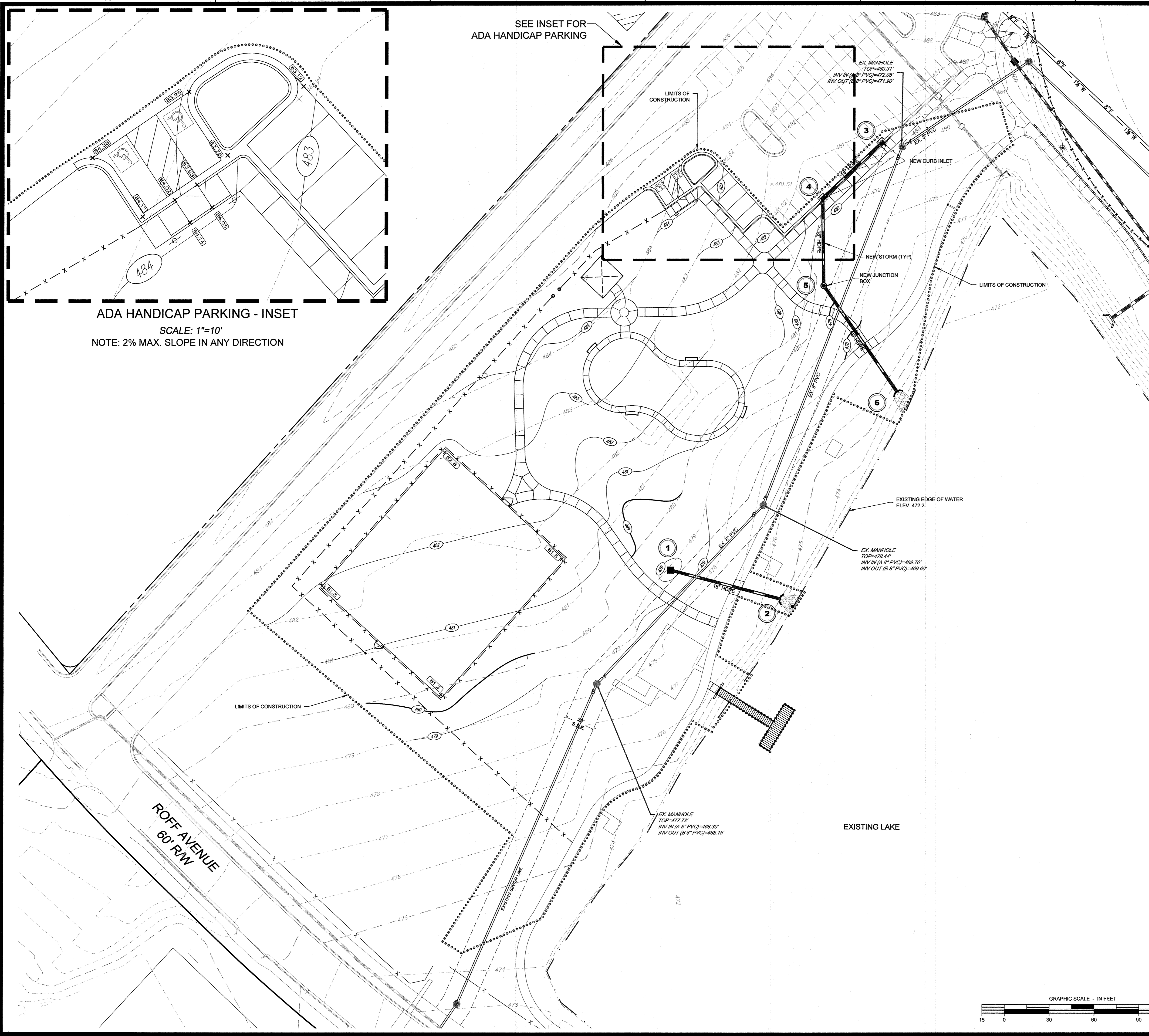


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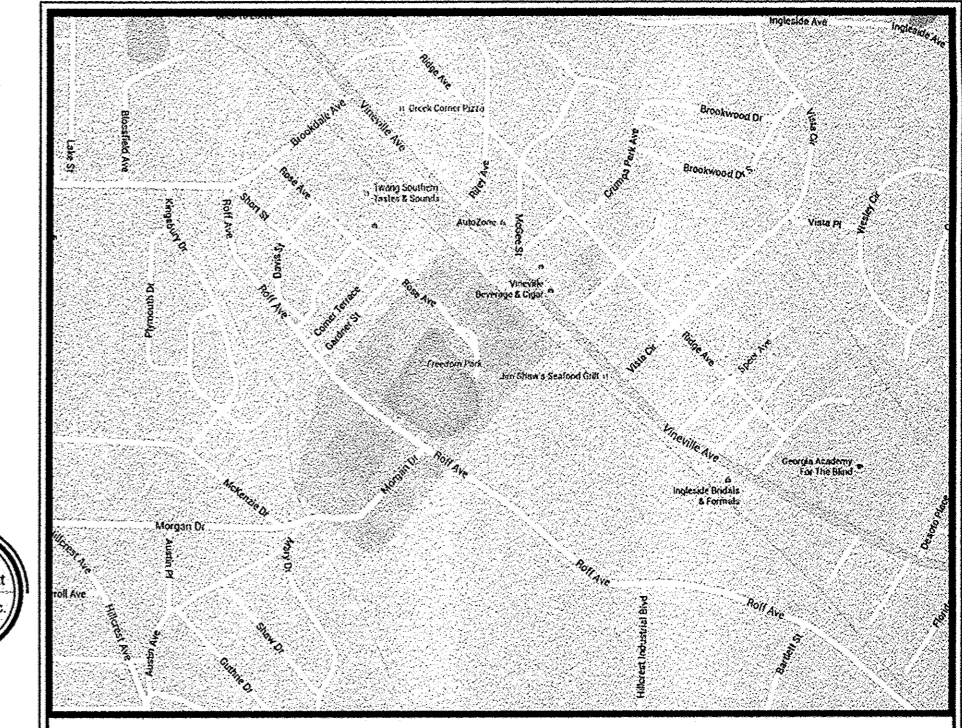


For The Firm
Travis Pruitt & Associates, Inc.
DATE: 02/14/2020
SCALE: 1" = 30'
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C3.0

SEE INSET FOR
ADA HANDICAP PARKING



ADA HANDICAP PARKING - INSET
SCALE: 1"=10'
NOTE: 2% MAX. SLOPE IN ANY DIRECTION



OWNER
**MACON-BIBB COUNTY PARKS
AND RECREATION
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150 WILLIE SMOKE GLOVER DRIVE
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E-mail: rwalker@maconbib.us

24 HOUR EMERGENCY CONTACT
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SITE AREA: 39.3 ACRES
DISTURBED AREA: 2.7 ACRES
TAX PARCEL ID: N072-0095

NO	DATE	DESCRIPTION	BY
1	03/12/2020	ADDRESS COMMENTS	DW
2			
3			
4			
5			
6			

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6769
www.travispruit.com
CONTACT PERSON: EDWARD J. ANDERSON
E-mail: anderson@travispruit.com

LANDSCAPE ARCHITECTS

GRADING PLAN

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

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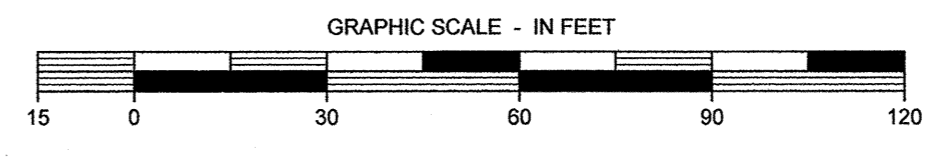
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Utilities Protection Center, Inc. 1-800-282-7411
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For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
SCALE: 1" = 30'
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C3.0

EROSION CONTROL NOTES:

1. Non-exempt activities shall not be conducted within the 25 or 50-foot Undisturbed Stream Buffers as measured from the point of wasted vegetation or within 25-feet of the Coastal Marshland Buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits.
2. Waste Materials shall not be discharged to Waters of The State, except as authorized by a Section 404 Permit.
3. SILT FENCE STORAGE CAPACITY (20% OF HEIGHT)
STORAGE = 613 # x 2.6 CF / LF = 1577 CF (68.4 CY)

EROSION CONTROL LEGEND		
STRUCTURAL PRACTICES		
GASWCC CODE	SYMBOL	DESCRIPTION
Co-S	[Symbol]	STONE CHECK DAM
Co	[Symbol]	CONSTRUCTION EXIT
Co-Hb	[Symbol]	HAYBALE CHECK DAM
Do-A	[Symbol]	STREAM DIVERSION CHANNEL
Di	[Symbol]	DIVERSION
Dw1	[Symbol]	TEMPORARY DOWNDRAIN STRUCTURE
Fr	[Symbol]	FILTER RING
Lv	[Symbol]	LEVEL SPREADER
Rd	[Symbol]	ROCK FILTER DAM
Rt-P	[Symbol]	N/A RETROFITTING (PERFORATED HALF-ROUND PIPE WITH STONE FILTER)
Sd1-S	[Symbol]	SILT FENCE - SENSITIVE AREAS
Sd2-Bu	[Symbol]	BLOCK AND GRAVEL DROP INLET PROTECTION
Sd2-F	[Symbol]	INLET SEDIMENT TRAP WITH SUPPORTING FRAME
Sd2-P	[Symbol]	CURB INLET PROTECTION
Sd3	[Symbol]	N/A TEMPORARY SEDIMENT BASIN
Sk	[Symbol]	FILTER SURFACE SKIMMER
Sr-C	[Symbol]	TEMPORARY CULVERT CROSSING
St	[Symbol]	STORM DRAIN OUTLET PROTECTION
Su	[Symbol]	N/A SURFACE ROUGHENING
Tp	[Symbol]	N/A TOPSOILING
N/A	[Symbol]	TREE SAVE FENCE
N/A	[Symbol]	LIMITS OF CLEARING / CONSTRUCTION
N/A	[Symbol]	STREAM BUFFER
N/A	[Symbol]	STREAM CENTERLINE
N/A	[Symbol]	100 YEAR PONDING LIMITS

EROSION CONTROL LEGEND		
VEGETATIVE MEASURES		
GASWCC CODE	SYMBOL	DESCRIPTION
Ds1	[Symbol]	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Ds2	[Symbol]	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Ds3	[Symbol]	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	[Symbol]	DISTURBED AREA STABILIZATION (WITH SODDING)
Ss	[Symbol]	SLOPE STABILIZATION
Du	[Symbol]	N/A DUST CONTROL ON DISTURBED AREAS

6 DISTURBED AREA: 2.7 ACRES

IMPERVIOUS AREA - PRE DEVELOPMENT

SITE AREA: ± 22.1 ACRES
 IMPERVIOUS AREA: ± 3.9 ACRES
 PERCENT IMPERVIOUS: 18%

IMPERVIOUS AREA - POST DEVELOPMENT

SITE AREA: ± 22.1 ACRES
 IMPERVIOUS AREA: ± 4.1 ACRES
 PERCENT IMPERVIOUS: 19%

NOTE: ALL REQUIRED BUFFERS WILL BE CLEARLY DELINEATED AND FLAGGED BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.

NOTE: SEE ADDITIONAL NOTES SHEET FOR GENERAL NOTES.

NOTE: THIS SHEET FOR EROSION CONTROL PURPOSES ONLY

NOTE: CONSTRUCTION ENTRANCE IS LOCATED AT THE FOLLOWING LOCATION: LAT: 32°51'01"N, LONGS: 83°40'43"W

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

NOTE: ALL WETLANDS OR STATE WATERS ON OR WITHIN 200 FEET OF THIS PROJECT HAVE BEEN DELINEATED.

NOTE: ALL CURB RADII ARE 5 FT., UNLESS OTHERWISE NOTED.

NOTE: THE RECEIVING WATERS CONSIST OF THE Unnamed Tributary to Rocky Creek, LOCATED OFF SITE, APPROXIMATELY 1,000 FT SOUTHWEST OF THE SITE.

NOTE: THERE ARE STATE WATERS WITHIN 200 FT OF THE SITE.

NOTE: THERE ARE WETLANDS ON THE SITE.

FLOOD HAZARD NOTE:

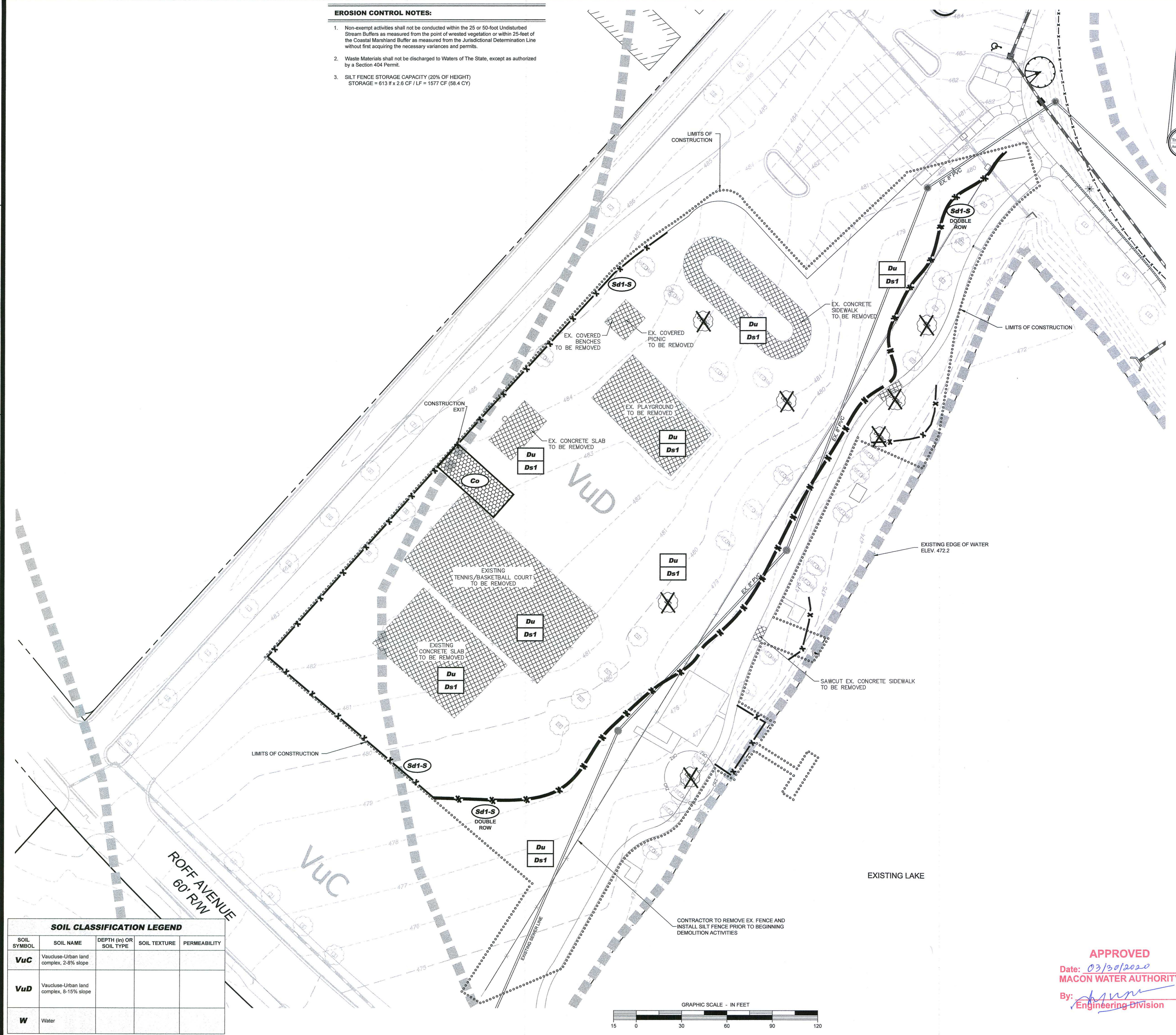
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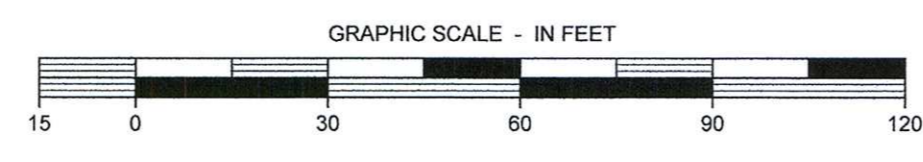
APPROVED
 Date: 03/30/2020
MACON WATER AUTHORITY
 By: *[Signature]*
 Engineering Division

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SOIL CLASSIFICATION LEGEND				
SOIL SYMBOL	SOIL NAME	DEPTH (in) OR SOIL TYPE	SOIL TEXTURE	PERMEABILITY
VuC	Vaucluse-Urban land complex, 2-8% slope			
VuD	Vaucluse-Urban land complex, 8-15% slope			
W	Water			



EROSION CONTROL PLAN - INITIAL PHASE

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511
 Fax: (770) 416-0759
 www.travispruitt.com
 CONTACT PERSON: EDWARD J. ANDERSON
 e-mail: anderson@travispruitt.com

REVISONS

NO	DATE	DESCRIPTION
1	03/12/2020	
2		
3		
4		
5		
6		
7		
8		

DATE: 02/14/2020
 SCALE: 1" = 30'
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
SHEET NO: C4.0

EROSION CONTROL NOTES:

1. Non-exempt activities shall not be conducted within the 25 or 50-foot Undisturbed Stream Buffers as measured from the point of wooded vegetation or within 25-feet of the Coastal Marshland Buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits.
2. Waste Materials shall not be discharged to Waters of The State, except as authorized by a Section 404 Permit.
3. SILT FENCE STORAGE CAPACITY (20% OF HEIGHT)
STORAGE = 613 ft x 2.6 CF / LF = 1577 CF (58.4 CY)

EROSION CONTROL LEGEND		
STRUCTURAL PRACTICES		
GASWCC CODE	SYMBOL	DESCRIPTION
Cd-S	[Symbol]	STONE CHECK DAM
Co	[Symbol]	CONSTRUCTION EXIT
Cd-Hb	[Symbol]	HAYBALE CHECK DAM
Dc-A	[Symbol]	STREAM DIVERSION CHANNEL
DI	[Symbol]	DIVERSION
Dw1	[Symbol]	TEMPORARY DOWNDRAIN STRUCTURE
Fr	[Symbol]	FILTER RING
Lv	[Symbol]	LEVEL SPREADER
Rd	[Symbol]	ROCK FILTER DAM
Rt-P	[Symbol]	RETROFITTING (PERFORATED HALF-ROUND PIPE WITH STONE FILTER)
Sd1-S	[Symbol]	SILT FENCE - SENSITIVE AREAS
Sd2-Bg	[Symbol]	BLOCK AND GRAVEL DROP INLET PROTECTION
Sd2-F	[Symbol]	INLET SEDIMENT TRAP WITH SUPPORTING FRAME
Sd2-P	[Symbol]	CURB INLET PROTECTION
Sd3	[Symbol]	TEMPORARY SEDIMENT BASIN
Sk	[Symbol]	FILTER SURFACE SKIMMER
Sr-C	[Symbol]	TEMPORARY CULVERT CROSSING
St	[Symbol]	STORM DRAIN OUTLET PROTECTION
Su	[Symbol]	SURFACE ROUGHENING
Tp	[Symbol]	TOPSOILING
N/A	[Symbol]	TREE SAVE FENCE
N/A	[Symbol]	LIMITS OF CLEARING / CONSTRUCTION
N/A	[Symbol]	STREAM BUFFER
N/A	[Symbol]	STREAM CENTERLINE
N/A	[Symbol]	100 YEAR PONDING LIMITS

EROSION CONTROL LEGEND		
VEGETATIVE MEASURES		
GASWCC CODE	SYMBOL	DESCRIPTION
Da1	[Symbol]	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Da2	[Symbol]	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Da3	[Symbol]	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Da4	[Symbol]	DISTURBED AREA STABILIZATION (WITH SODDING)
Ss	[Symbol]	SLOPE STABILIZATION
Du	[Symbol]	DUST CONTROL ON DISTURBED AREAS

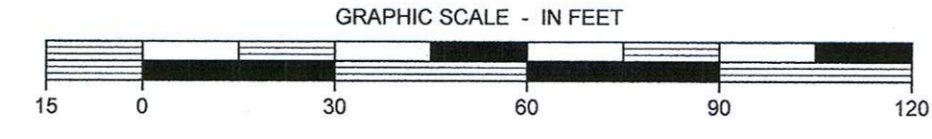
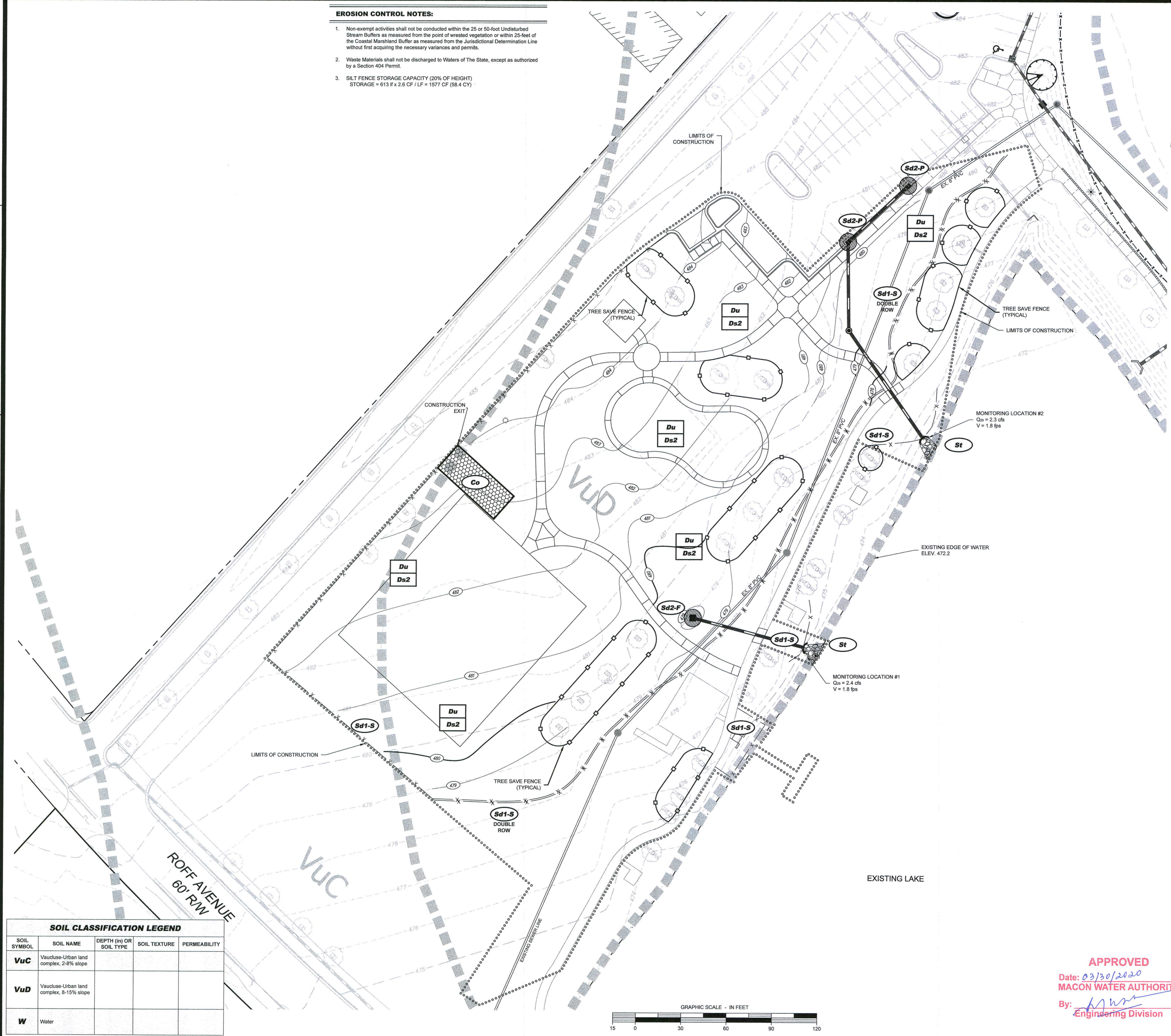
- NOTE: ALL REQUIRED BUFFERS WILL BE CLEARLY DELINEATED AND FLAGGED BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
- NOTE: SEE ADDITIONAL NOTES SHEET FOR GENERAL NOTES.
- NOTE: THIS SHEET FOR EROSION CONTROL PURPOSES ONLY.
- NOTE: CONSTRUCTION ENTRANCE IS LOCATED AT THE FOLLOWING LOCATION: LAT: 32°51'01"N; LONG: 83°40'43"W
- NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.
- NOTE: ALL WETLANDS OR STATE WATERS ON OR WITHIN 200 FEET OF THIS PROJECT HAVE BEEN DELINEATED.
- NOTE: THE RECEIVING WATERS CONSIST OF THE Unnamed Tributary to Rocky Creek, LOCATED OFF SITE, APPROXIMATELY 1,000 FT. SOUTHWEST OF THE SITE.
- NOTE: THERE ARE STATE WATERS WITHIN 200 FT OF THE SITE.
- NOTE: THERE ARE WETLANDS ON THE SITE.
- FLOOD HAZARD NOTE:
THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY COUNTY, GEORGIA COMMUNITY PANEL NUMBER 13021G0131F, DATED 04/02/2017.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

GEORGIA811 1-800-282-7411
Know what's below. Call before you dig.
Utilities Protection Center, Inc.

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SOIL CLASSIFICATION LEGEND				
SOIL SYMBOL	SOIL NAME	DEPTH (in) OR SOIL TYPE	SOIL TEXTURE	PERMEABILITY
VuC	Vaocluse-Urban land complex, 2-8% slope			
VuD	Vaocluse-Urban land complex, 8-15% slope			
W	Water			



APPROVED
Date: 02/14/2020
MACON WATER AUTHORITY
By: [Signature]
Engineering Division

EROSION CONTROL PLAN - INTERMEDIATE PHASE

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

DATE: 02/14/2020
SCALE: 1" = 30'
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C4.1

Travis Pruitt & Associates, Inc.
4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6759
www.travispruitt.com
CONTACT PERSON: EDWARD J. ANDERSON
e-mail: landesign@travispruitt.com

- EROSION CONTROL NOTES:**
1. Non-exempt activities shall not be conducted within the 25 or 60-foot Undisturbed Stream Buffers as measured from the point of wrested vegetation or within 25-feet of the Coastal Marshland Buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits.
 2. Waste Materials shall not be discharged to Waters of The State, except as authorized by a Section 404 Permit.

EROSION CONTROL LEGEND	
STRUCTURAL PRACTICES	
GASWCC CODE	SYMBOL DESCRIPTION
Ca-S	STONE CHECK DAM
Co	CONSTRUCTION EXIT
Ca-Hb	HAYBALE CHECK DAM
Dc-A	STREAM DIVERSION CHANNEL
Di	DIVERSION
Dn1	TEMPORARY DOWNDRAIN STRUCTURE
Fr	FILTER RING
Lv	LEVEL SPREADER
Rd	ROCK FILTER DAM
Rt-P	N/A RETROFITTING (PERFORATED HALF-ROUND PIPE WITH STONE FILTER)
Sd1-S	SILT FENCE - SENSITIVE AREAS
Sd2-Bp	BLOCK AND GRAVEL DROP INLET PROTECTION
Sd2-F	INLET SEDIMENT TRAP WITH SUPPORTING FRAME
Sd2-P	CURB INLET PROTECTION
Sd3	N/A TEMPORARY SEDIMENT BASIN
Sk	FILTER SURFACE SKIMMER
Sr-C	TEMPORARY CULVERT CROSSING
St	STORM DRAIN OUTLET PROTECTION
Su	N/A SURFACE ROUGHENING
Tp	N/A TOPSOILING
N/A	--- TREE SAVE FENCE
N/A	***** LIMITS OF CLEARING / CONSTRUCTION
N/A	--- STREAM BUFFER
N/A	--- STREAM CENTERLINE
N/A	--- 100 YEAR PONDING LIMITS

EROSION CONTROL LEGEND	
VEGETATIVE MEASURES	
GASWCC CODE	SYMBOL DESCRIPTION
Ds1	N/A DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Ds2	N/A DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Ds3	N/A DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	N/A DISTURBED AREA STABILIZATION (WITH SODDING)
Ss	N/A SLOPE STABILIZATION
Du	N/A DUST CONTROL ON DISTURBED AREAS

NOTE: ALL REQUIRED BUFFERS WILL BE CLEARLY DELINEATED AND FLAGGED BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.

NOTE: SEE ADDITIONAL NOTES SHEET FOR GENERAL NOTES.

NOTE: THIS SHEET FOR EROSION CONTROL PURPOSES ONLY

NOTE: CONSTRUCTION ENTRANCE IS LOCATED AT THE FOLLOWING LOCATION: LAT: 32°51'01"N; LONG: 83°40'43"W

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

NOTE: ALL WETLANDS OR STATE WATERS ON OR WITHIN 200 FEET OF THIS PROJECT HAVE BEEN DELINEATED.

NOTE: THE RECEIVING WATERS CONSIST OF THE Unnamed Tributary to Rocky Creek, LOCATED OFF SITE, APPROXIMATELY 1,000 FT. SOUTHWEST OF THE SITE.

NOTE: THERE ARE STATE WATERS WITHIN 200 FT. OF THE SITE.

NOTE: THERE ARE WETLANDS ON THE SITE.

FLOOD HAZARD NOTE:

THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY, GEORGIA COMMUNITY PANEL NUMBER 1302100131F, DATED 04/02/2017.

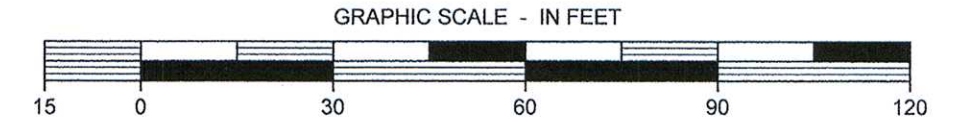
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APPROVED
 Date: 03/30/2020
MACON WATER AUTHORITY
 By: *[Signature]*
 Engineering Division



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SOIL CLASSIFICATION LEGEND				
SOIL SYMBOL	SOIL NAME	DEPTH (in) OR SOIL TYPE	SOIL TEXTURE	PERMEABILITY
VuC	Vaughan-Urban land complex, 2-8% slope			
VuD	Vaughan-Urban land complex, 8-15% slope			
W	Water			



EROSION CONTROL PLAN - FINAL PHASE

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

4317 Park Drive, Suite 400
 Macon, Georgia 30093
 Phone: (770) 416-7511
 Fax: (770) 416-8799
 www.travispruit.com
 CONTACT PERSON: EDWARD J. ANDERSON
 e-mail: tanderson@travispruit.com

Travis Pruitt Associates, Inc.
 ENGINEERS • LANDSCAPE ARCHITECTS

NO.	DATE	DESCRIPTION
1	02/14/2020	ISSUED FOR PERMIT
2		
3		
4		
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DATE: 02/14/2020
 SCALE: 1" = 30'
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
 SHEET NO: C4.2

**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE CONSTRUCTION PROJECTS**

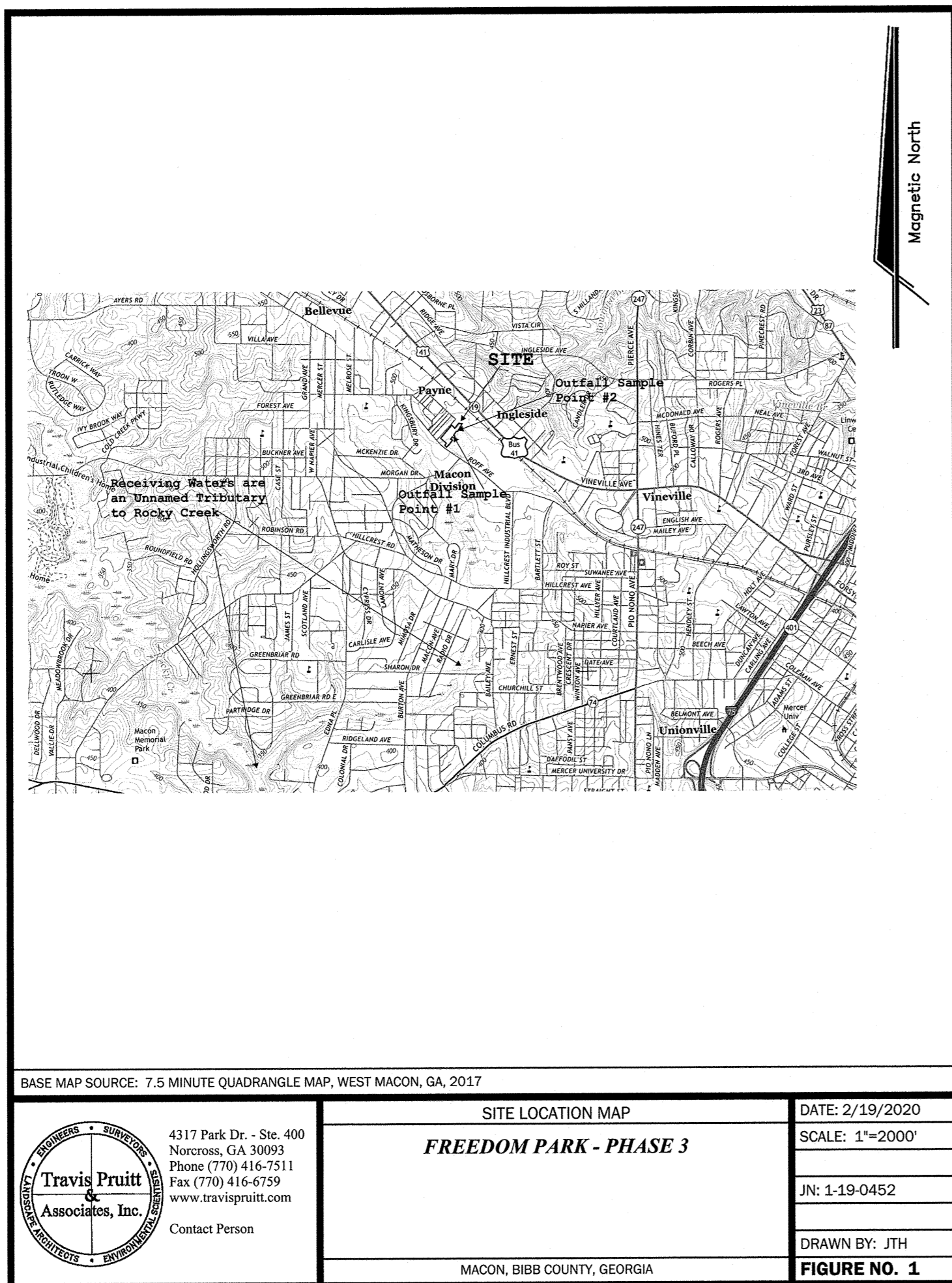
SWCD: _____ Ocmulgee River - Region V
 Project Name: _____ Freedom Park Phase 3 Address: _____ 3301 Roff Avenue
 City/County: _____ Macon/Bibb County Date on Plans: _____ 2/14/2020
 Name & email of person filling out checklist: _____ John Hollenbeck- jhollenbeck@travispruitt.com

TO BE SHOWN ON ES&PC PLAN

- 1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
 (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed.)
- 2 Level II certification number issued by the Commission, signature and seal of the certified design professional.
 (Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed.)
- 3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist. *
 (A copy of the written approval by EPD must be attached to the plan for the Plan to be reviewed.)
- 4 The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.
- 5 Provide the name, address, email address, and phone number of primary permittee.
- 6 Note total and disturbed acreage of the project or phase under construction.
- 7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
- 8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
- 9 Description of the nature of construction activity.
- 10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
- 11 Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.
- 12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.
- 13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit. *
- 14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
 in accordance with Part IV.A.5 page 25 of the permit. *
- 15 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wretched vegetation or within 25-foot of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
- 16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
- 17 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." *

- 18 Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." *
- 19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
- 20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
- 21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
- 22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biot Impaired Stream Segment must comply with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. *
- 23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. *
- 24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. *
- 25 Provide BMPs for the remediation of all petroleum spills and leaks.
- 26 Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. *
- 27 Description of practices to provide cover for building materials and building products on site. *
- 28 Description of the practices that will be used to reduce the pollutants in storm water discharges. *
- 29 Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).
- 30 Provide complete requirements of inspections and record keeping by the primary permittee. *
- 31 Provide complete requirements of sampling frequency and reporting of sampling results. *
- 32 Provide complete details for retention of records as per Part IV.F. of the permit. *
- 33 Description of analytical methods to be used to collect and analyze the samples from each location. *
- 34 Appendix B rationale for NTU values at all outfall sampling points where applicable. *
- 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. *
- 36 A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. *

- 37 Graphic scale and North arrow.
- | Map Scale | Ground Slope | Contour Intervals, ft. |
|--------------------------------|---|---------------------------------|
| 1 inch = 100ft or larger scale | Flat 0 - 2%
Rolling 2 - 8%
Steep 8% + | 0.5 or 1
1 or 2
2.5 or 10 |
- 38 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:
- 39 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gaswcc.org.
- 40 Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition. *
- 41 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.
- 42 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.
- 43 Delineation and acreage of contributing drainage basins on the project site.
- 44 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. *
- 45 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.
- 46 Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.
- 47 Soil series for the project site and their delineation.
- 48 The limits of disturbance for each phase of construction.
- 49 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not attainable. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.
- 50 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.
- 51 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
- 52 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.
- * If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream, the * checklist items would be N/A.



ESPC NOTES

FREEDOM PARK PHASE 3

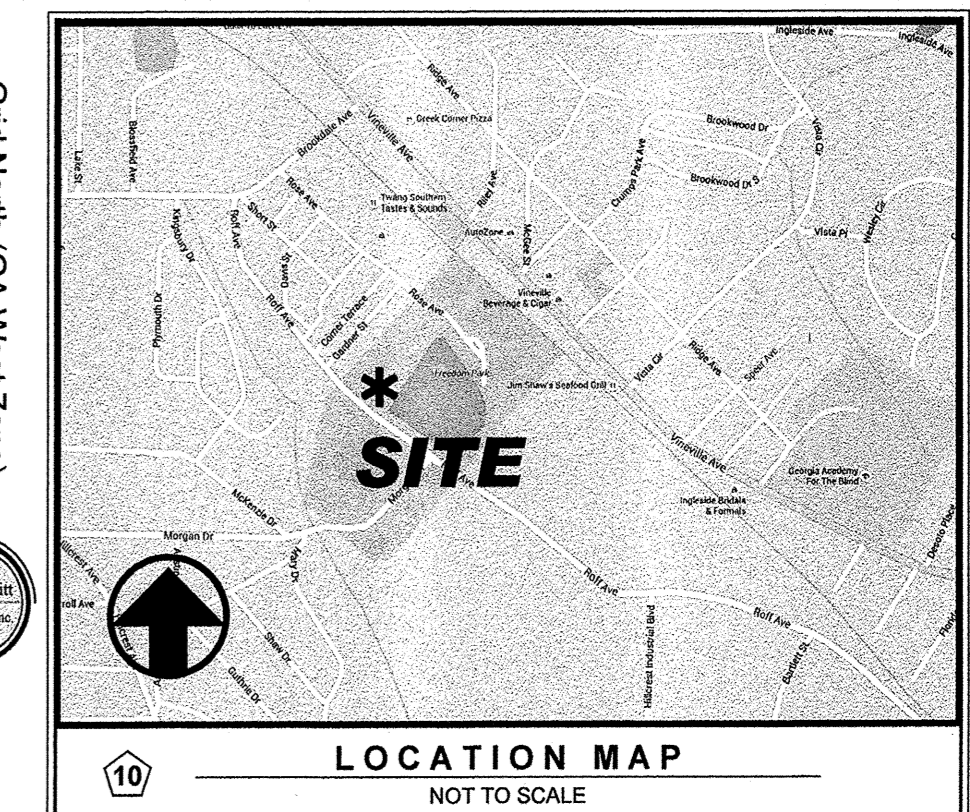
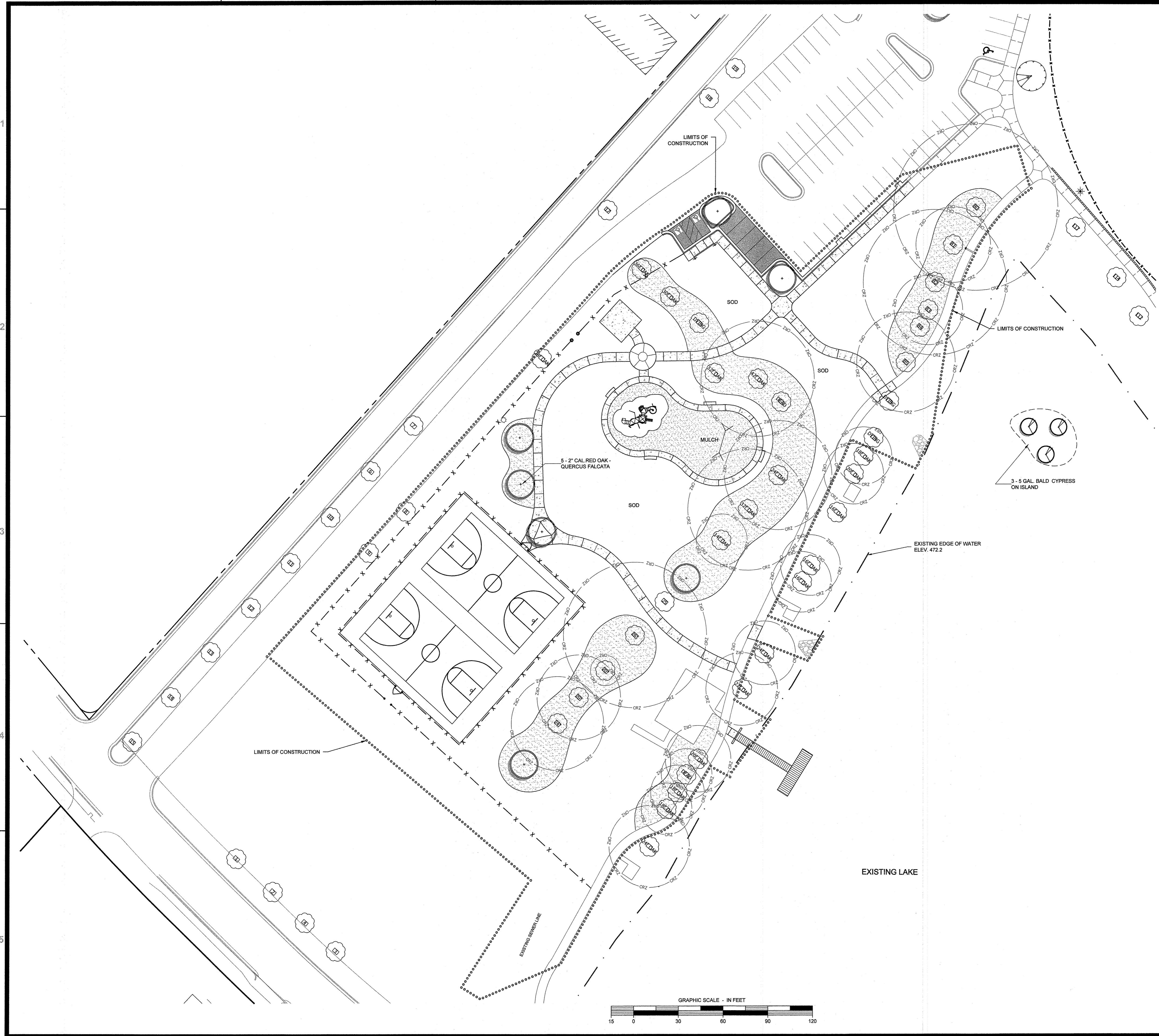
3301 ROFF AVENUE, MACON, GA 31204 - LAND LOTS 2 AND 3 - 11TH DISTRICT - CITY OF MACON - BIBB COUNTY GEORGIA

GSAWCC 0000010452

For The Firm
 Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
 SCALE: N/A
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
SHEET NO: C4.6

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OWNER
MACON-BIBB COUNTY PARKS AND RECREATION DEPARTMENT
 150 WILLIE SMOKE GLOVER DRIVE
 MACON, GA 31201
 478-621-6280

24 HOUR EMERGENCY CONTACT
 ROBERT WALKER
 478-621-6280
 E-mail: rwalker@maconbibb.us

- PLANTING NOTES:**
- Size and grading standards of plant material shall conform to the latest edition of American Standard for Nursery Stock by the American Association of Nurserymen.
 - The landscape contractor must contact the engineer if, they encounter on site, existing conditions significantly different from the plan.
 - See Construction Detail sheets for planting details.
 - For new planting areas, contractor shall remove all pavement, gravel sub-base and construction debris. Remove compacted soil, and add 24" of topsoil, or amend the top 24" of existing soil to meet specifications, unless noted otherwise.
 - The planting soil for shrubs will consist of 33% ground pine bark humus, well-mixed with 67% of improved soil, which is, excavated soil with rocks, clumps, and debris greater than 2" in diameter removed. No additional soil amendments are required for trees. Groundcover and perennial beds shall be prepared and amended according to specifications.
 - All strapping and top 12" of wire baskets shall be cut away and removed by the contractor from the root ball prior to backfill of planting hole. contractor shall remove top 1/3 of burlap from the root ball.
 - Contractor shall mulch all shrub beds and under trees with 3" (settled depth) of clean pine straw, unless noted otherwise.
 - Minimum (9) sq. ft. planting area provided for each tree.
 - All disturbed areas to be sodded with (bermuda) unless otherwise noted. All areas designated for sod must be fine graded. Level any undulations or irregularities, while maintaining positive drainage. Handrake and smooth, removing all rocks larger than 1" from the surface. Use metal screen or wooden drag on larger surfaces. Contact the landscape architect for an inspection of the fine graded surface, prior to any sod installation.
 - All slopes exceeding 3:1 will be planted with groundcovers or shrubs.

- IRRIGATION NOTES:**
- The contractor is to provide an irrigation system. The system shall be designed to provide full and complete coverage to all landscaped areas of the site indicated on the landscape plan.
 - All materials used in the design, including sprinkler heads, valves, valve boxes, controllers, pumps, backflow preventors, rain and freeze sensors, drip equipment, wire, electrical connections, and PVC pipe and fittings, shall meet minimum industry standards. manufacturer and model must be specified.

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

FLOOD HAZARD NOTE:
 THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY GEORGIA COMMUNITY PANEL NUMBER 13021C0131F, DATED 04/02/2017.

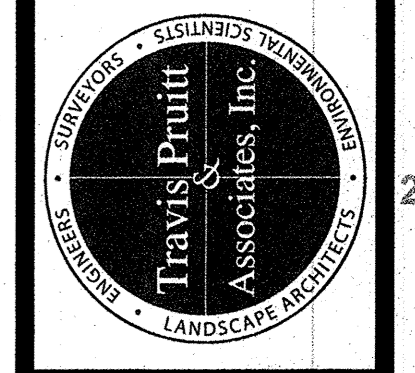
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NO	DATE	DESCRIPTION
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 4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511
 Fax: (770) 416-6759
 www.travispruit.com
 CONTACT PERSON: TED ANDERSON
 E-mail: Tanderson@travispruit.com

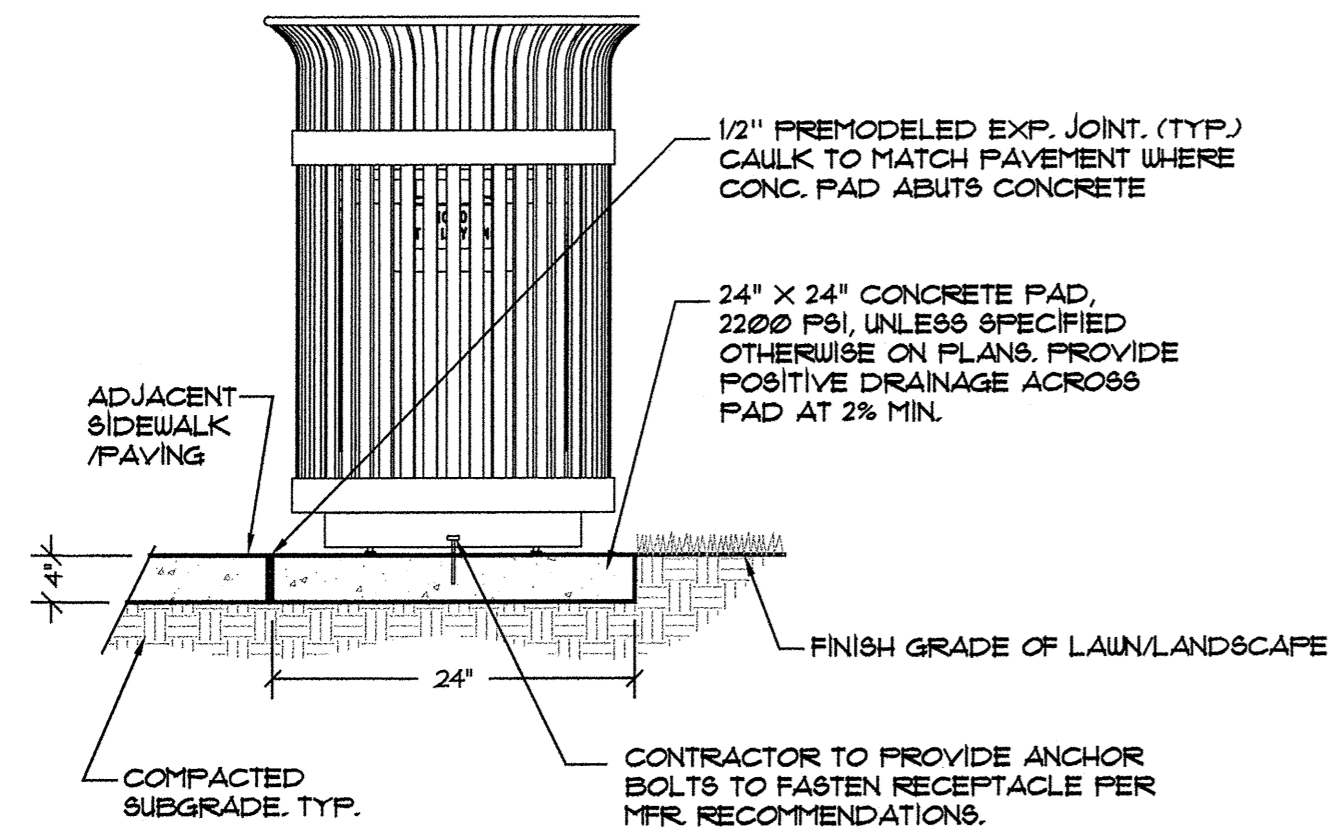


LANDSCAPE PLAN
FREEDOM PARK PHASE 3
 3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT - CITY OF MACON - BIBB COUNTY GEORGIA

DATE: 02/14/2020
SCALE: 1" = 30'
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: L1.0

VICTOR STANLEY, INC. IRONSITES SERIES, MODEL: 8-42, 32 GALLON LITTER RECEPTACLE, STANDARD FORMED LID, MOUNT W/3" IN-LINE ANCHOR HOLES & STANDARD TAPERED LID, COLOR: BLACK

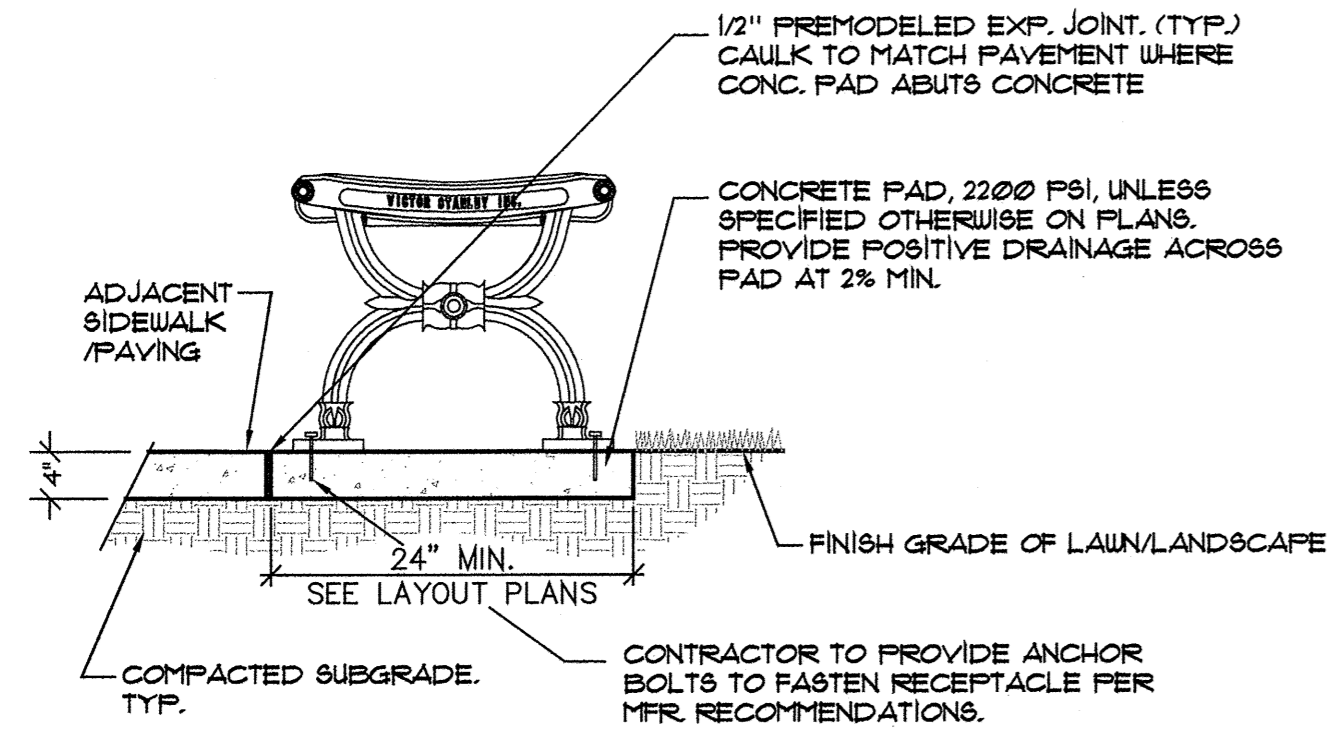
(800) 368-2573



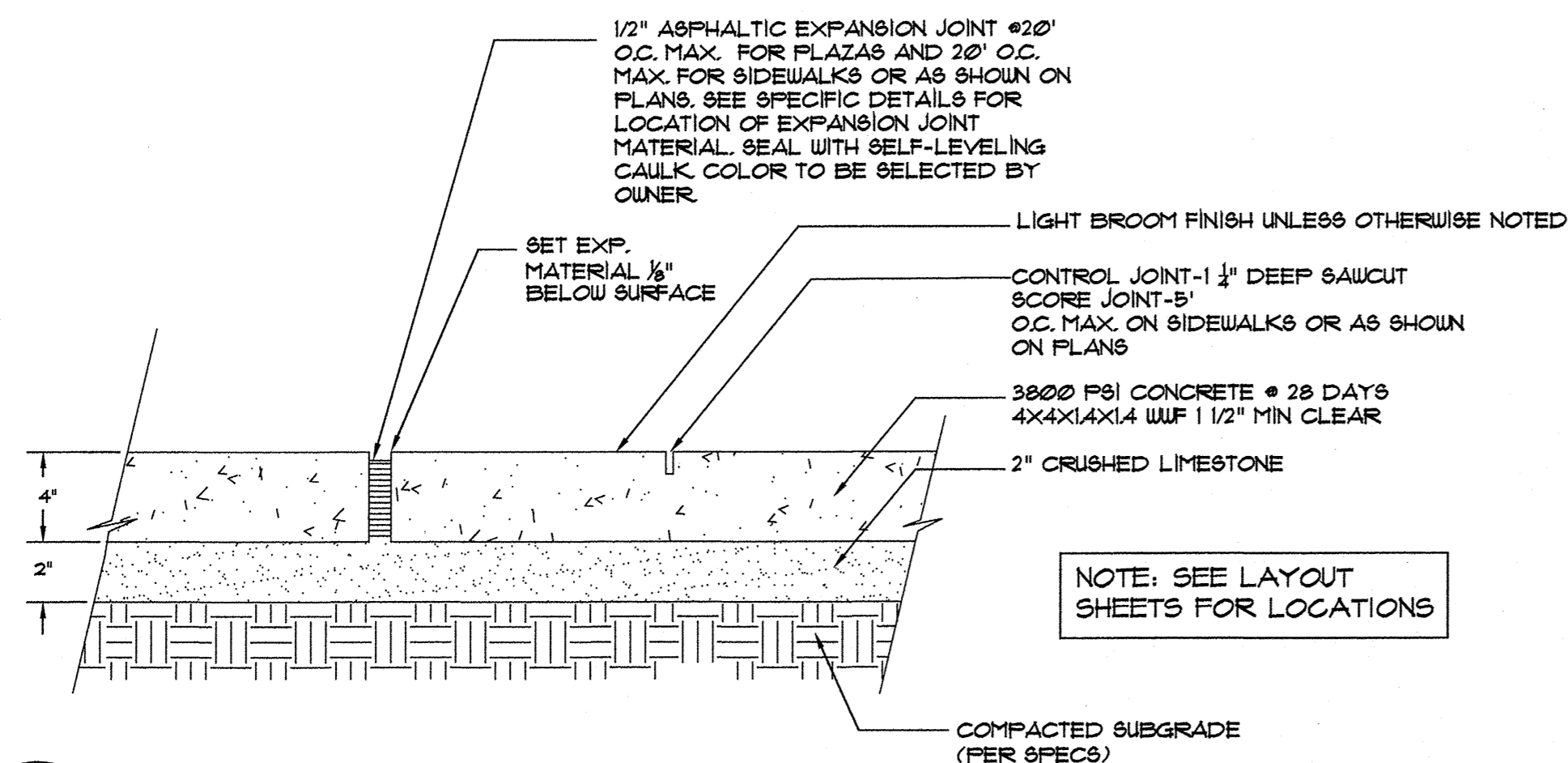
1 TRASH RECEPTACLE
NOT TO SCALE

VICTOR STANLEY, INC. CLASSIC SERIES BENCH, MODEL: CR-5, 6' SCROLLED STEEL SLATS, COLOR: POWDER-COATED BLACK (OR APPROVED EQUAL)

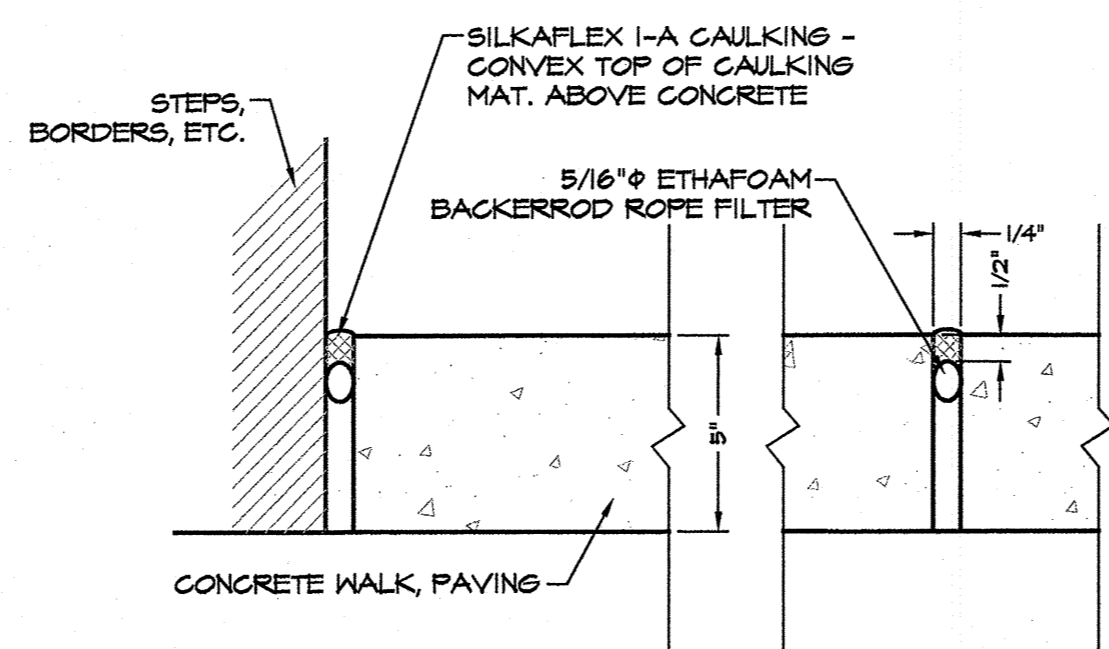
VICTOR STANLEY, INC.
Manufacturers of Quality Site Furnishings since 1962
(800) 368-2573



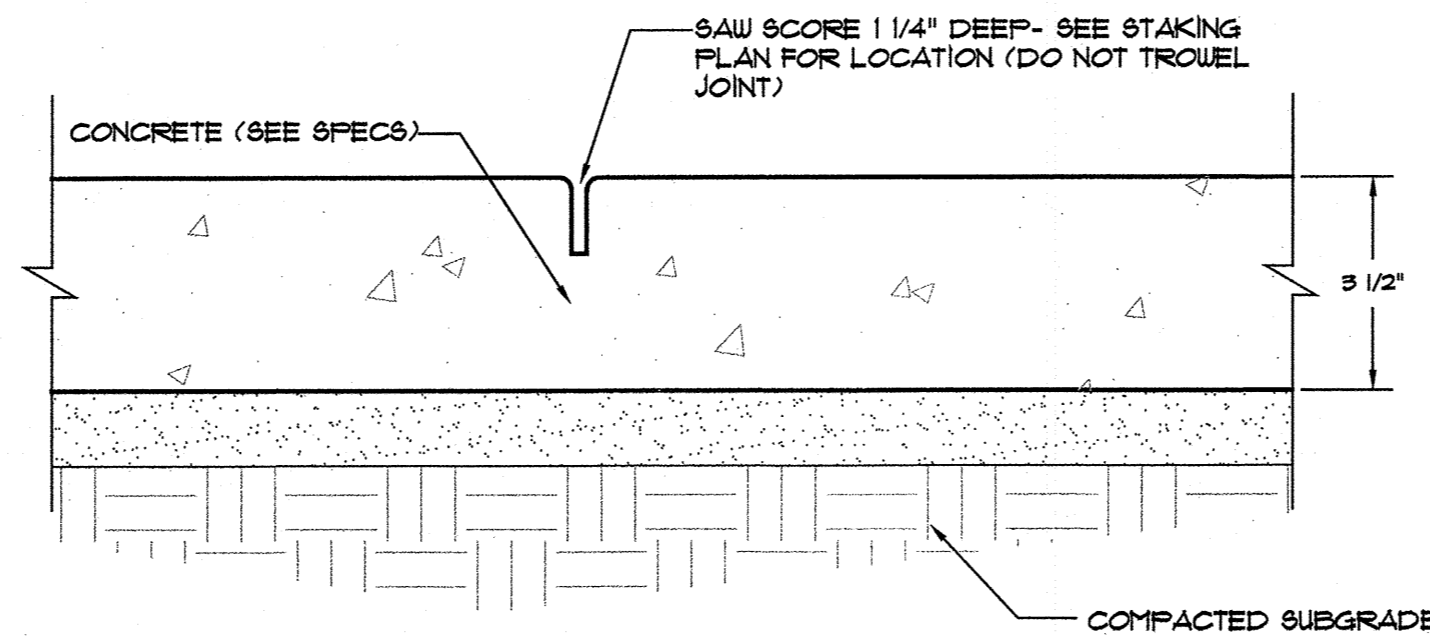
2 BENCHES
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3 CONCRETE PAVING
NOT TO SCALE

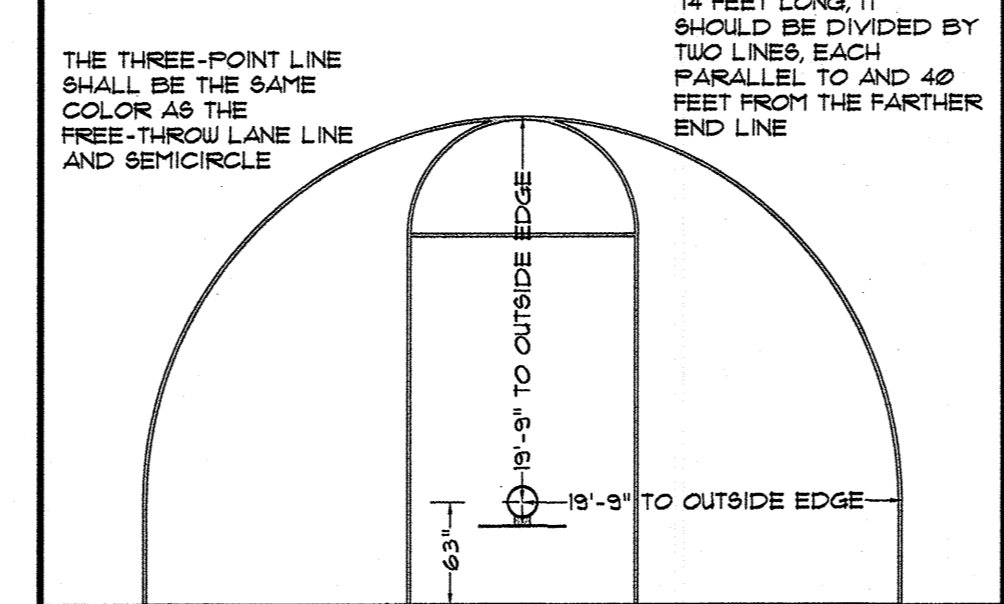
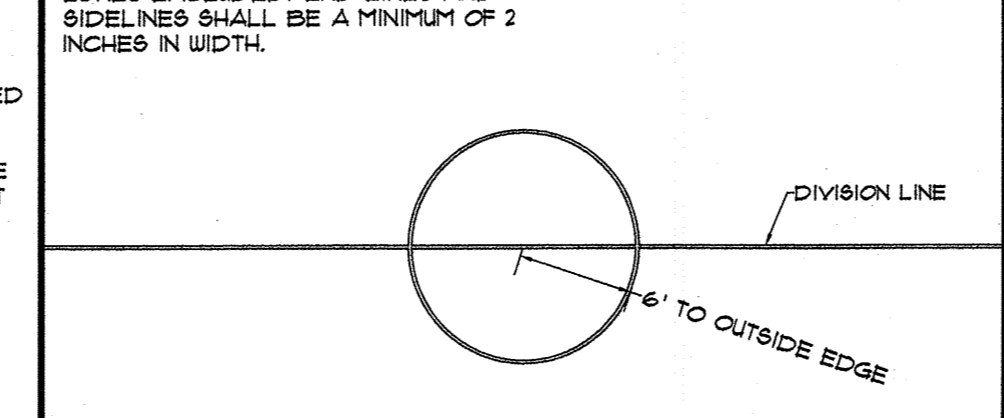
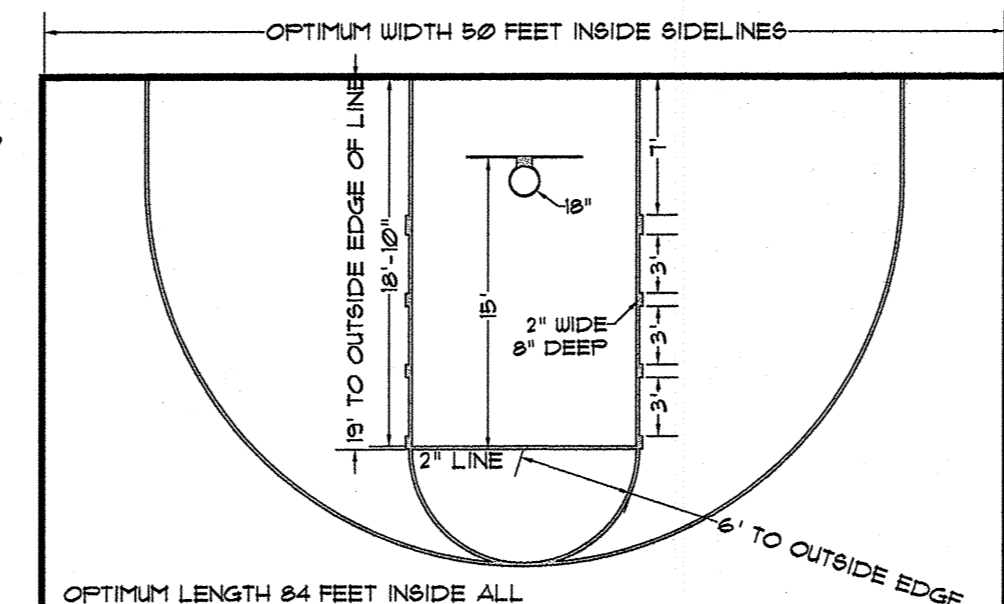


4 EXPANSION/ISOLATION JOINT
NOT TO SCALE

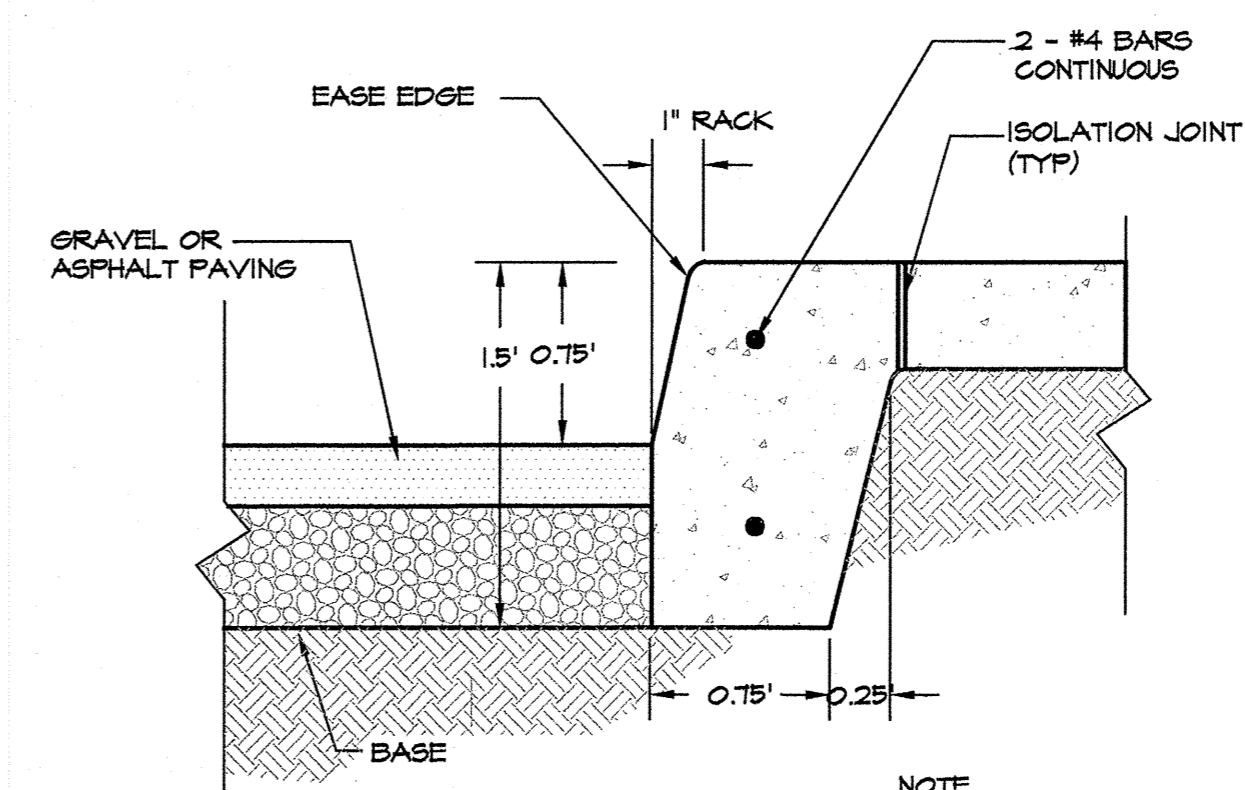


5 CONCRETE SAWCUT JOINTS
NOT TO SCALE

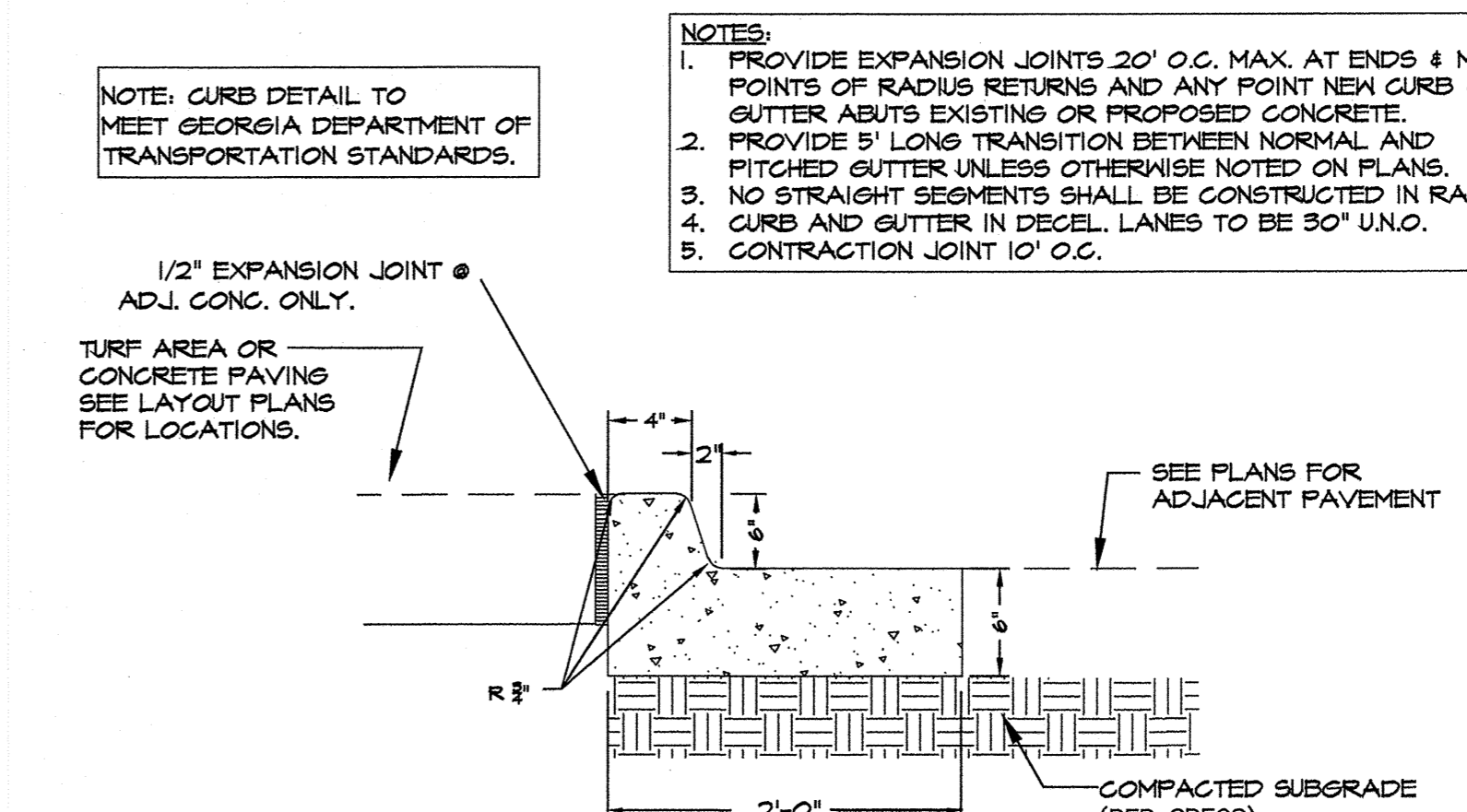
THIS END SHOWS RECTANGULAR BACKBOARD 12 INCHES WIDE



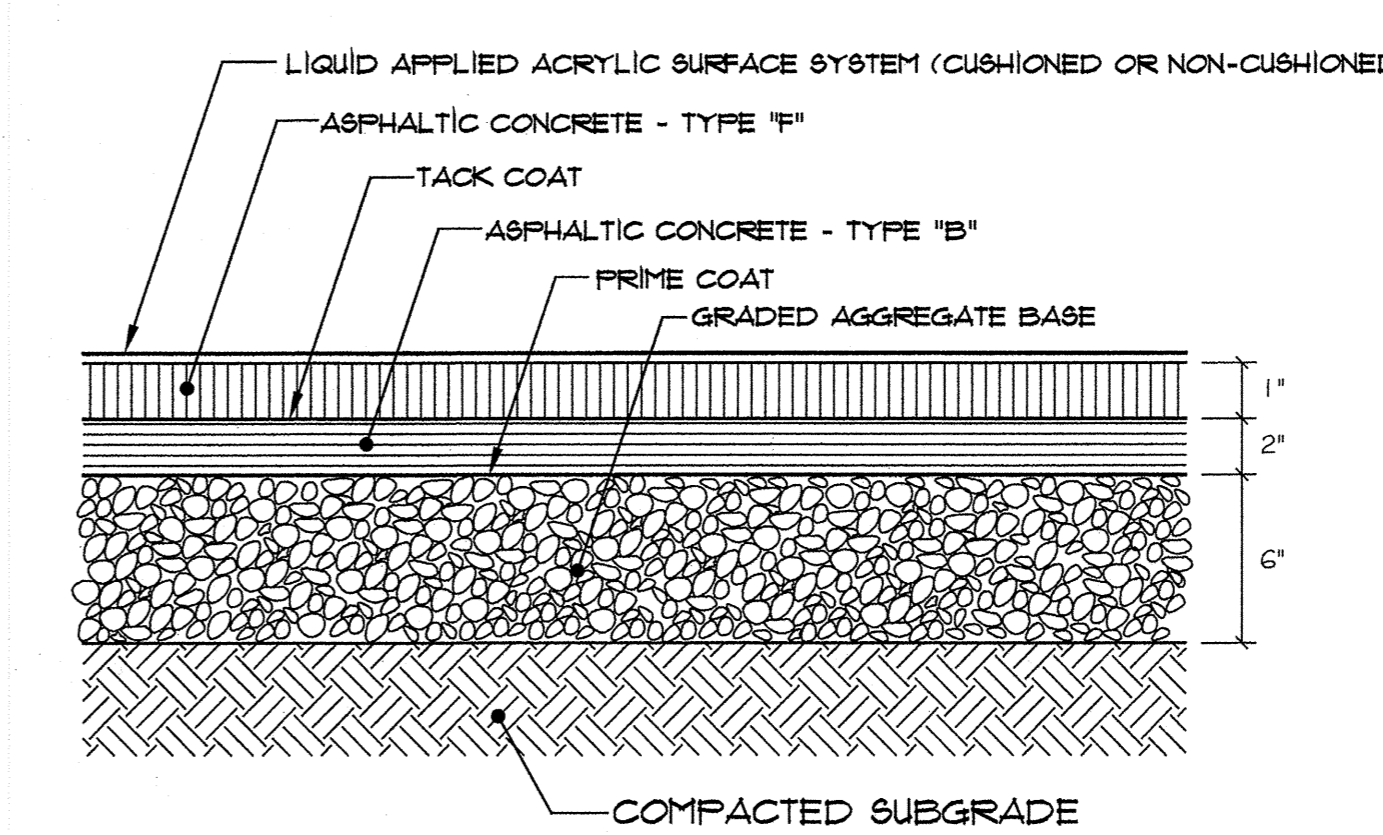
6 ASPHALT BASKETBALL COURT
NOT TO SCALE



7 INTEGRAL CURB AT WALK
NOT TO SCALE



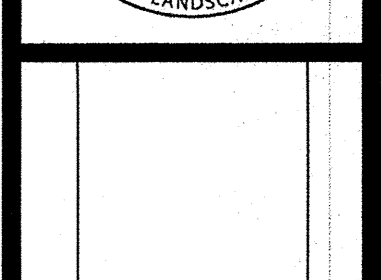
8 CONC. CURB & GUTTER
NOT TO SCALE



9 HEAVY DUTY ASPHALT BASKETBALL COURT
NOT TO SCALE

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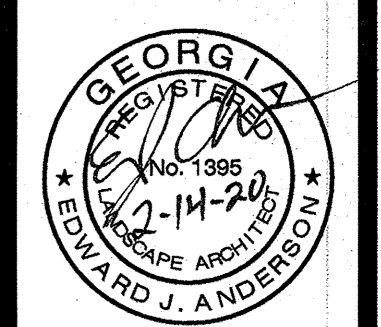
4317 Park Drive, Suite 400
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Fax: (770) 416-9759
www.travisfruit.com
CONTACT PERSON: TED ANDERSON
e-mail: Tanderson@travisfruit.com



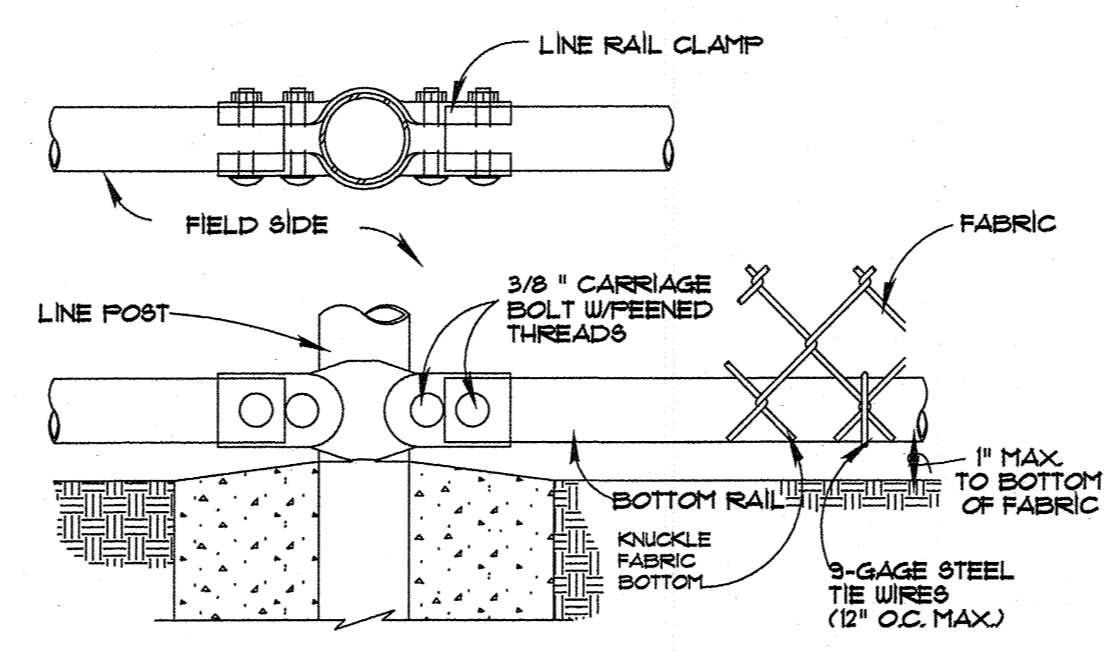
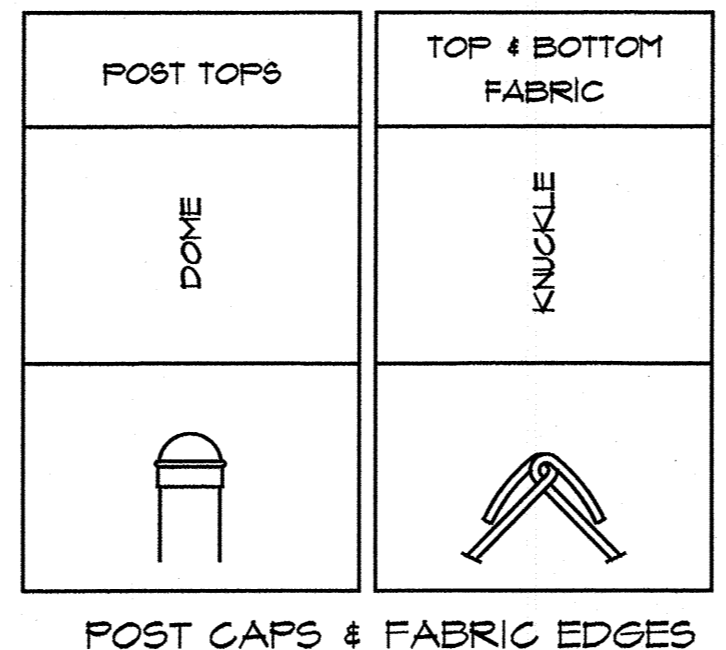
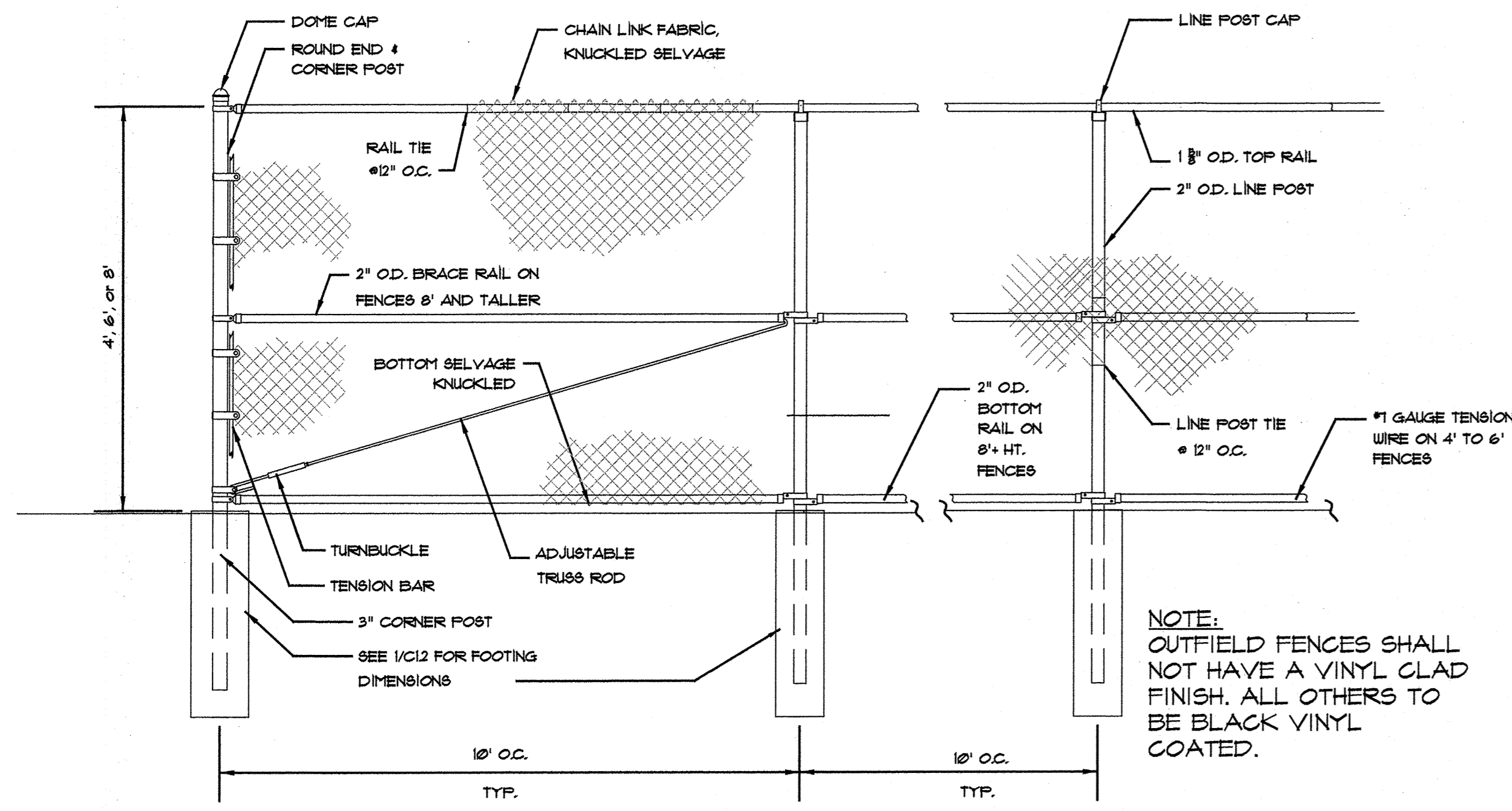
CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

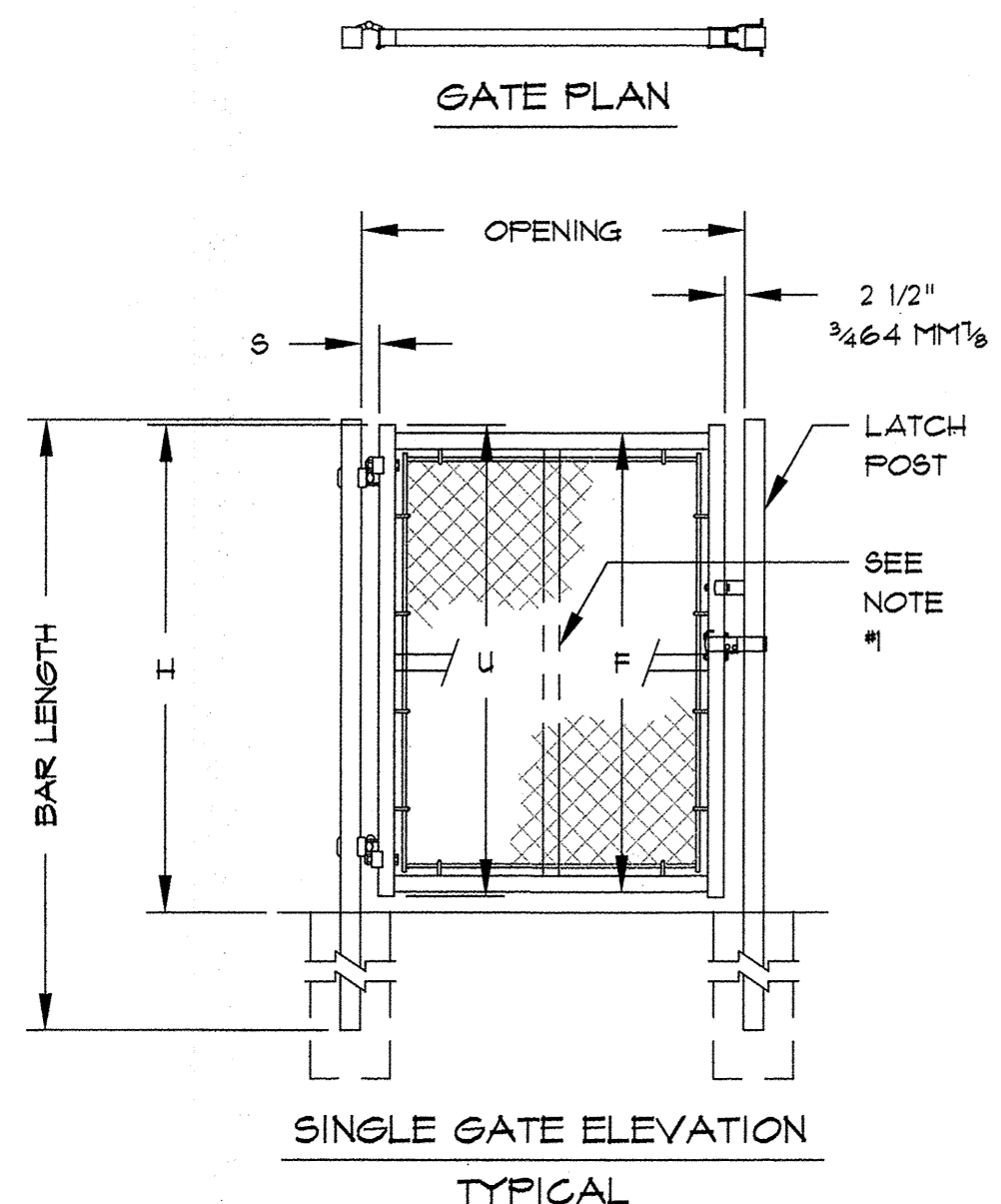
3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA



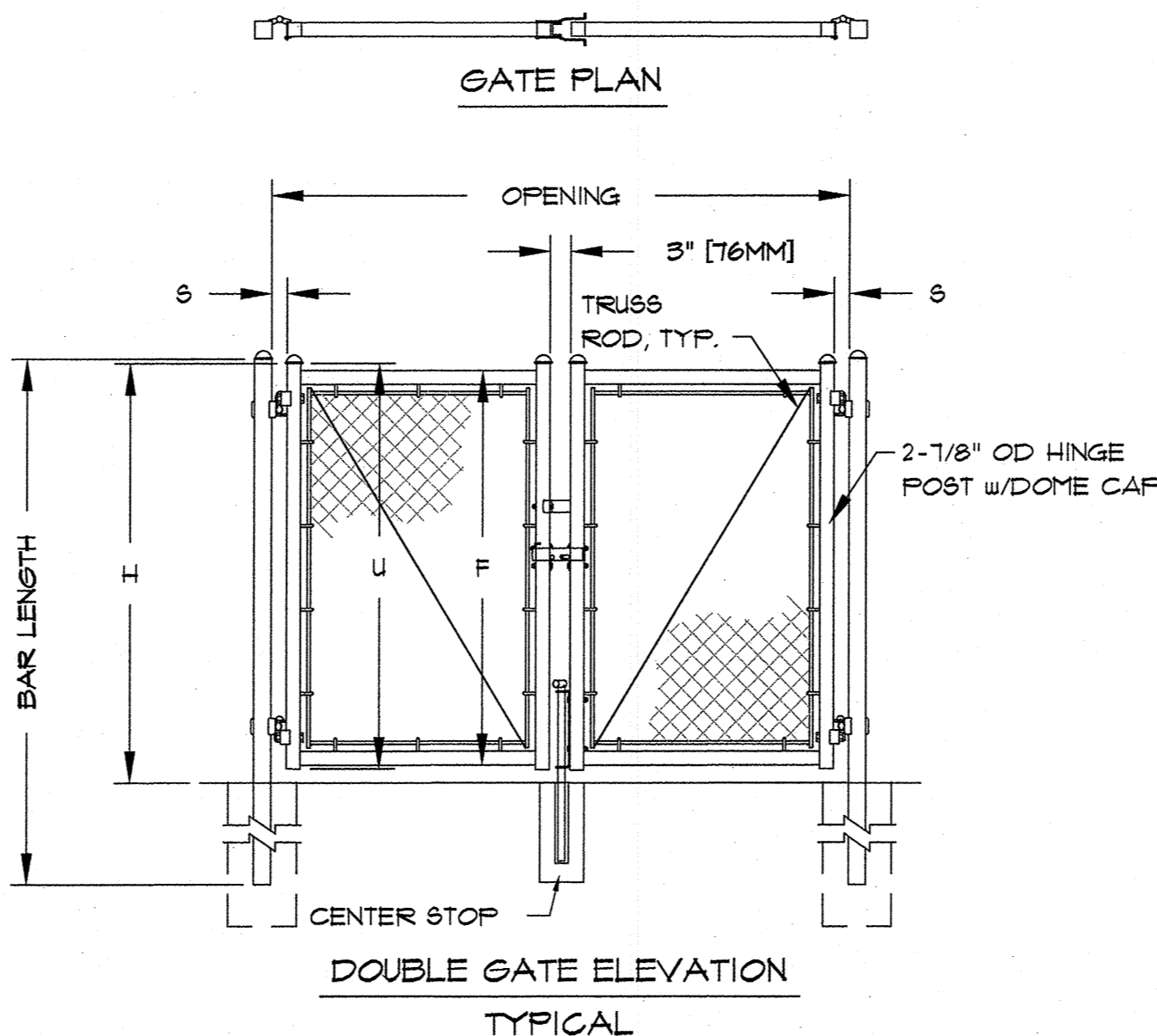
For The Firm
Travis Fruit & Associates, Inc.
DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.0



1 CHAINLINK FENCE - TYPICAL
NOT TO SCALE



SINGLE OR DOUBLE LEAF GATES		
NOM HEIGHT (H)	UPRIGHT HT (U)	FRAME HT (F)
WITHOUT BARBED WIRE	ACTUAL DIM	ACTUAL DIM
3'-0"	2'-10"	2'-8 1/2"
3'-6"	3'-4"	3'-2 1/2"
4'-0"	3'-10"	3'-8 1/2"
5'-0"	4'-10"	4'-8 1/2"
6'-0"	5'-10"	5'-8 1/2"
7'-0"	6'-10"	6'-8 1/2"
8'-0"	7'-10"	7'-8 1/2"
9'-0"	8'-10"	8'-8 1/2"
10'-0"	9'-10"	9'-8 1/2"
11'-0"	10'-10"	10'-8 1/2"
12'-0"	11'-10"	11'-8 1/2"



SINGLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT
3'-0"	2 1/2" SQ	FOR SQUARE & ROUND GATE POSTS:
6'-0"	2 1/2" OD	2 1/4"

DOUBLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT
14'-0"	3" SQ	FOR SQUARE & ROUND GATE POSTS:
24'-0"	4" OD	2 1/4"

2 CHAINLINK GATES
NOT TO SCALE

NO	DATE	DESCRIPTION
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Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-9759
www.travispruit.com
Contract Reference: 190452PN
e-mail: traidres@travispruit.com

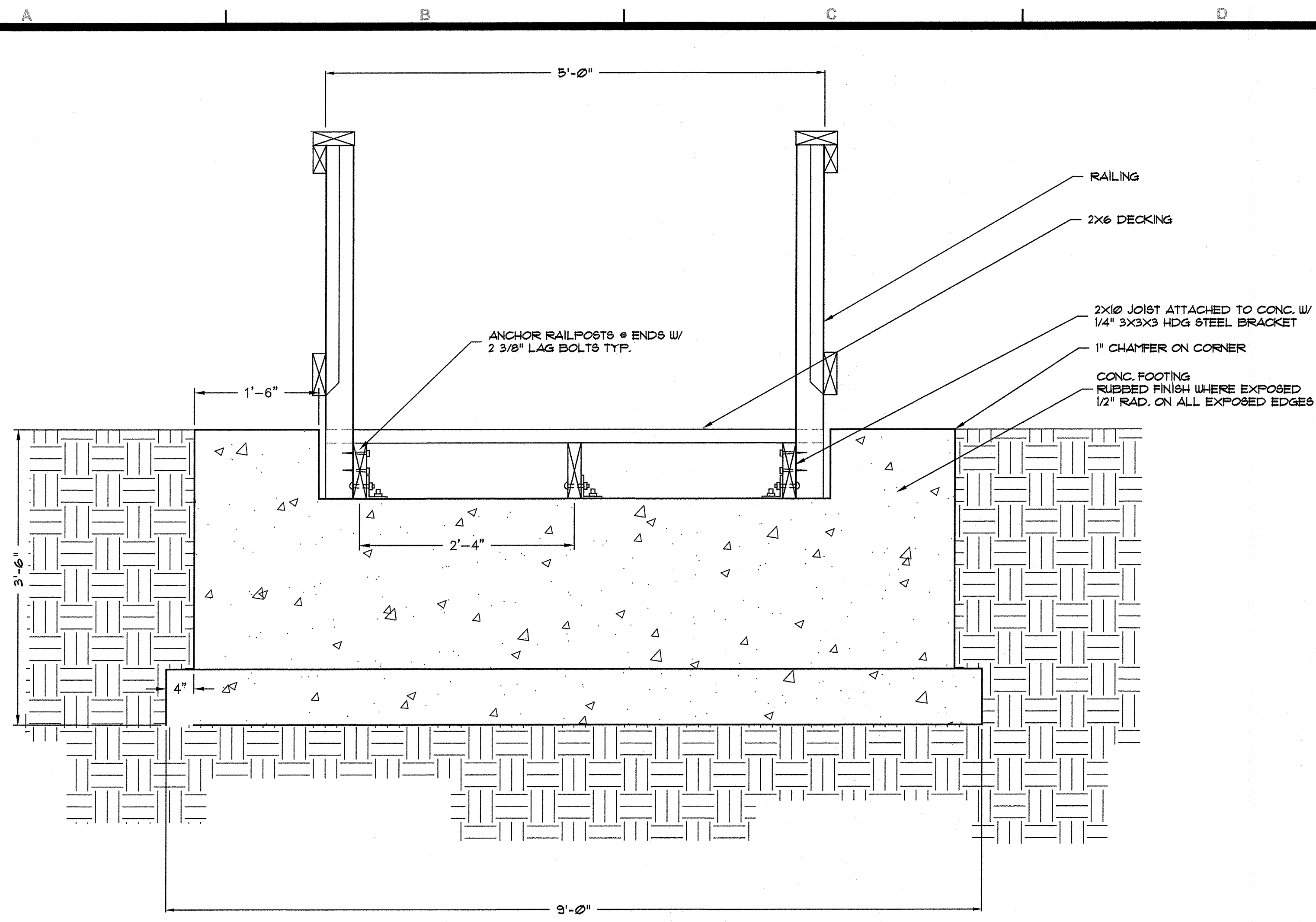
CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

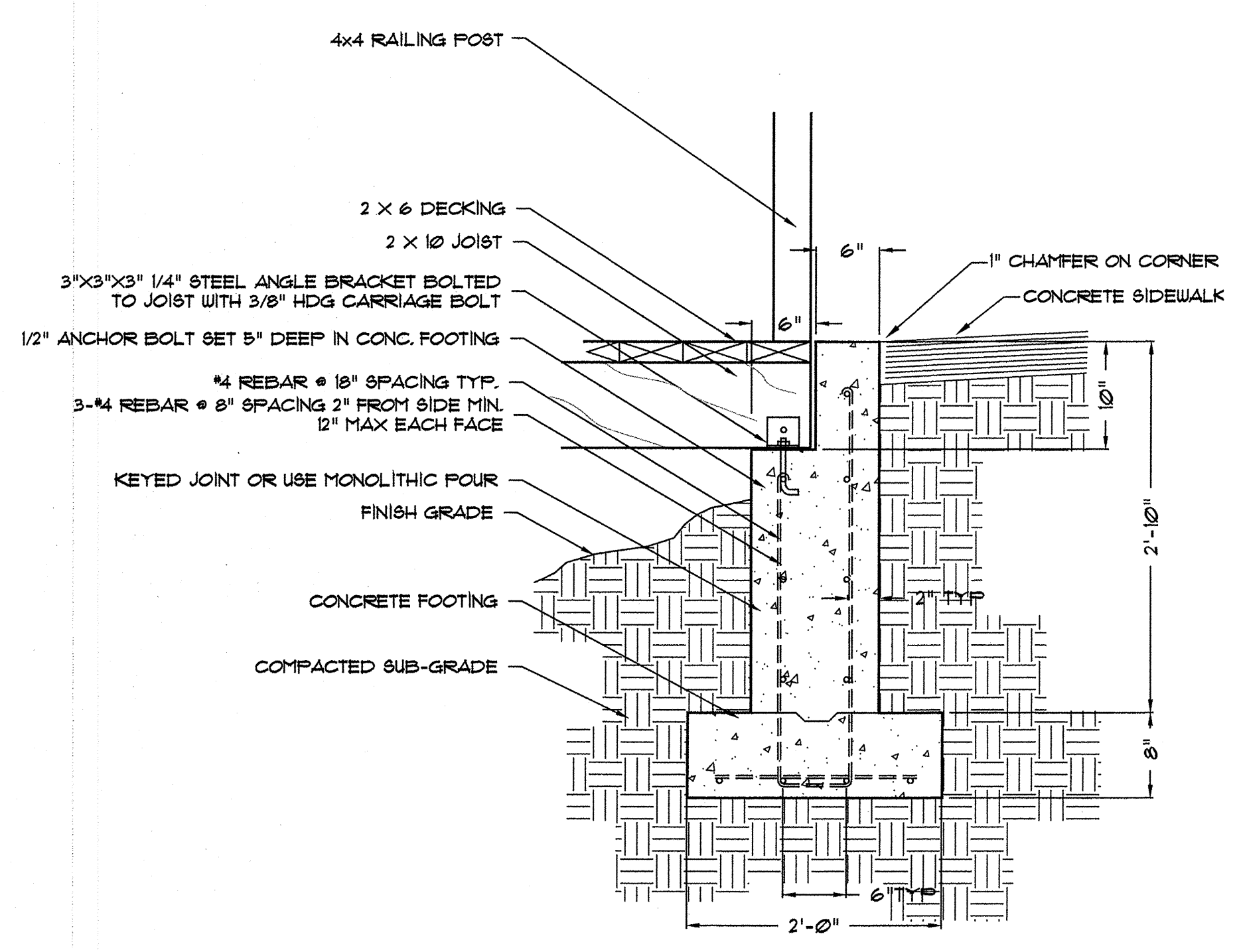
3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

For The Firm
Travis Pruitt & Associates, Inc.

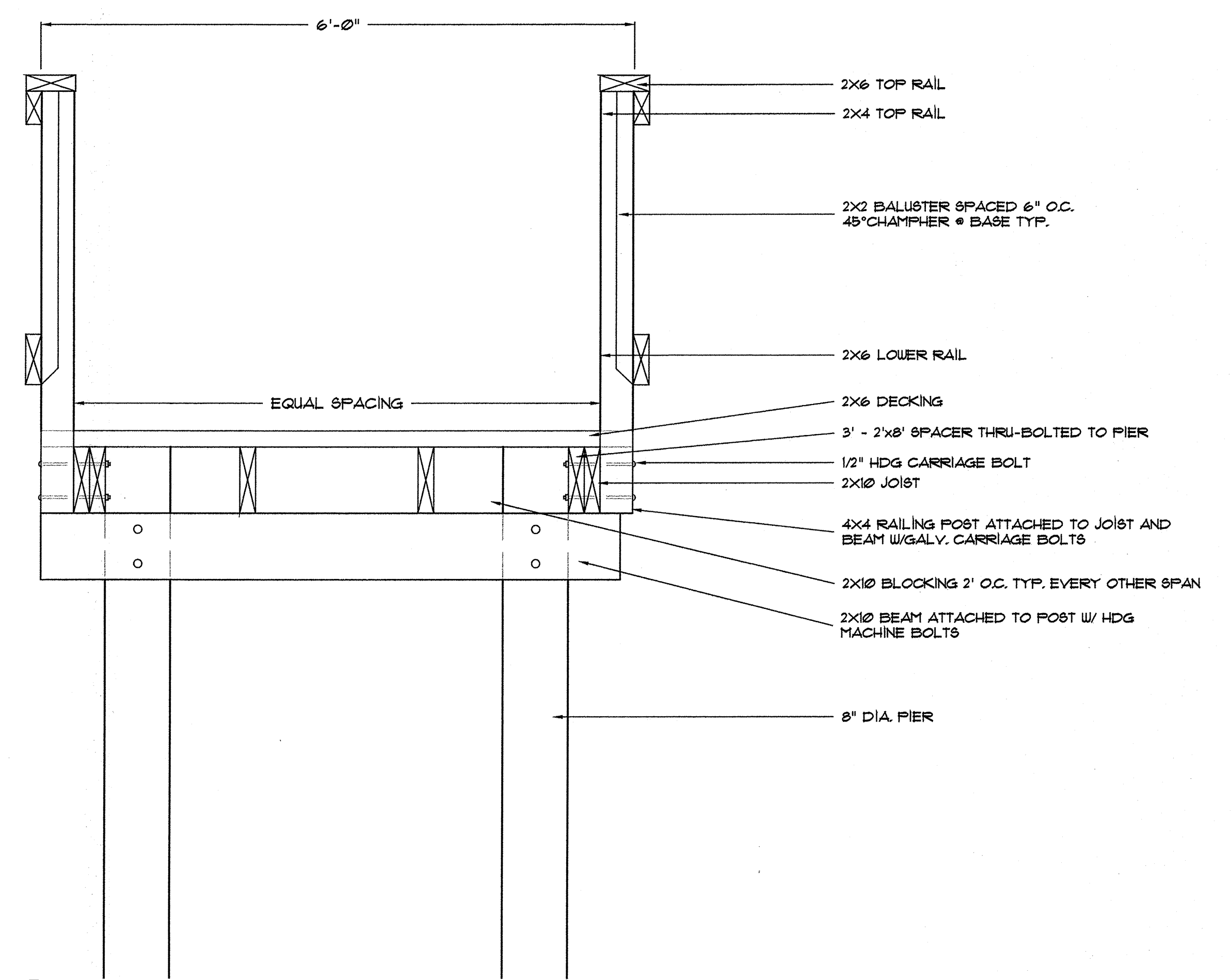
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SCALE: N/A
CN: 190452PN
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FN: 166-D-038
SHEET NO: C6.1



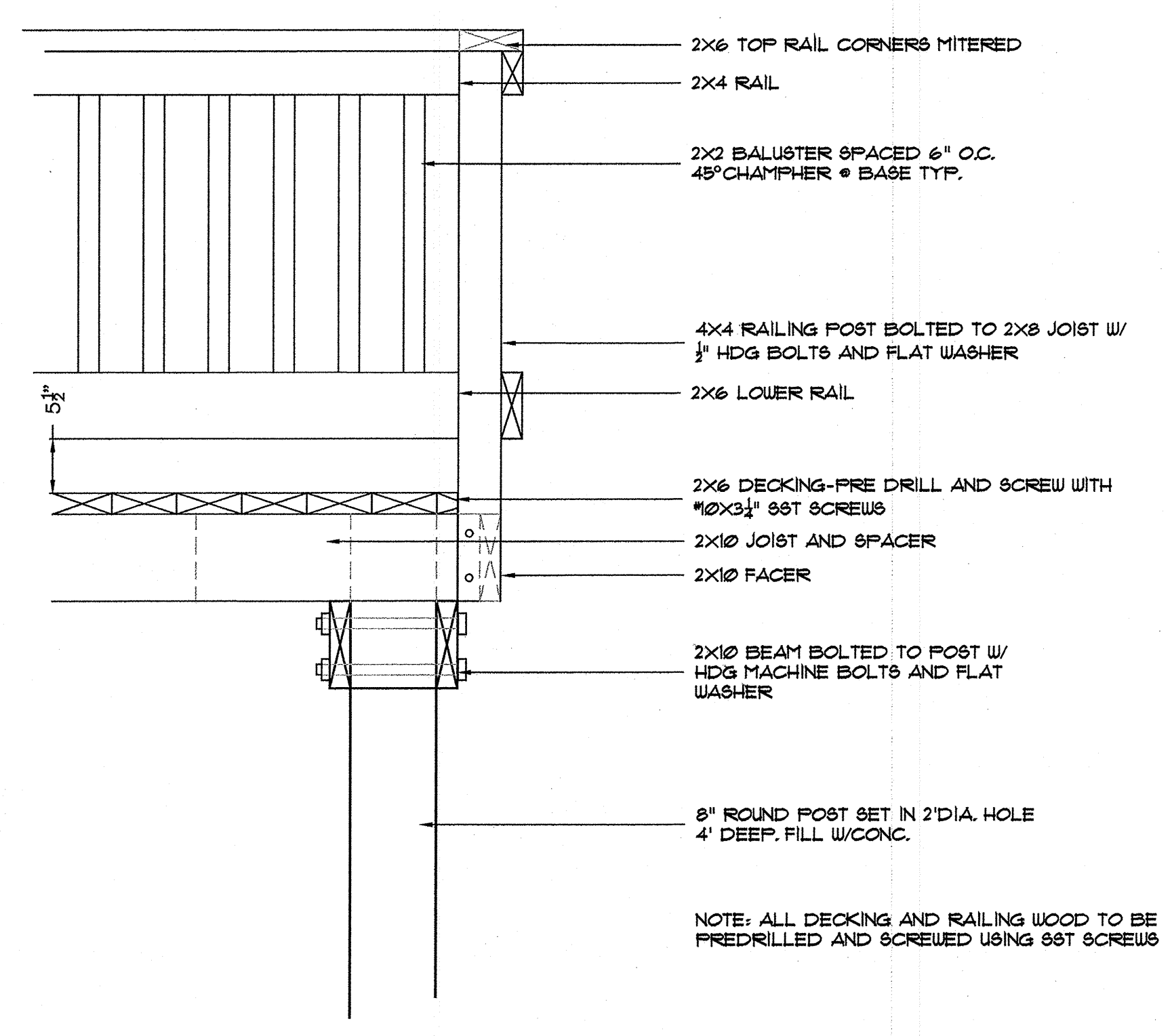
1 PIER FOOTING DETAIL
1" = 1'-0"



3 PIER FOOTING DETAIL
1" = 1'-0"



2 PIER DETAILS
1" = 1'-0"



NOTE: ALL DECKING AND RAILING WOOD TO BE PREDRILLED AND SCREWED USING 88T SCREWS

NO	DATE	DESCRIPTION
1		
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Phone: (770) 416-7511
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www.travisprutt.com
CONTACT PERSON: TED ANDERSON
e-mail: Tanderson@travisprutt.com

Travis Prutt & Associates, Inc.
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

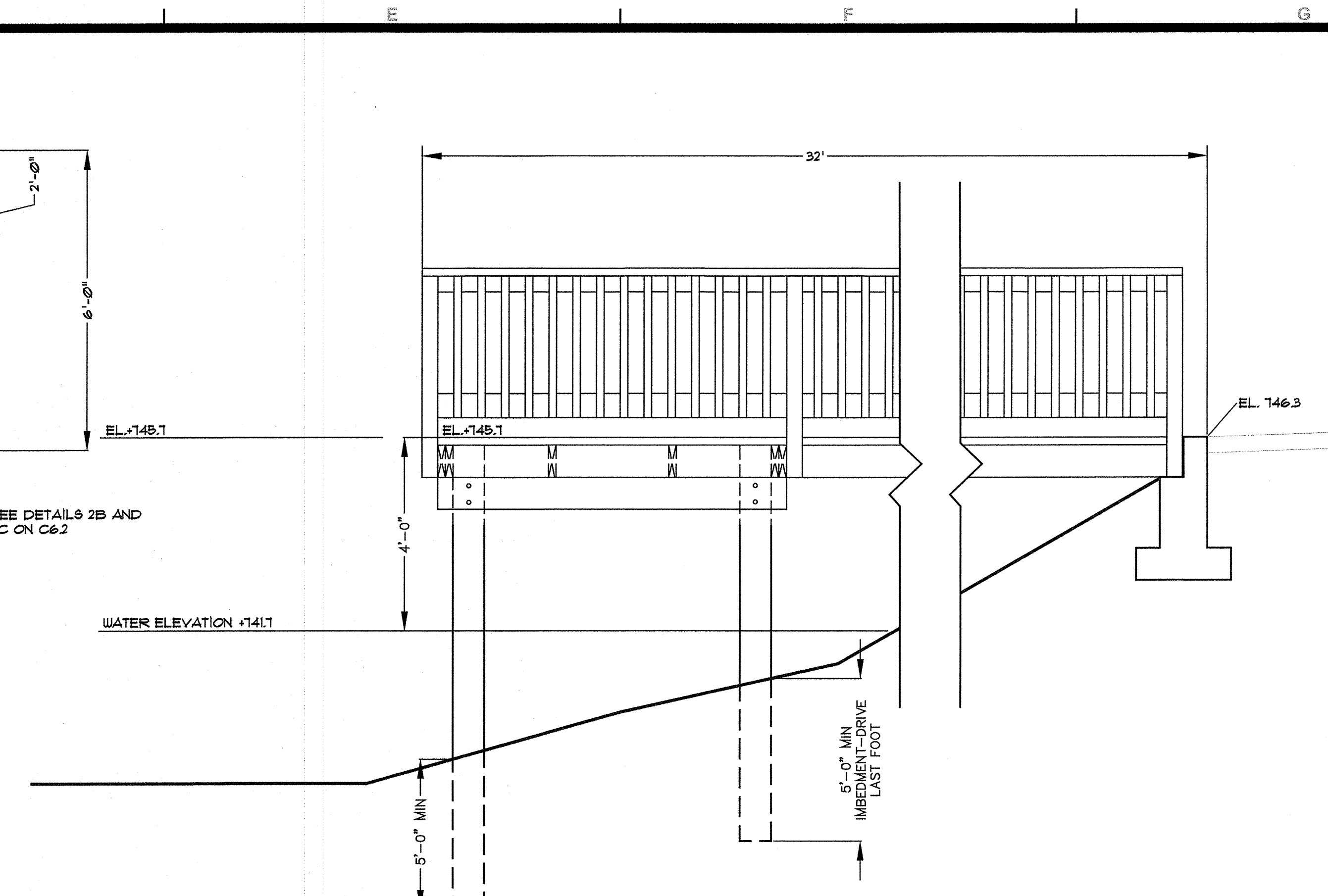
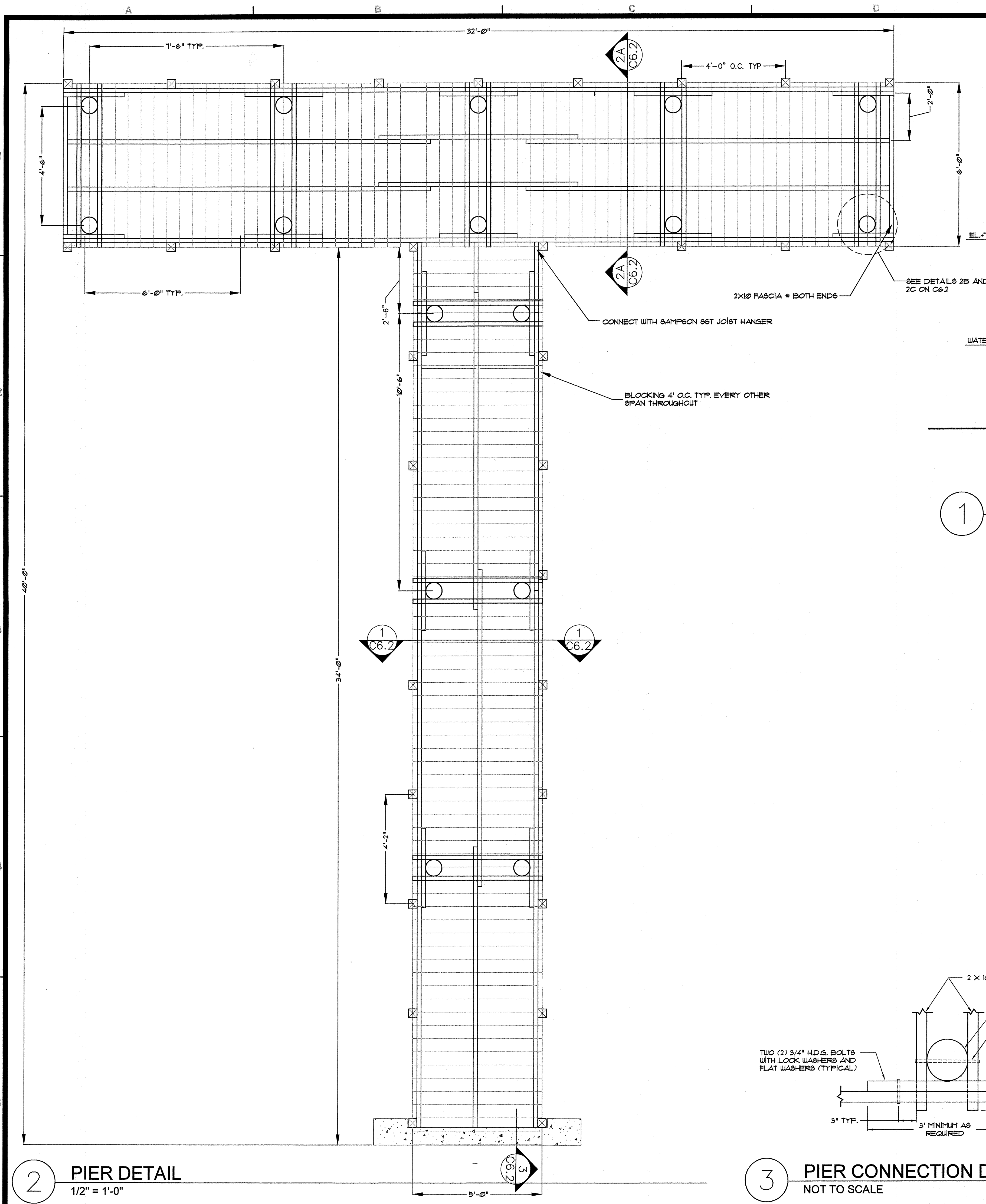
CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

For The Firm
Travis Prutt & Associates, Inc.

DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.2



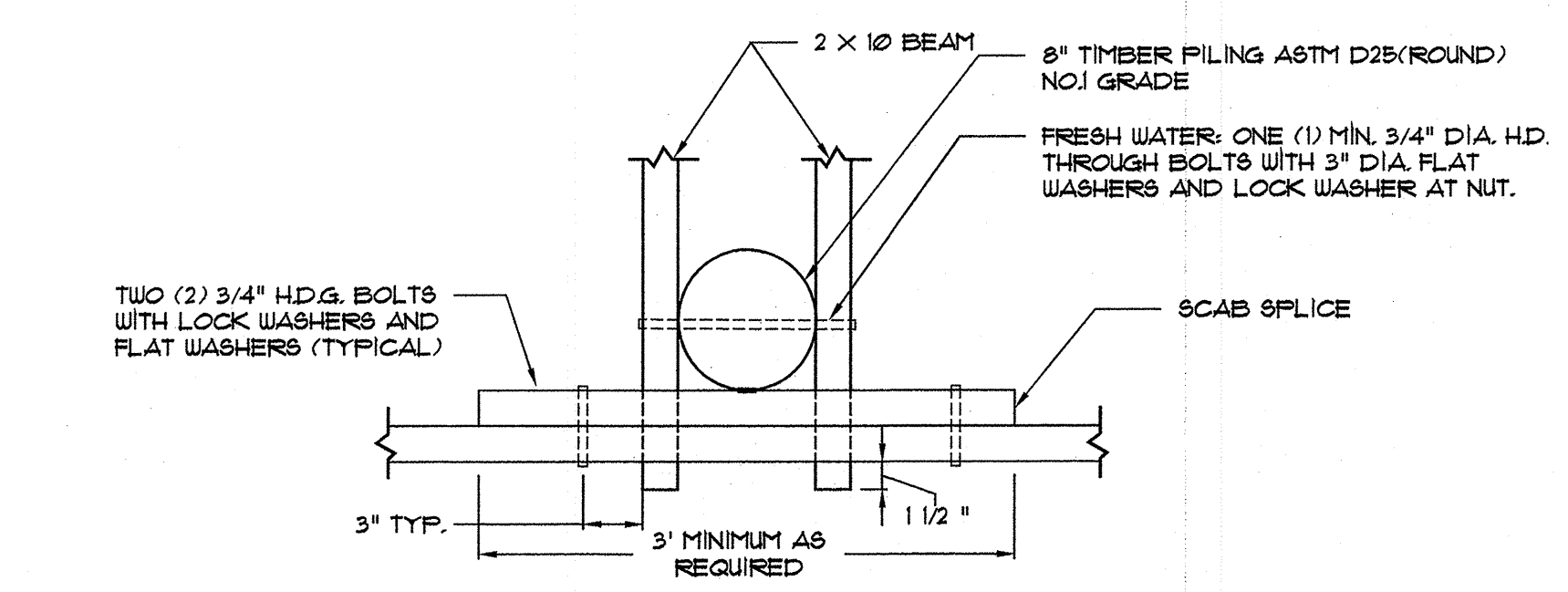
1 PIER DETAIL
1/2" = 1'-0"

Specification For Treated Southern Pine

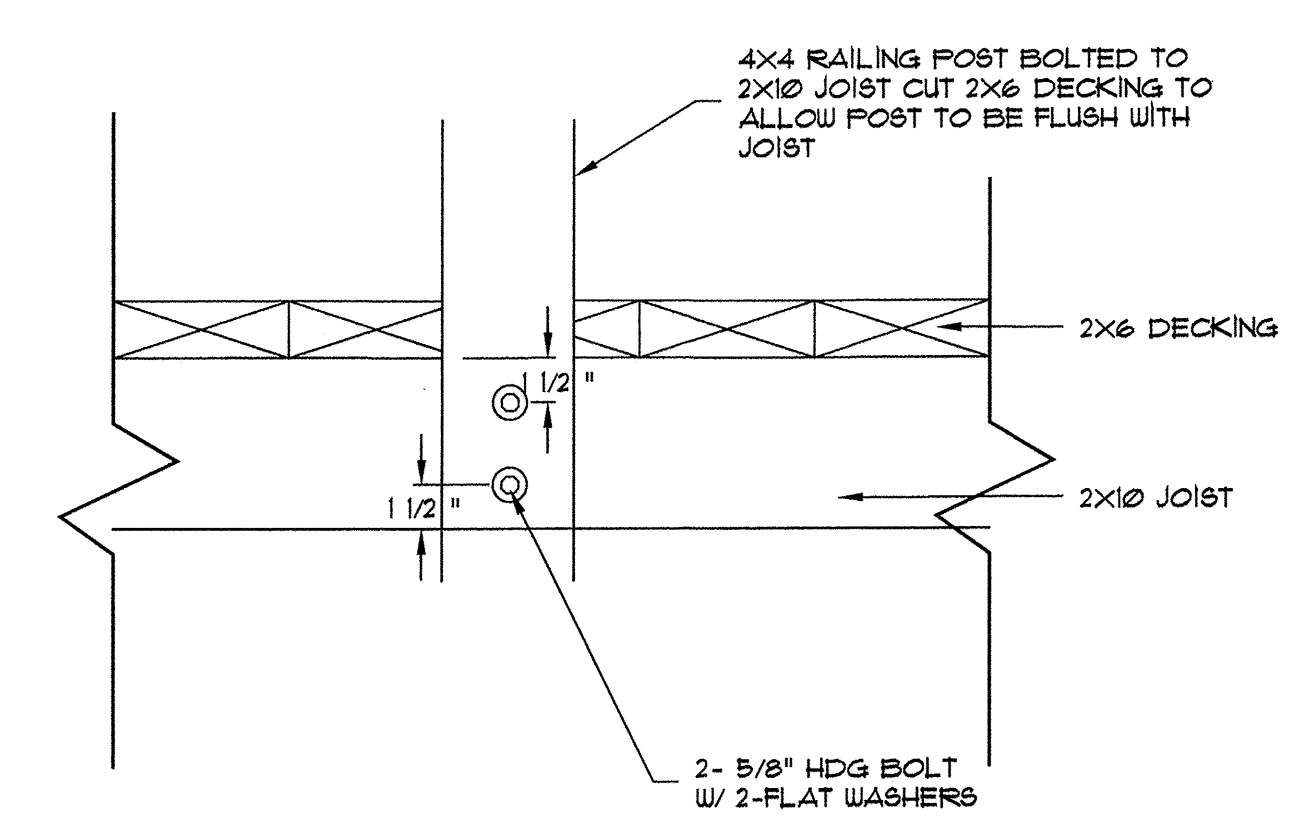
MEMBER/LOCATION	MEMBER SIZE (TYPICAL)	LUMBER GRADE	USE CATEGORY	SERVICE CONDITIONS/ USE ENVIRONMENT	TYPICAL FASTENERS USED IN FRESH WATER ENVIRONMENTS	PRESERVATIVE RETENTION LEVEL AND TREATMENT	SURFACE TEXTURE
TIMBER PILING	TYPICALLY 8" MIN. TIP DIA.	ASTM D25 (ROUND), NO. 1, NO. 2 GRADE (SQUARE)	UC4C	FRESH WATER, (CONTINUOUS EXPOSURE/IMMERSION)	H.D.G. BOLTS, NUTS WASHERS AND NAILS	0.80 PCF CCA	ROUND PILING
STRINGERS, BAND JOISTS, AND BLOCKING	2" X 10"	NO. 2	UC4B	EXTERIOR, GROUND, OR FRESH WATER CONTACT; VERY SEVERE ENVIRONMENT	H.D.G. BOLTS, NUTS, WASHERS, NAILS, AND HURRICANE STRAPS/ TIES	.60 PCF CCA 0.31 PCF CA OR .60 PCF ACQ	S4S
DECKING	2" X 6"	NO. 2	UC4B	EXTERIOR, GROUND, OR FRESH WATER CONTACT; VERY SEVERE ENVIRONMENT	H.D.G. BOLTS, NUTS, WASHERS, NAILS, AND HURRICANE STRAPS/ TIES	.60 PCF CCA 0.31 PCF CA OR .60 PCF ACQ	S4S

1 - Alkaline Copper Quaternary (ACQ) has been found to be significantly more corrosive than other chemical preservatives when in contact with metal fasteners and structural framing components; and is especially corrosive with aluminum fasteners, framing, and roofing material.
 Fastener note: H.D.G. fasteners are the minimum as recommended for projects in fresh water or mildly brackish water for corrosion resistance; however, at the owner's/developer's discretion, stainless steel (304 or 316) may also be used.
 Abbreviations: CCA = Chromated Copper Arsenate, CA = Copper Azole, ACQ = Alkaline Copper Quaternary, SS = stainless steel, H.D.G. = hot-dipped galvanized, pcf = pounds of preservative per cubic foot of wood, SBX - Inorganic Boron

2 PIER DETAIL
1/2" = 1'-0"



3 PIER CONNECTION DETAIL
NOT TO SCALE



4 PIER RAILING POST DETAIL
NOT TO SCALE

NO	DATE	DESCRIPTION
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 LANDSCAPE ARCHITECTS

CONSTRUCTION DETAILS

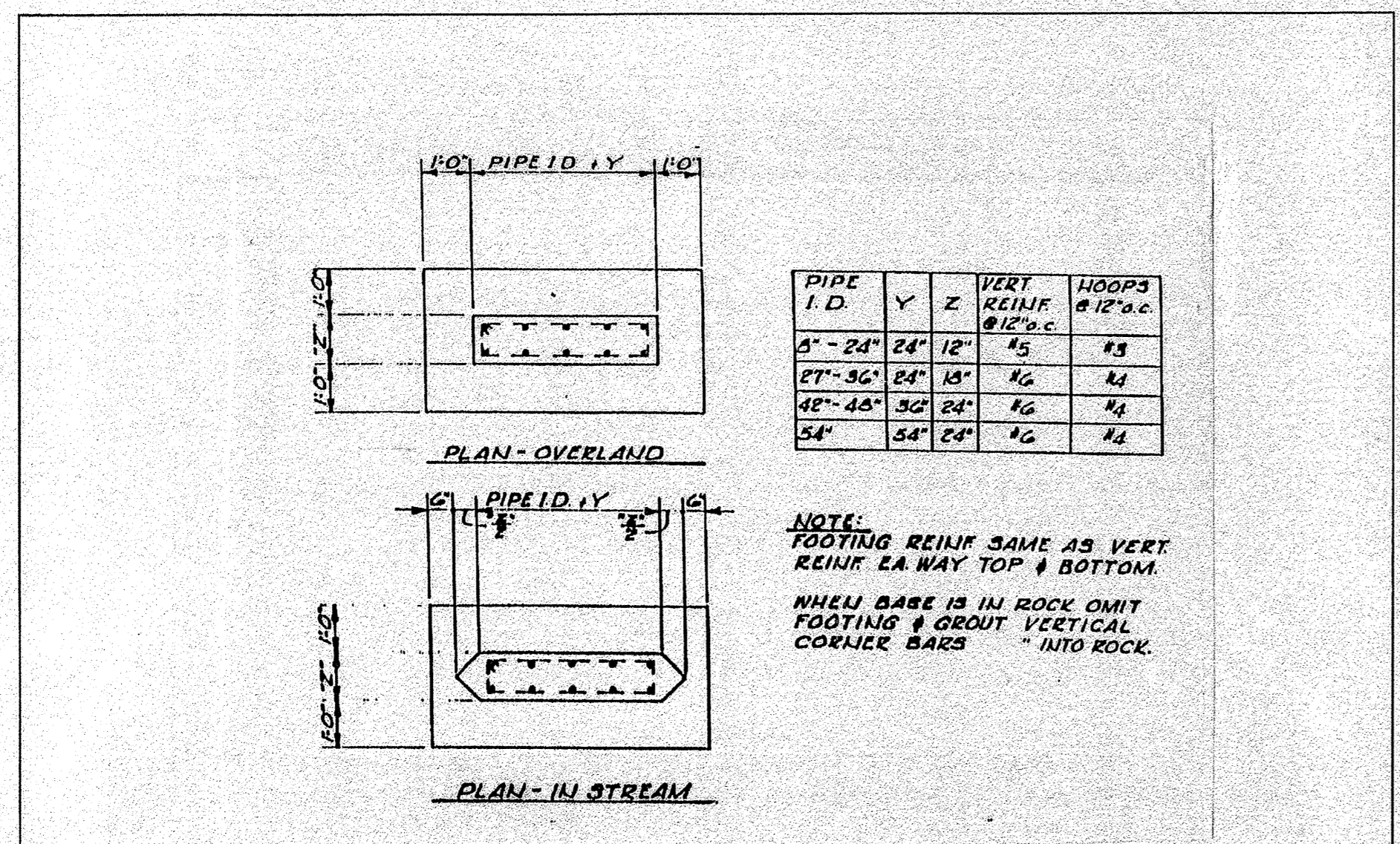
FREEDOM PARK PHASE 3

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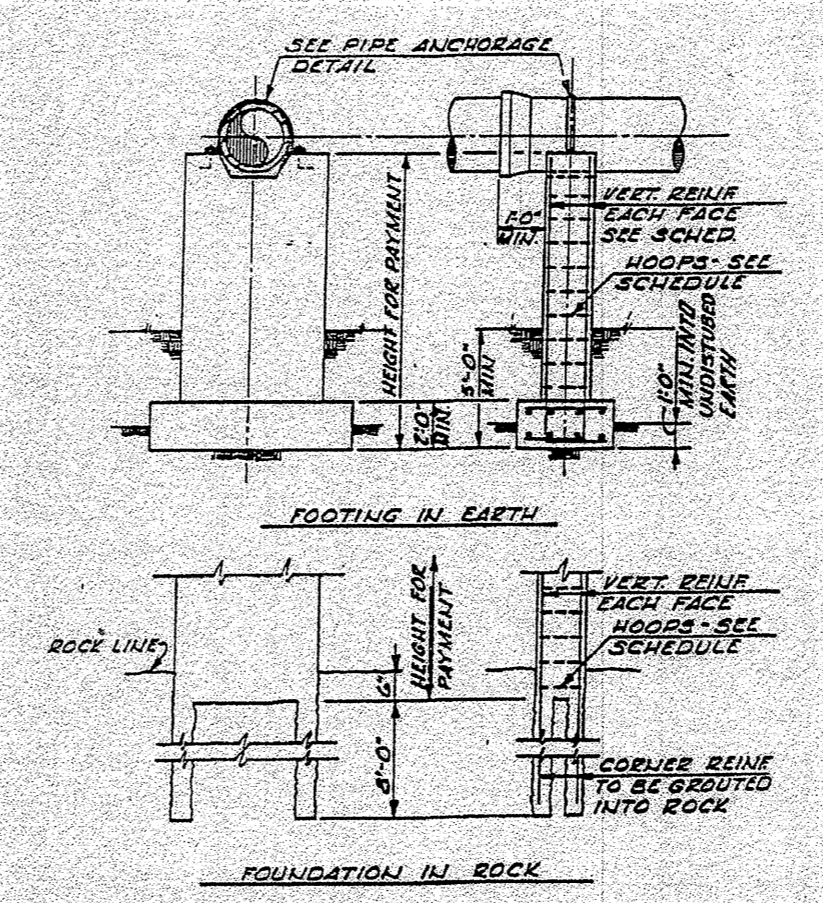
For The Firm
 Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
 SCALE: N/A
 CN: 190452PN
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 FN: 166-D-038

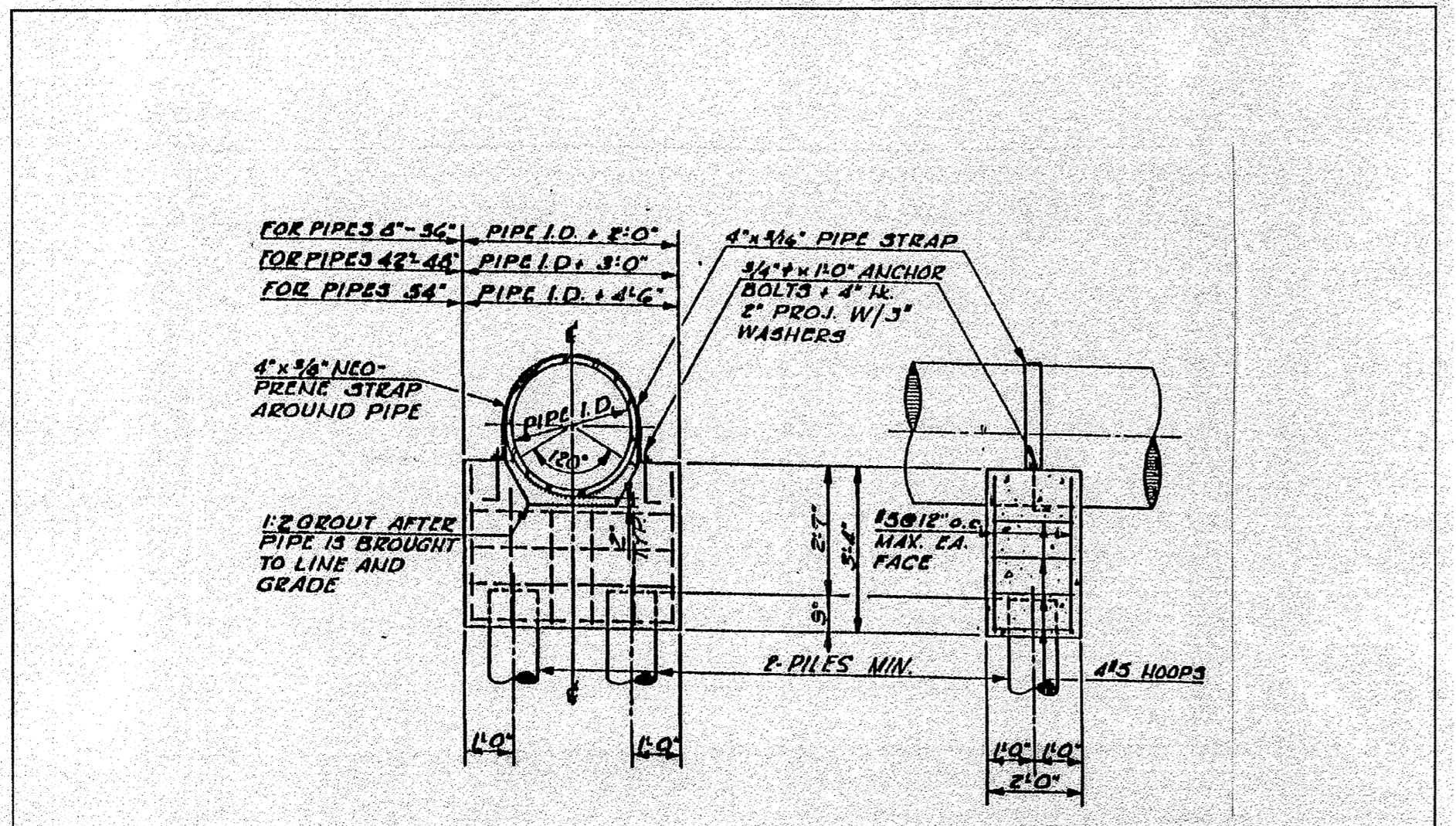
SHEET NO: C6.3



STATUS	BY	APPROVED	DATE	MACON WATER AUTHORITY STANDARD DETAILS	RECOMMENDED BY THE MACON WATER AUTHORITY ENGINEERING DEPT.
ORIGINAL					
REVISION				PIER FOOTING DETAIL	
				N.T.S.	DRAWING NUMBER CR-3



STATUS	BY	APPROVED	DATE	MACON WATER AUTHORITY STANDARD DETAILS	RECOMMENDED BY THE MACON WATER AUTHORITY ENGINEERING DEPT.
ORIGINAL					
REVISION				CONCRETE PIER DETAILS	
				N.T.S.	DRAWING NUMBER CR-4



STATUS	BY	APPROVED	DATE	MACON WATER AUTHORITY STANDARD DETAILS	RECOMMENDED BY THE MACON WATER AUTHORITY ENGINEERING DEPT.
ORIGINAL					
REVISION				CONCRETE SADDLE ON PILES	
				N.T.S.	DRAWING NUMBER CR-6

NO	DATE	DESCRIPTION
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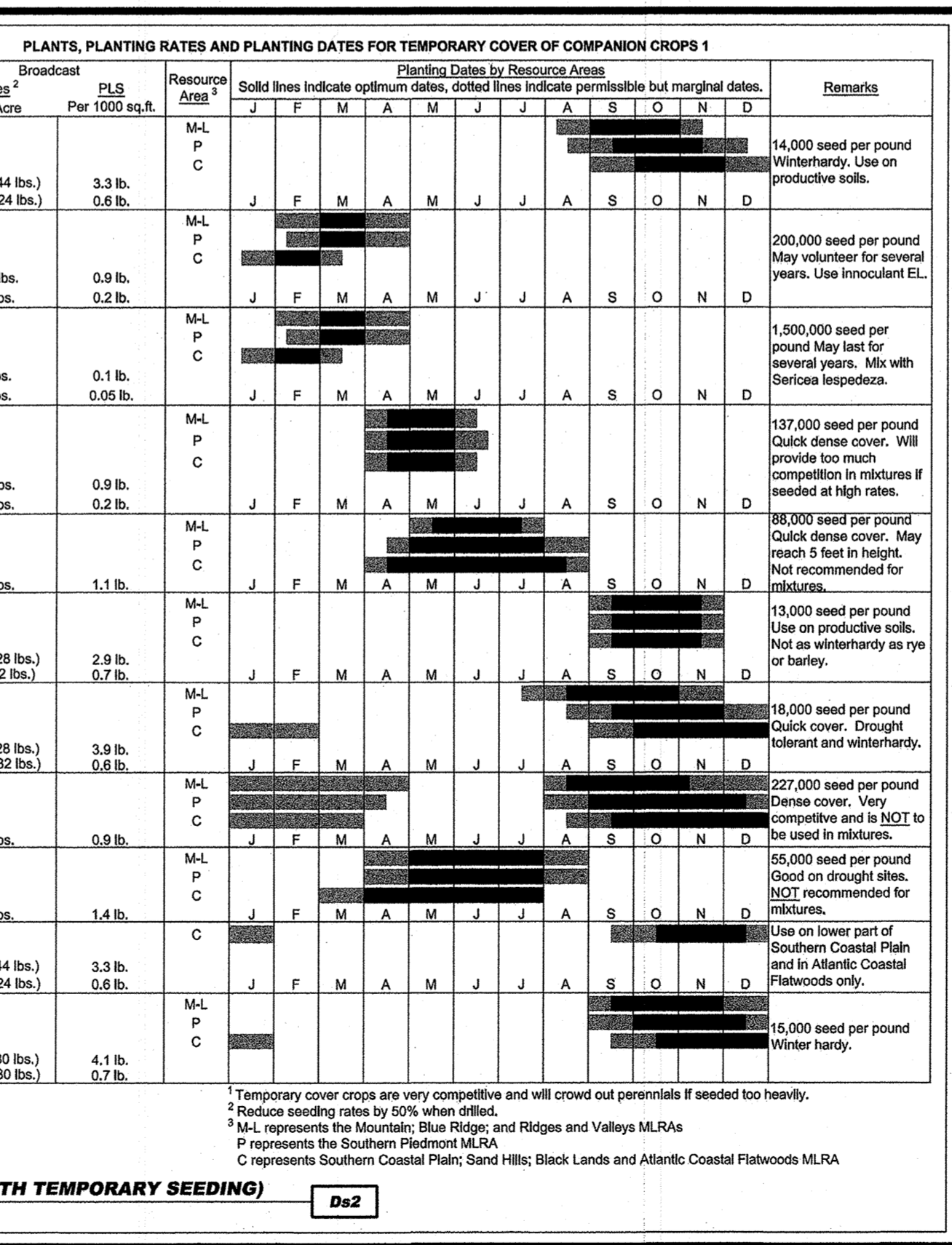
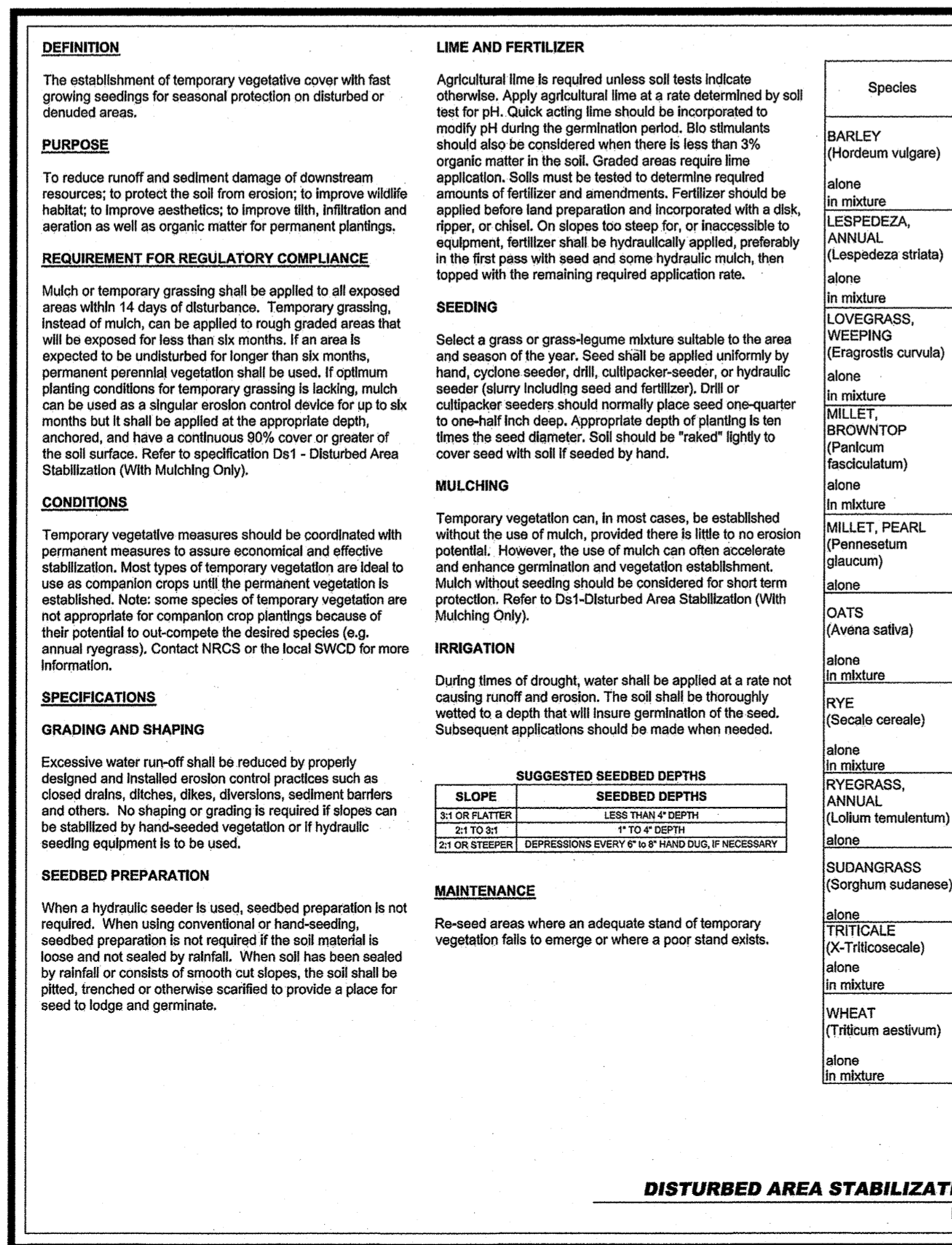
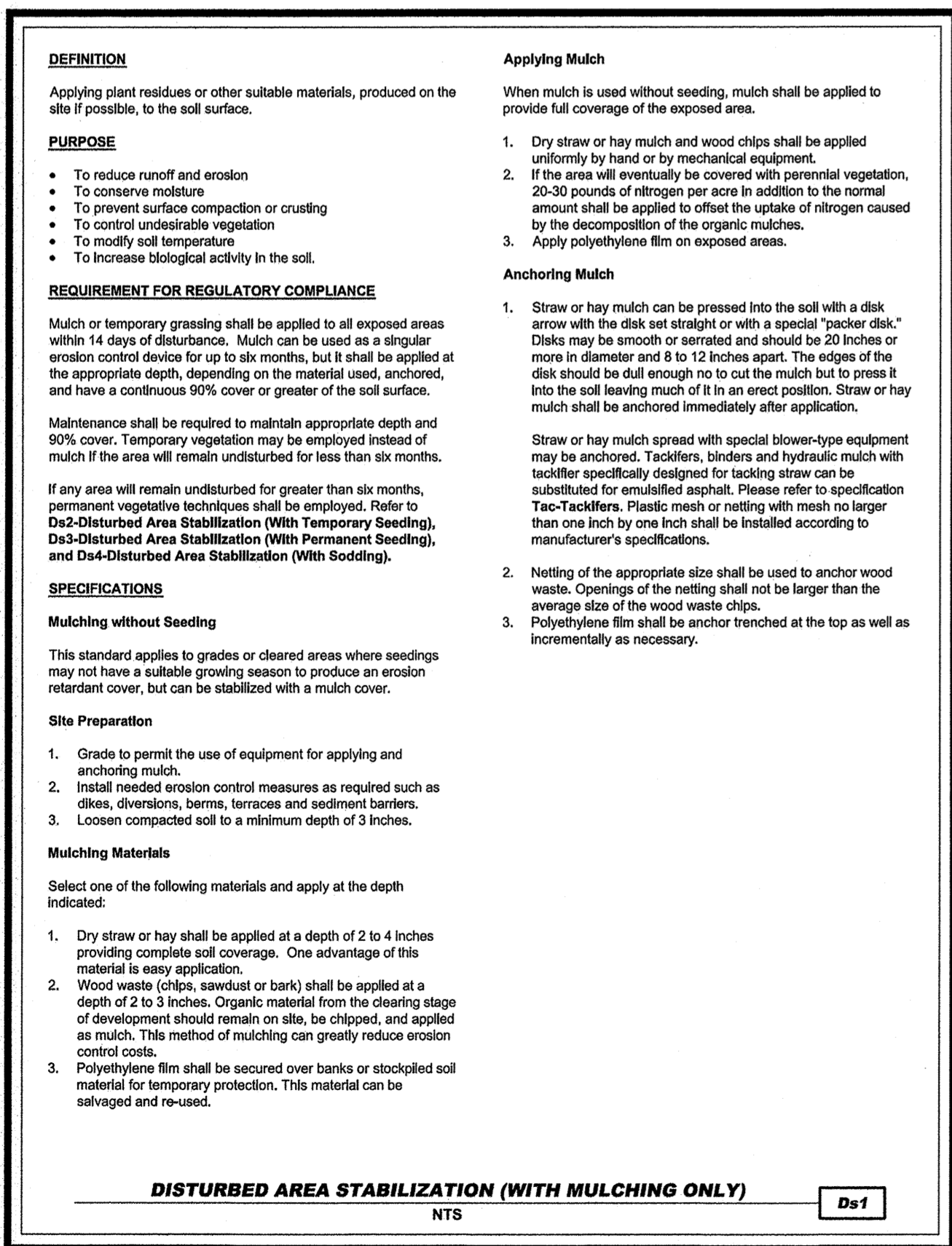
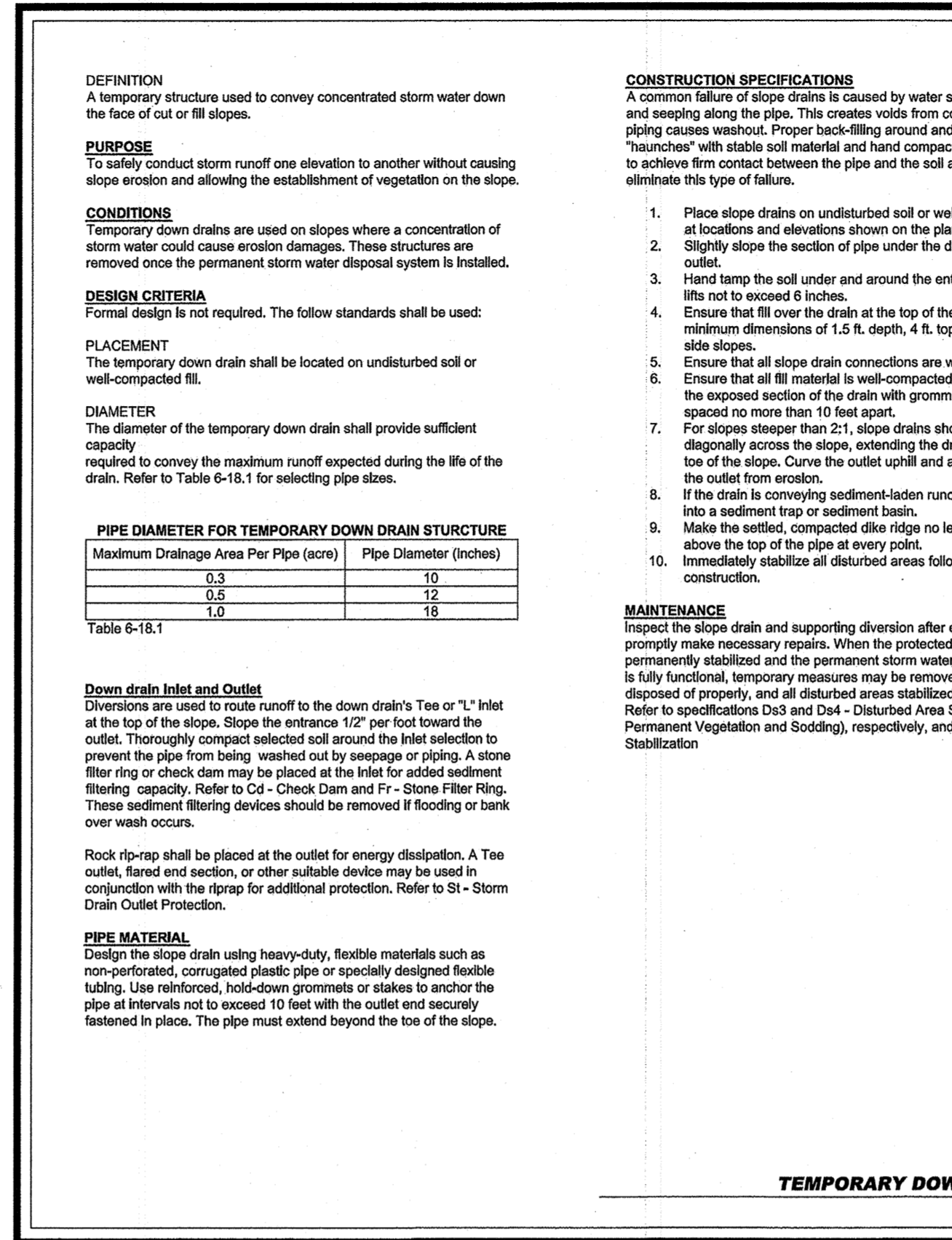
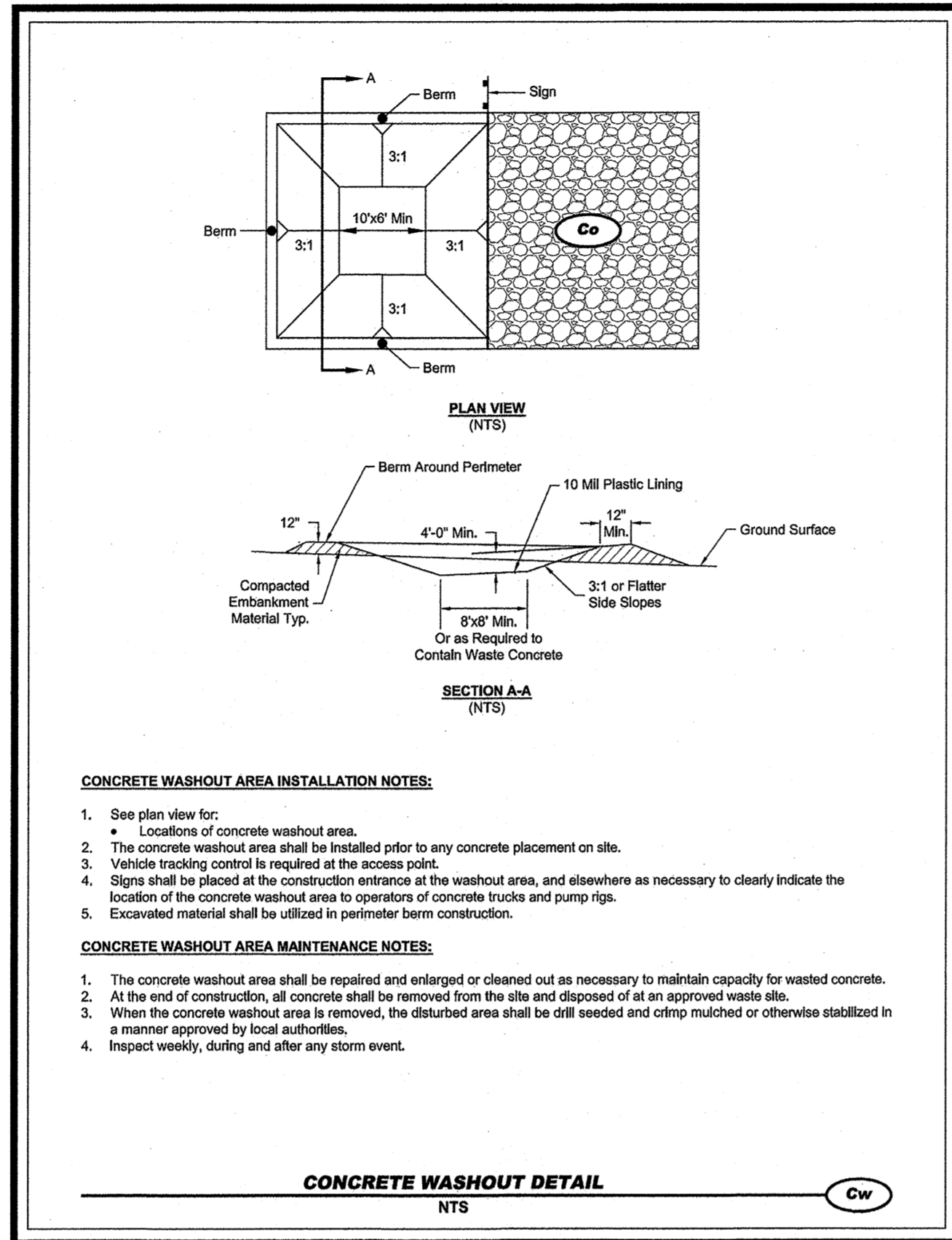
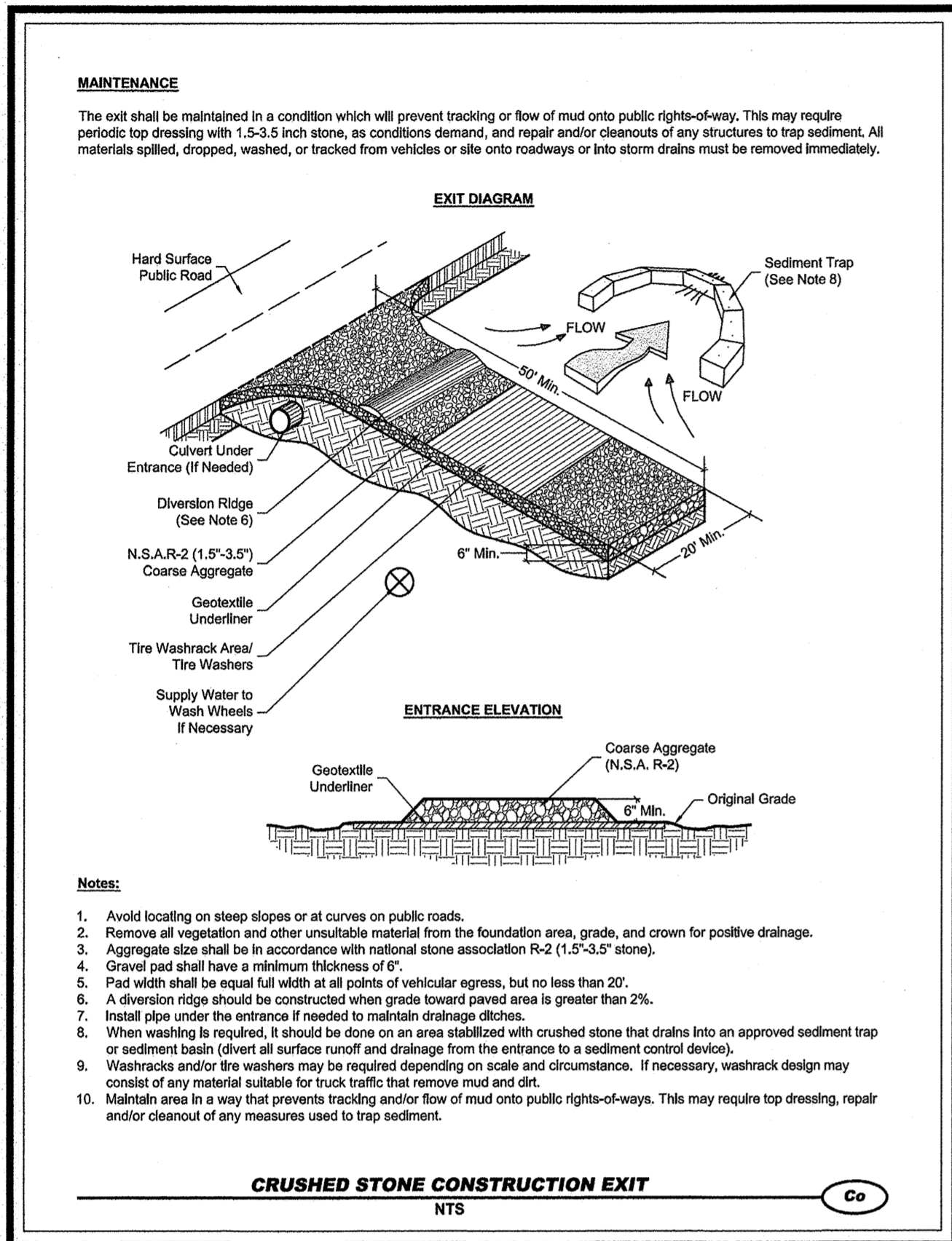
CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY ###

For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.4



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 CONTACT: TRAVIS PRUITT, P.E., ANDERSON
 e-mail: Tanderson@travispruitt.com

REVISIONS

NO.	DATE	DESCRIPTION
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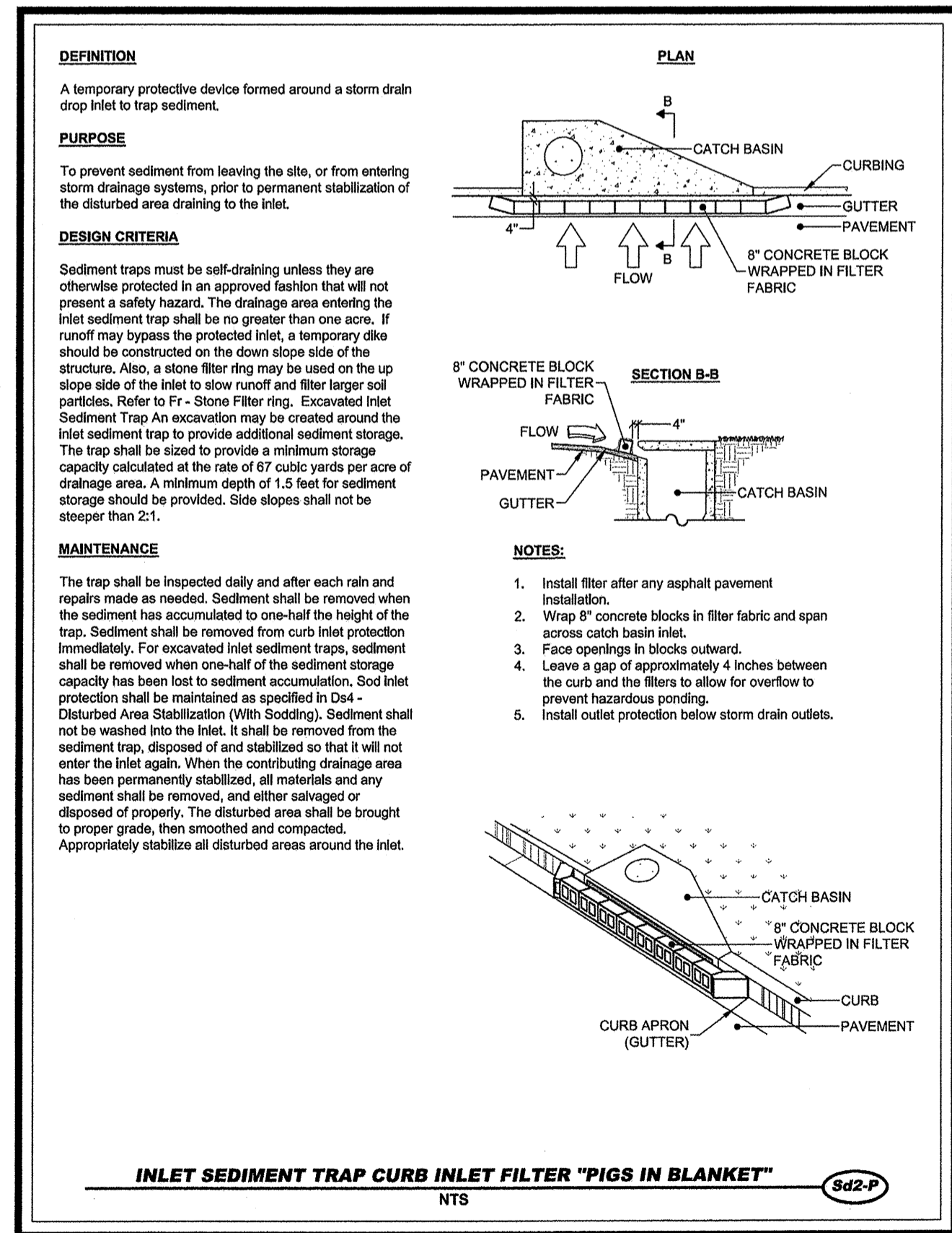
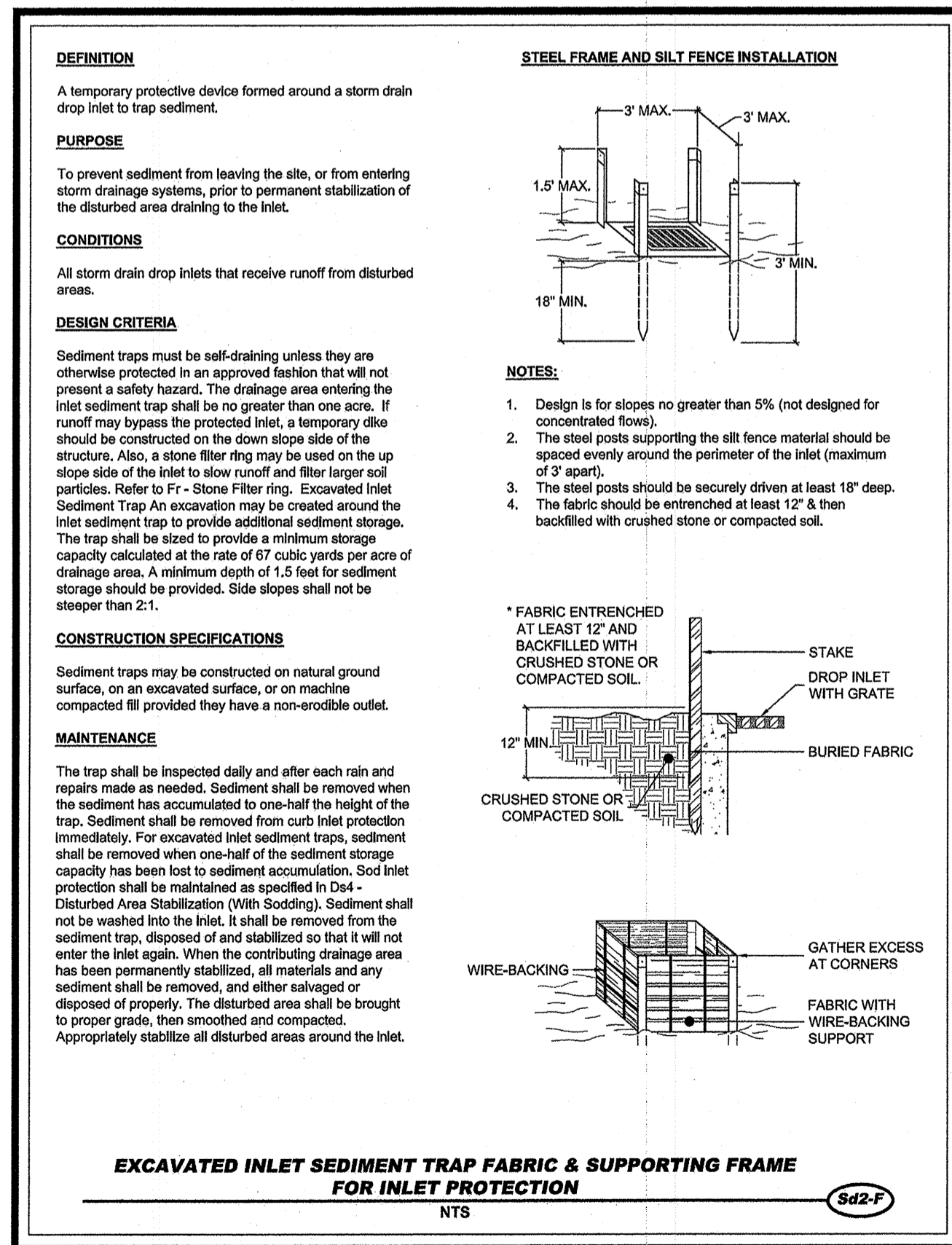
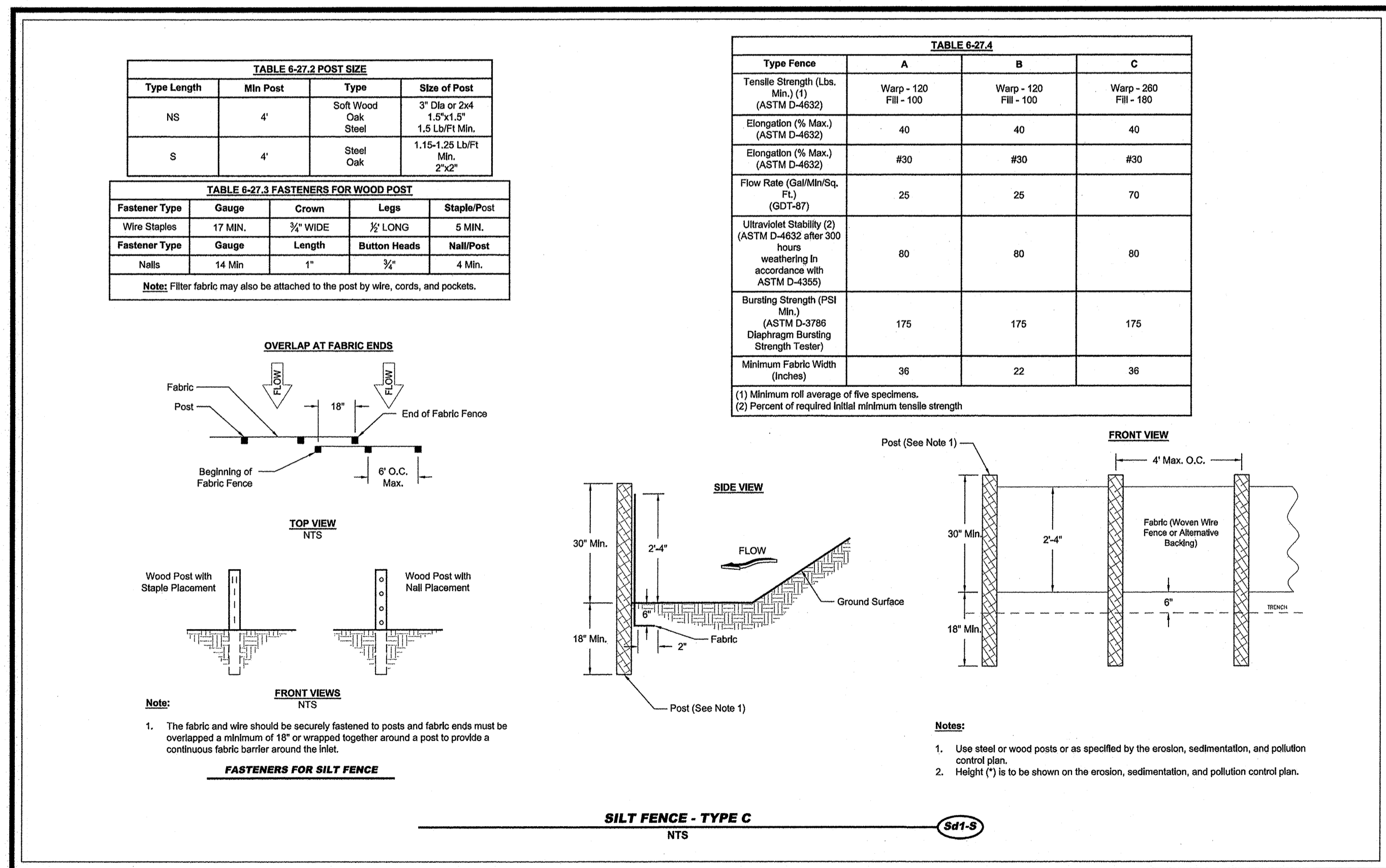
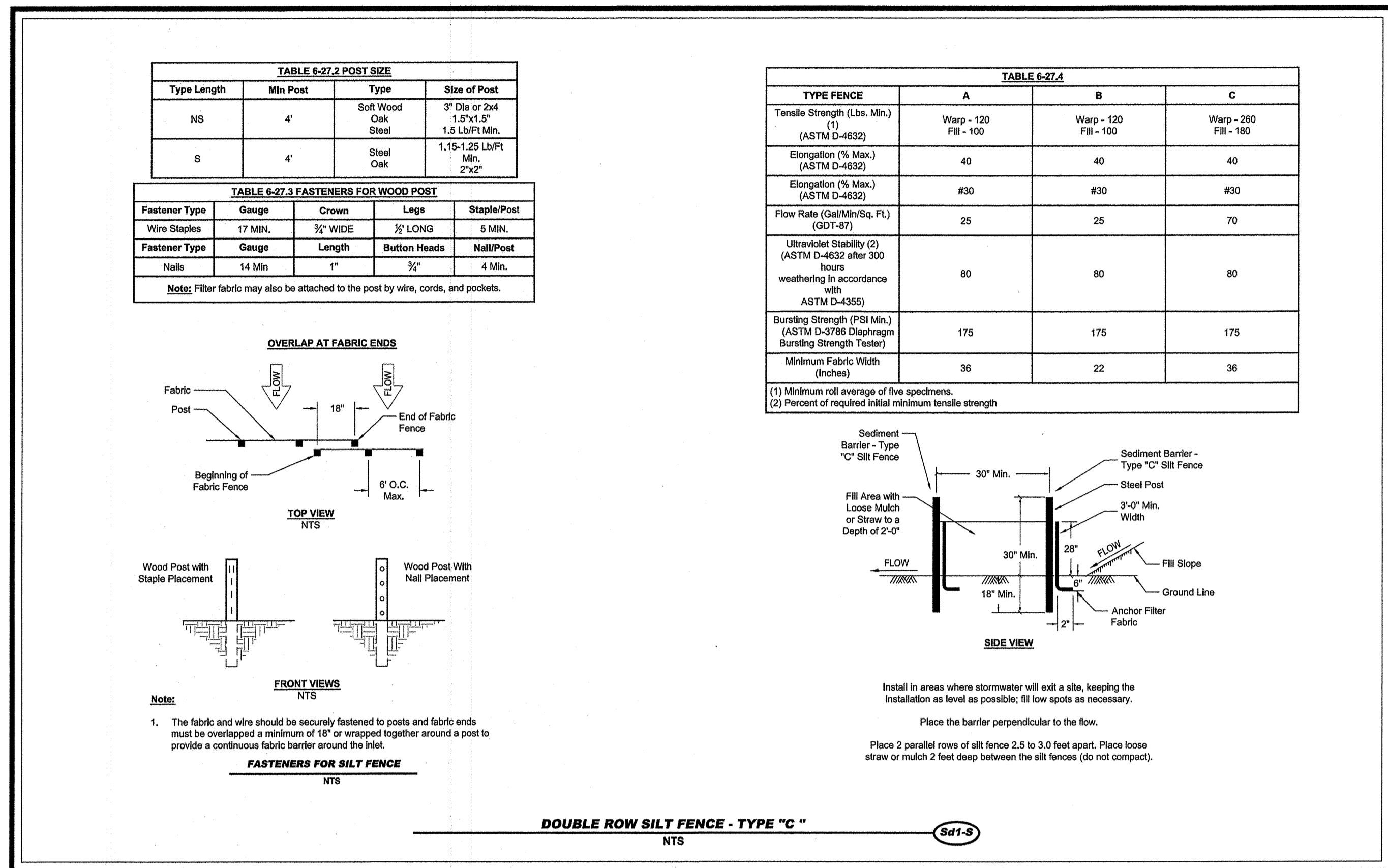
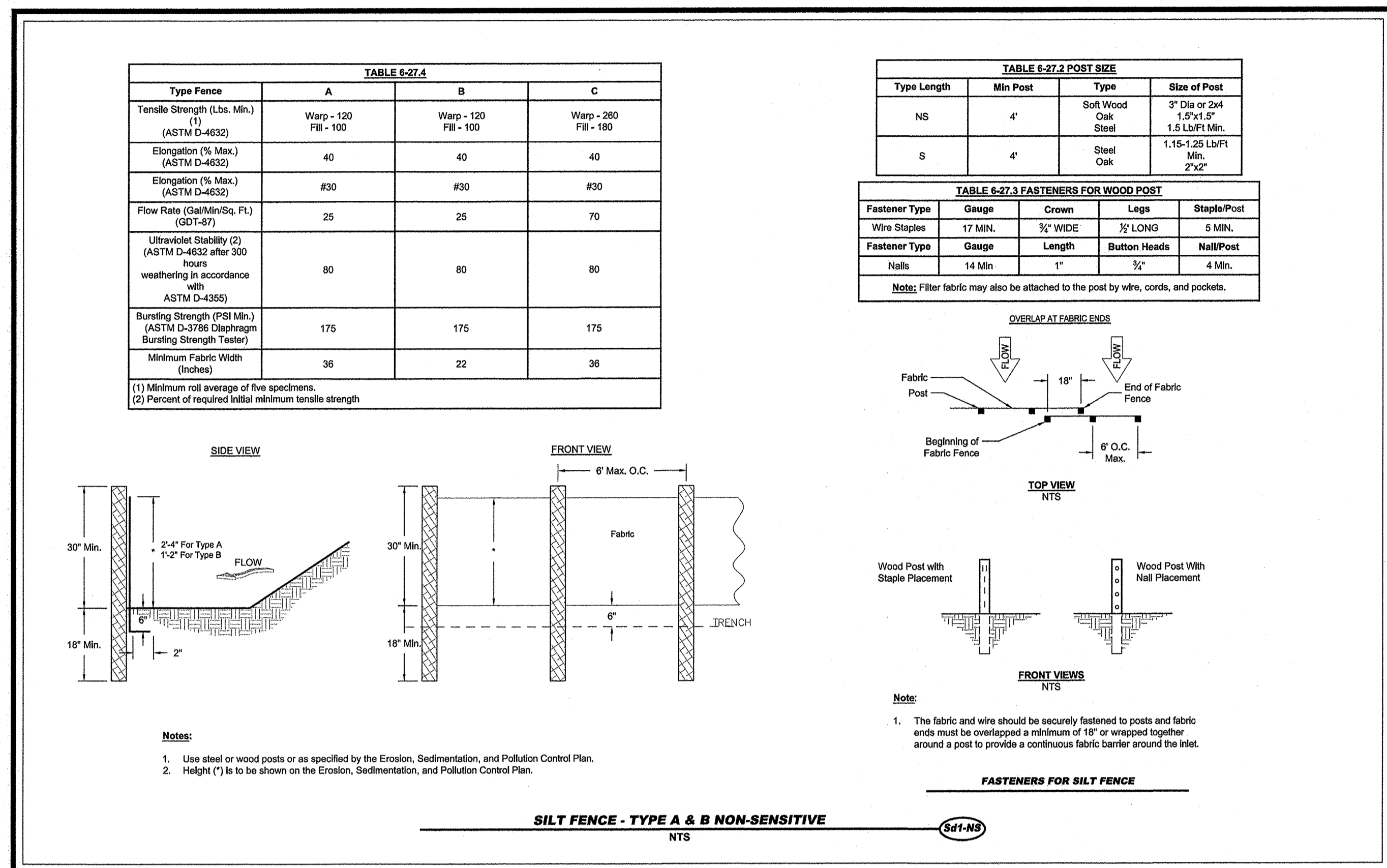
CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA

For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
 SCALE: N/A
 CN: 190452PN
 JN: 190452
 FN: 166-D-038
 SHEET NO: C6.5



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CONTACT PERSON: TED ANDERSON
e-mail: Tanderson@travispruit.com

REVISONS

NO	DATE	DESCRIPTION

CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY

For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
SCALE: N/A
JN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.7

DEFINITION

Paved and/or rip-rapped channel sections, placed below storm drain outlets.

PURPOSE

To reduce velocity of flow before entering receiving channels below storm drain outlets.

CONDITIONS

This standard applies to all storm drain outlets, road culverts, paved channel outlets, etc., discharging into natural or constructed channels. Analysis and/or treatment will extend from the end of the conduit, channel or structure to the point of entry into an existing stream or publicly maintained drainage system.

DESIGN CRITERIA

Structurally lined aprons at the outlets of pipes and paved channel sections shall be designed according to the following criteria.

Capacity

Peak storm flow from the 25-year, 24-hour frequency storm or the storm specified in Title 12-7-1 of the Official Code of Georgia Annotated or the design discharge of the water conveyance structure, whichever is greater.

Tall Water Depth

The depth of tall water immediately below the pipe outlet must be determined for the design capacity of the pipe. Manning's Equation may be used to determine tall water depth. If the tall water depth is less than half the diameter of the outlet pipe, it shall be classified as a Minimum Tall Water Condition. If the tall water depth is greater than half the pipe diameter, it shall be classified as a Maximum Tall Water Condition. Pipes which outlet onto flat areas with no defined channel may be assumed to have a Minimum Tall Water Condition.

Apron Length and Thickness

The apron length and d50, stone median size, shall be determined from the curves according to tall water conditions: Minimum Tallwater-Use Figure 6-24.1; Maximum Tallwater-Use Figure 6-24.2; Maximum Stone Size-1.5x apron Thickness-1.5x apron Thickness.

Apron Width

If the pipe discharges directly into a well-defined channel, the apron shall extend across the channel bottom and up the channel banks to an elevation one foot above the maximum tall water depth or to the top of the bank (whichever is less). If the pipe discharges onto a flat area with no defined channel, the width of the apron shall be determined as follows:

- The upstream end of the apron, adjacent to the pipe, shall have a width three times the diameter of the outlet pipe.
- For a Minimum Tall Water Condition, the downstream end of the apron shall have a width equal to the pipe diameter plus the length of the apron. Refer to Figure 6-24.1.
- For a Maximum Tall Water Condition, the downstream end shall have a width equal to the pipe diameter plus 0.4 times the length of the apron. Refer to Figure 6-24.2.

Bottom Grade

The apron shall be constructed with no slope along its length (0.0% grade). The invert elevation of the downstream end of the apron shall be equal to the elevation of the invert of the receiving channel. There shall be no overfall at the end of the apron.

Side slope

If the pipe discharges into a well-defined channel, the side slopes of the channel shall not be steeper than 2:1.

Alignment

The apron shall be located so that there are no bends in the horizontal alignment.

Geotextile

Geotextiles should be used as a separator between the grade stone, the soil base, and the subgrade. The geotextile will prevent the migration of soil particles from the subgrade stone. The geotextile should be specified in accordance with AASHTO M298-06 Section 8, Geotextile Properly Requirements. The geotextile should be placed immediately adjacent to the subgrade without any voids.

Materials

The apron may be lined with riprap, gravelled riprap, or concrete. The median sized stone for rip rap, d50, shall be determined from the curves, according to the tall water condition. The gradation, quality and placement of rip rap shall conform to Appendix C.

CONSTRUCTION SPECIFICATIONS

- Ensure that the subgrade for the filter and rip rap follows the required lines and grades shown on the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material. Low areas in the subgrade on undisturbed soil may also be filled by increasing the rip rap thickness.
- The rip rap and gravel filter must conform to the specified grading limits shown on the plans.
- Geotextile must meet design requirements and be properly protected from punching or tearing during installation. Repair any damage by removing the rip rap and placing another piece of filter fabric over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter fabric.
- Rip rap may be placed by equipment, but take care to avoid damaging the filter.
- The minimum thickness of the rip rap should be 1.5 times the maximum stone diameter.
- Construct the apron on zero grade with no overfall at the end. Make the top of the rip rap at the downstream end level with the receiving area or slightly below it.
- Ensure that the apron is properly aligned with the receiving stream and preferably straight throughout its length. If a curve is needed to fit site conditions, place it in the upper section of the apron.
- Immediately after construction, stabilize all disturbed areas with vegetation.
- Stone quality - Select stone for rip rap from field stone or quarry stone. The stone should be hard, angular, and highly weather-resistant. The specific gravity of the individual stones should be at least 2.5.
- Filter - Install a filter to prevent soil movement through the openings in the rip-rap. The filter should consist of a graded gravel layer or a synthetic filter cloth.

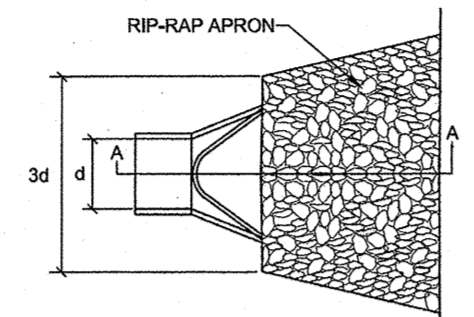
MAINTENANCE

Inspect rip rap outlet structures after heavy rains to see if any erosion around or below the rip rap has taken place or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

STORM DRAIN OUTLET PROTECTION

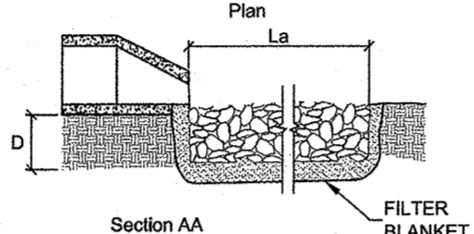
NTS

Pipe Outlet to Flat Area- No Well-defined Channel

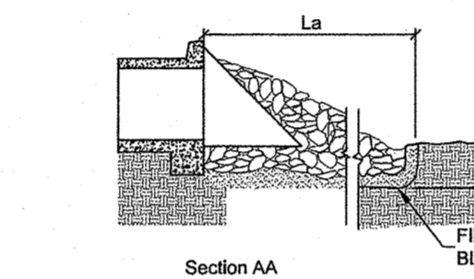
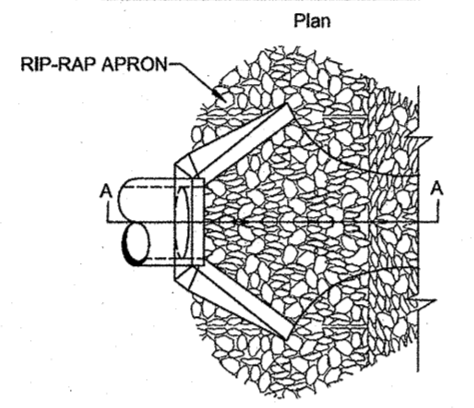


NOTES:

- La is the length of the rip rap apron.
- D = 1.5 times the maximum stone diameter but not less than 6".
- In a well-defined channel extend the apron up the channel banks to an elevation of 6" above the maximum tall water depth or to the top of the bank, whichever is less.
- A filter blanket or filter fabric should be installed between the riprap and soil foundation.



Pipe Outlet to Well-defined Channel



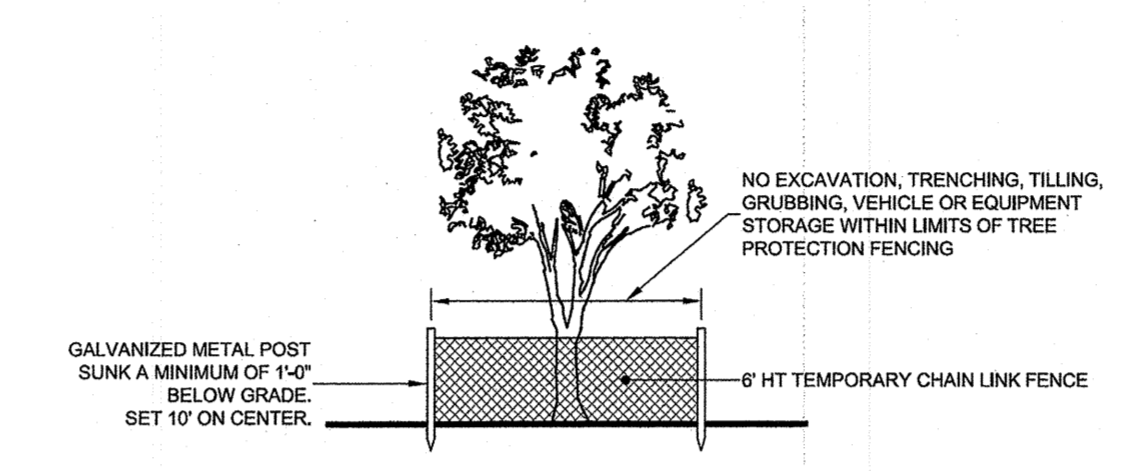
DEFINITION

To protect desirable trees from injury during construction activity.

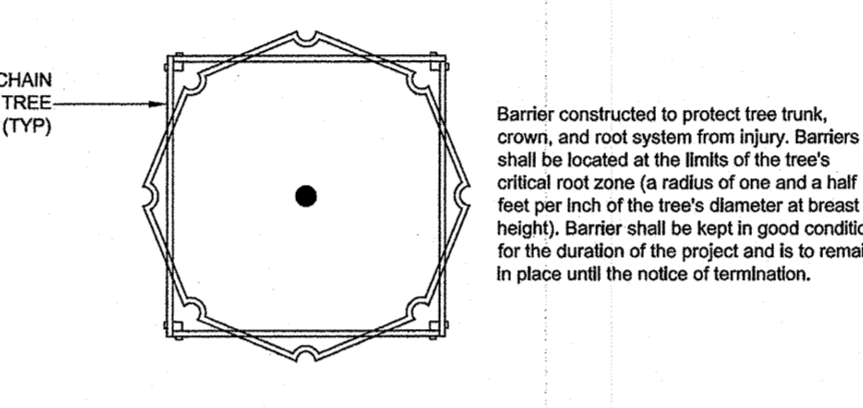
PURPOSE

To insure the survival of desirable trees where they will be effective for erosion and sediment control, watershed protection, landscape beautification, dust and pollution control, noise reduction, shade and other environmental benefits while the land is being converted from forest to urban-type uses.

CHAIN LINK FENCE DETAIL



FOR ADDED PROTECTION



- Provide 4" deep organic mulch over any unprotected root zone.
- Provide temporary irrigation where practical and feasible.

TREE PROTECTION

NTS

Tr

DEFINITION

Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

PURPOSE

- To prevent surface and air movement of dust from exposed soil surfaces.
- To reduce the presence of airborne substances which may be harmful or injurious to human health, welfare, or safety, or to animals or plant life.

CONDITIONS

This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment.

Method and materials

A. Temporary methods

1. Mulches.

See standard Ds1 - disturbed area stabilization (with mulching only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to specification tac - tackifiers. Resins should be used according to manufacturer's recommendations.

2. Vegetative cover.

See specification Ds2 - Disturbed area stabilization (with temporary seeding).

3. Spray-on adhesives.

These are used on mineral soils (not effective on muck soils), keep traffic off these areas, refer to standard Tac-Tackifiers.

4. Tillage.

This practice is designed to roughen and bring clods to the surface. It is an emergency measure which should be used before wind erosion starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

5. Irrigation.

This is generally done as an emergency treatment, site is sprinkled with water until the surface is wet. Repeat as needed.

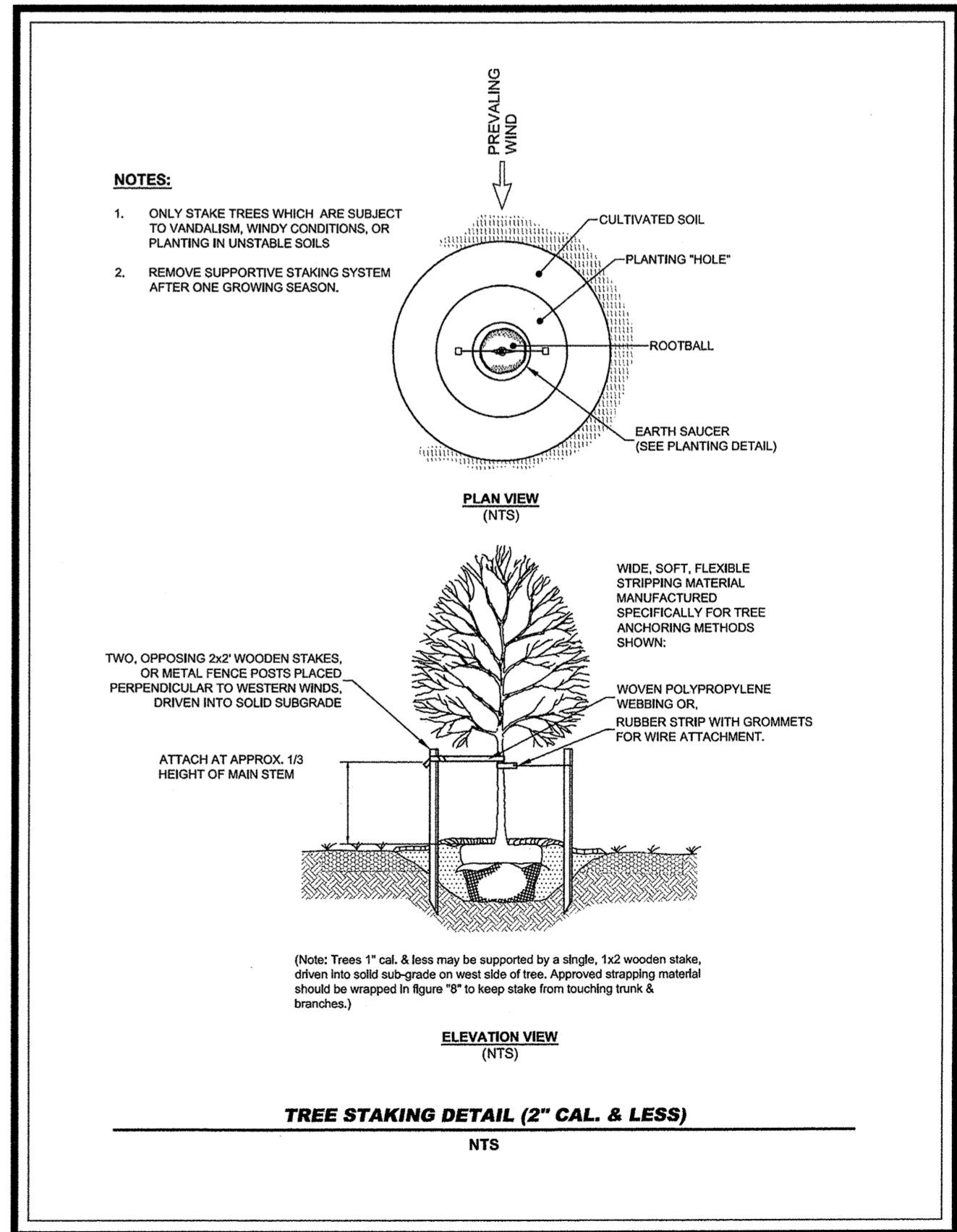
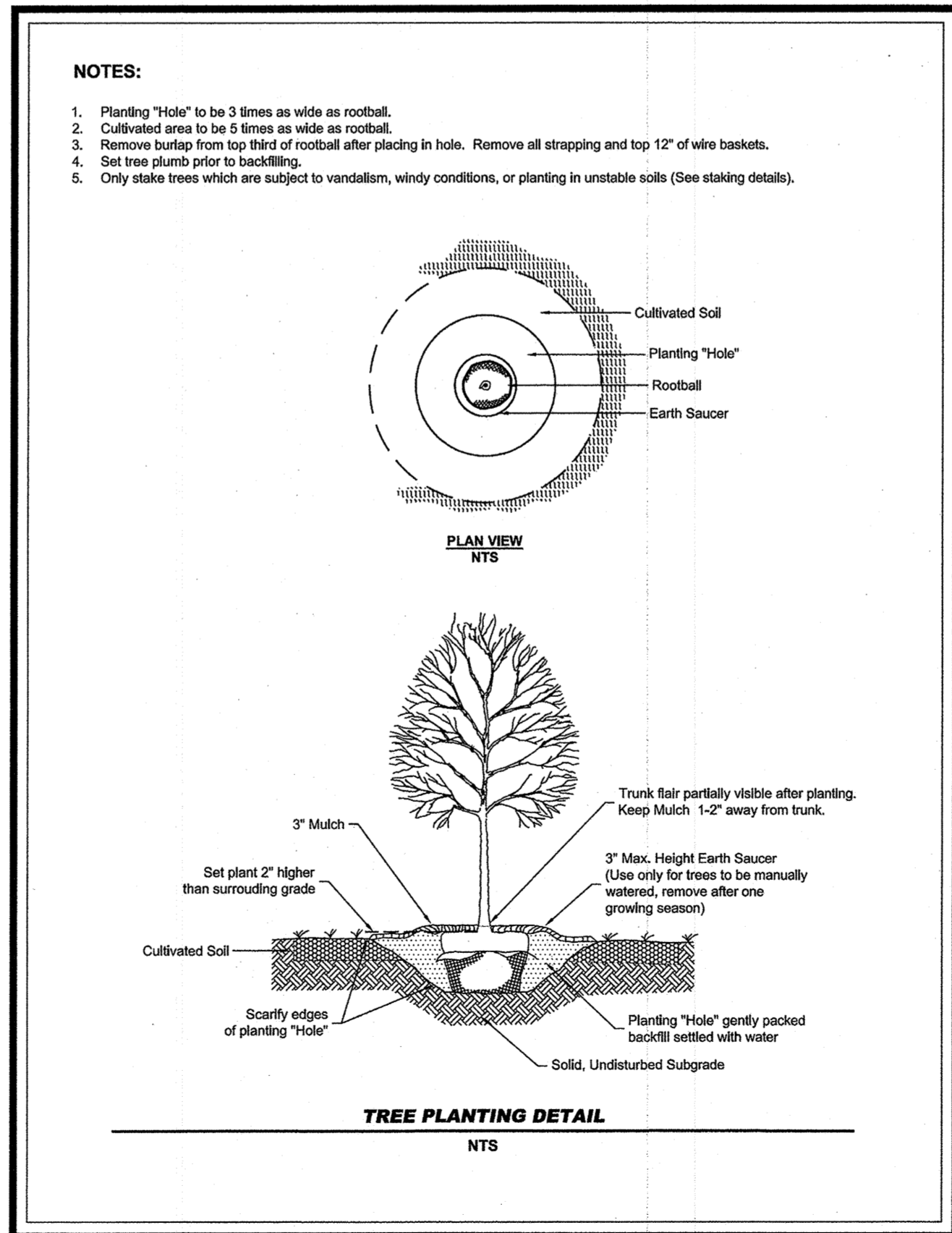
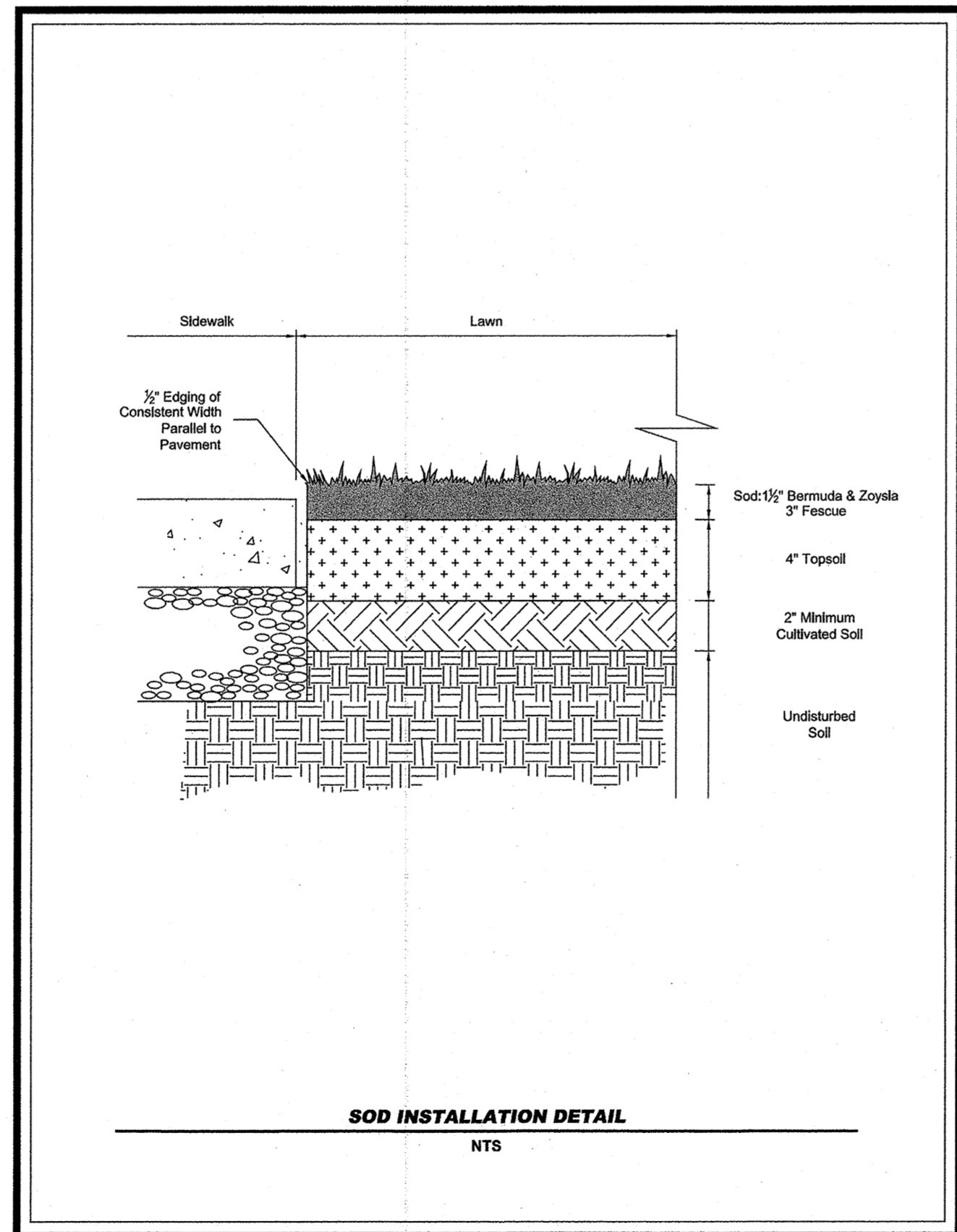
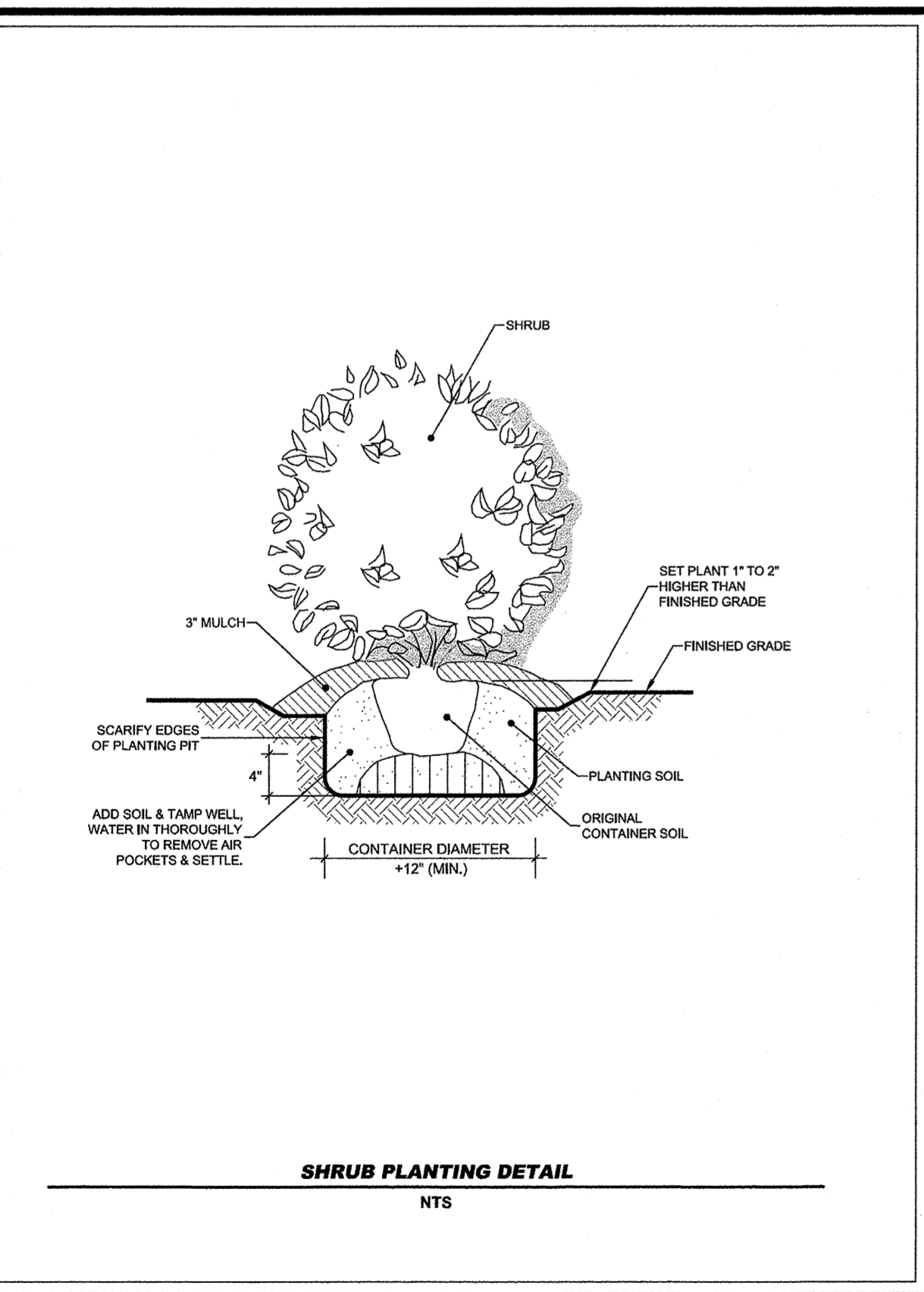
6. Barriers.

Solid board fences, snowfences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind erosion.

DUST CONTROL ON DISTURBED AREA

NTS

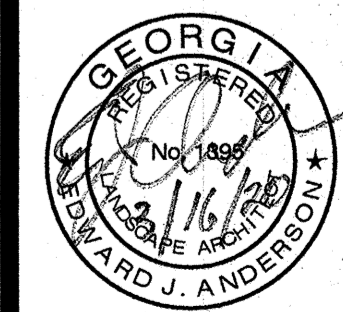
Du



CONSTRUCTION DETAILS

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY GEORGIA



For The Firm
Travis Pruitt & Associates, Inc.
DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.8

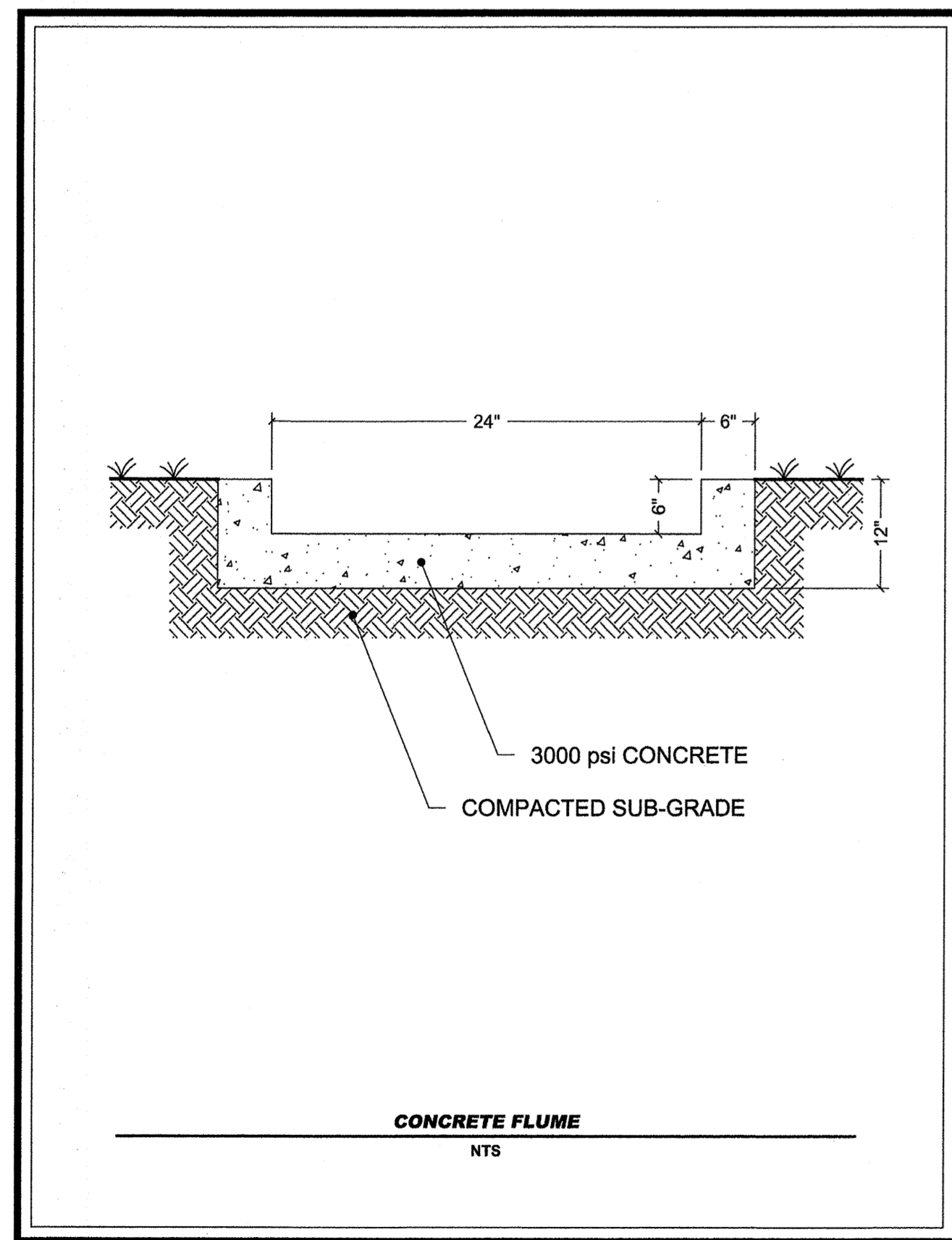
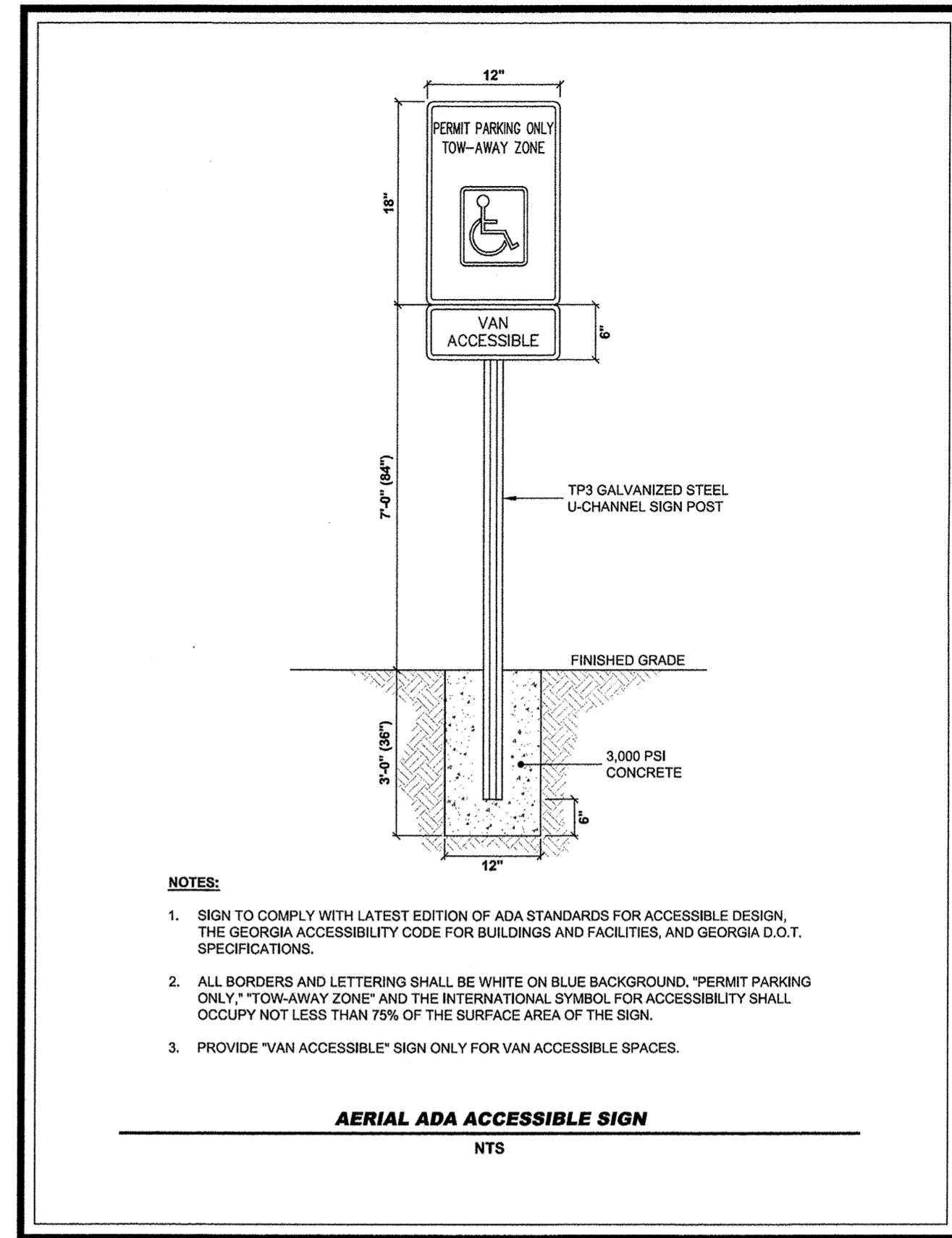
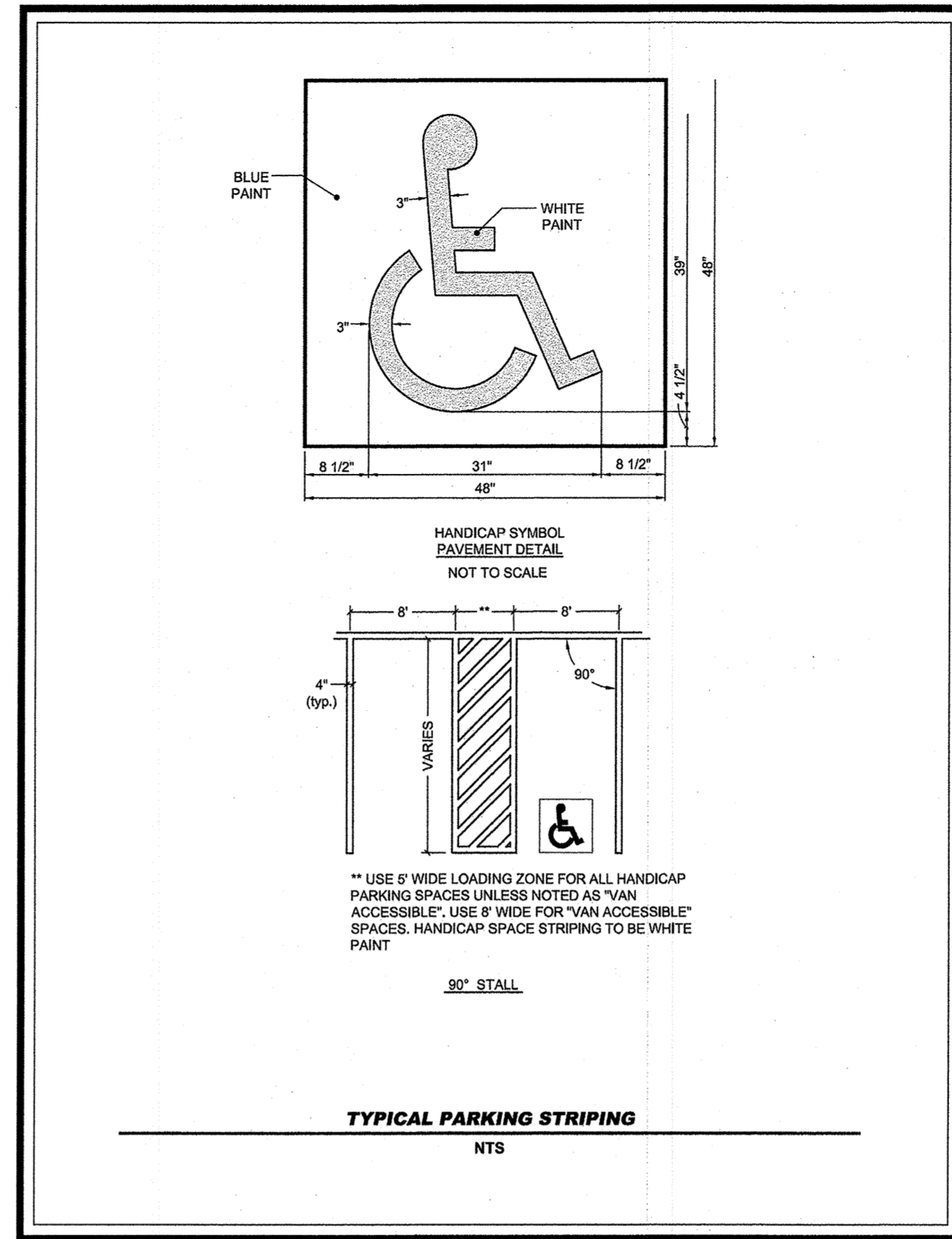
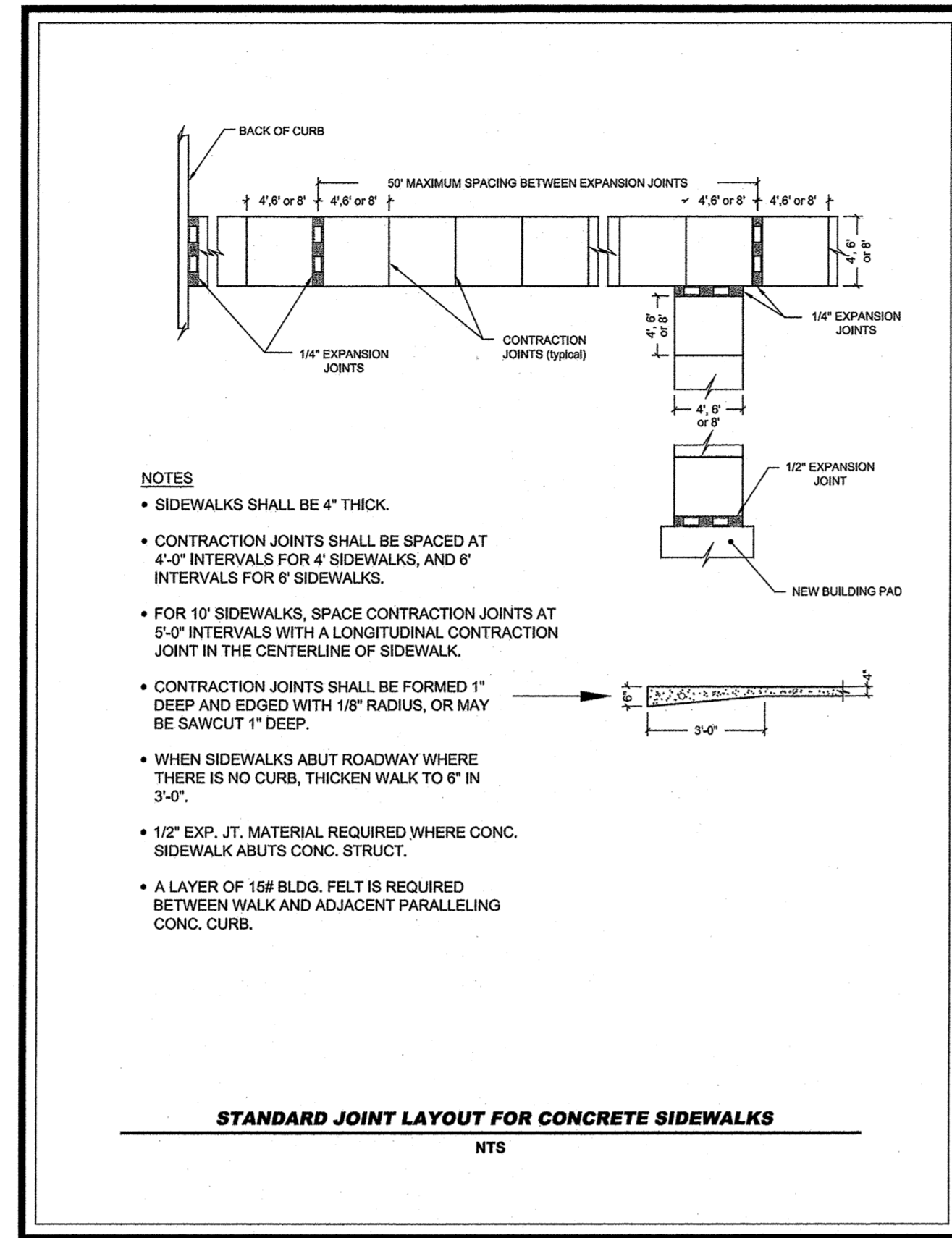
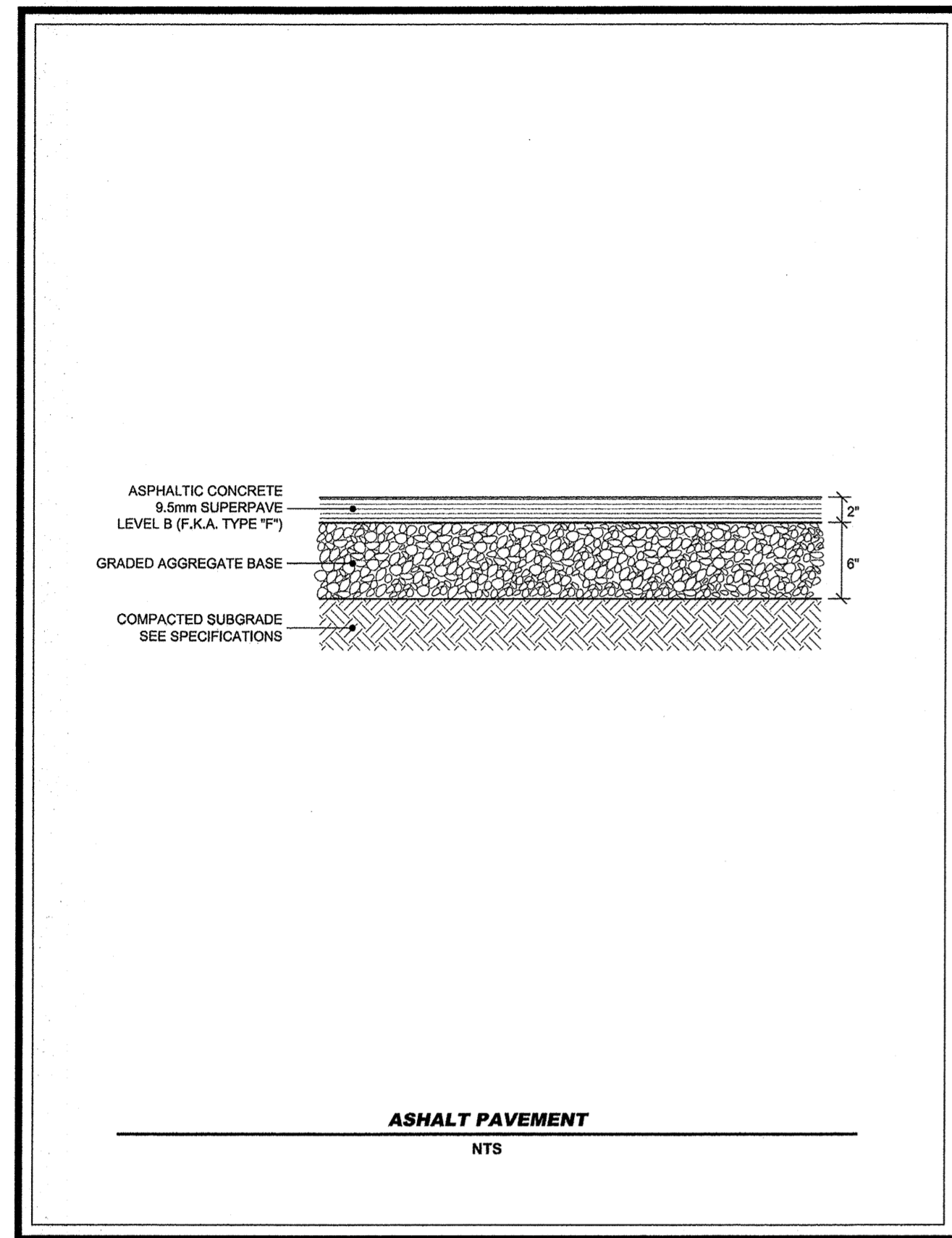
NO	DATE	DESCRIPTION
0	02/12/2020	ISSUE FOR PERMIT

REVISIONS

NO	DATE	DESCRIPTION
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3		
4		
5		

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7411
Fax: (770) 416-6759
www.travispruitt.com
CONTACT PERSON: EDWARD J. ANDERSON
e-mail: anderson@travispruitt.com

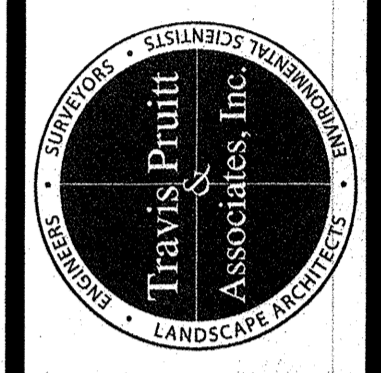
Travis Pruitt & Associates, Inc.
LANDSCAPE ARCHITECTS



NO	DATE	DESCRIPTION
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REVISIONS

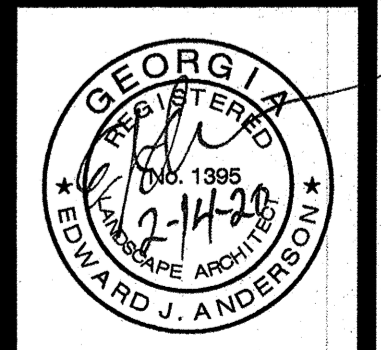
4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-8759
www.travispruit.com
CONTACT PERSON: TED ANDERSON
e-mail: Tanderson@travispruit.com



CONSTRUCTION DETAILS

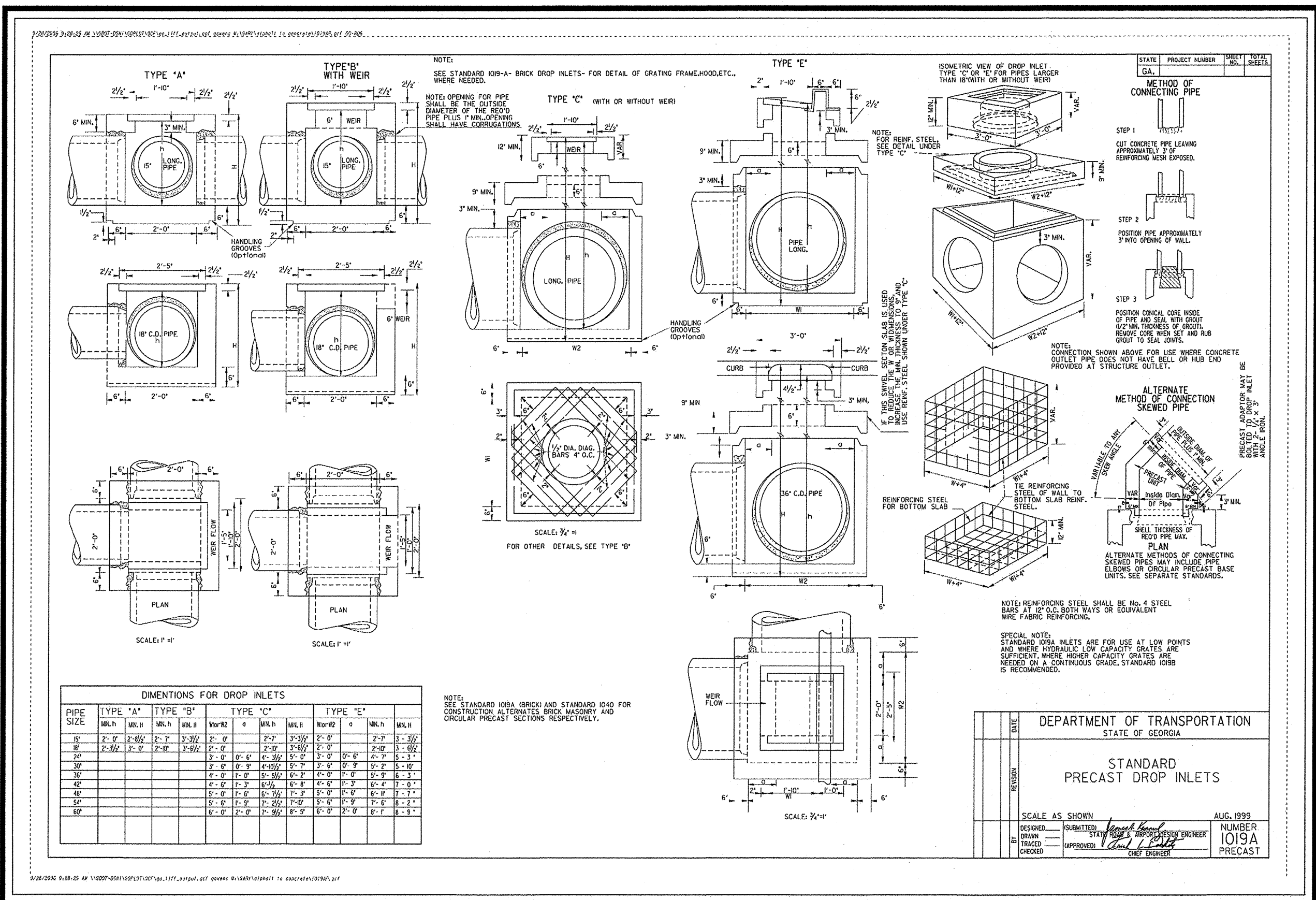
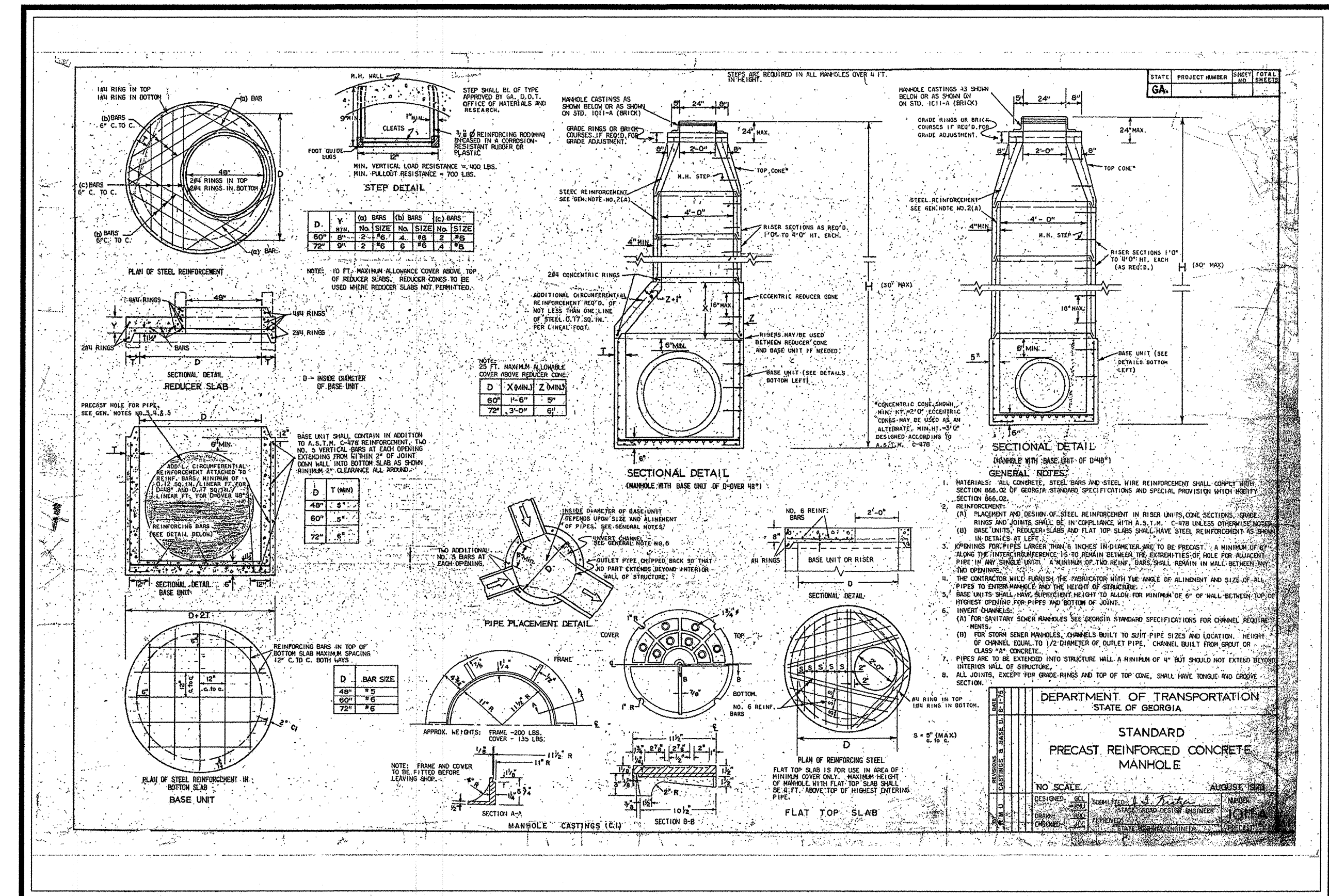
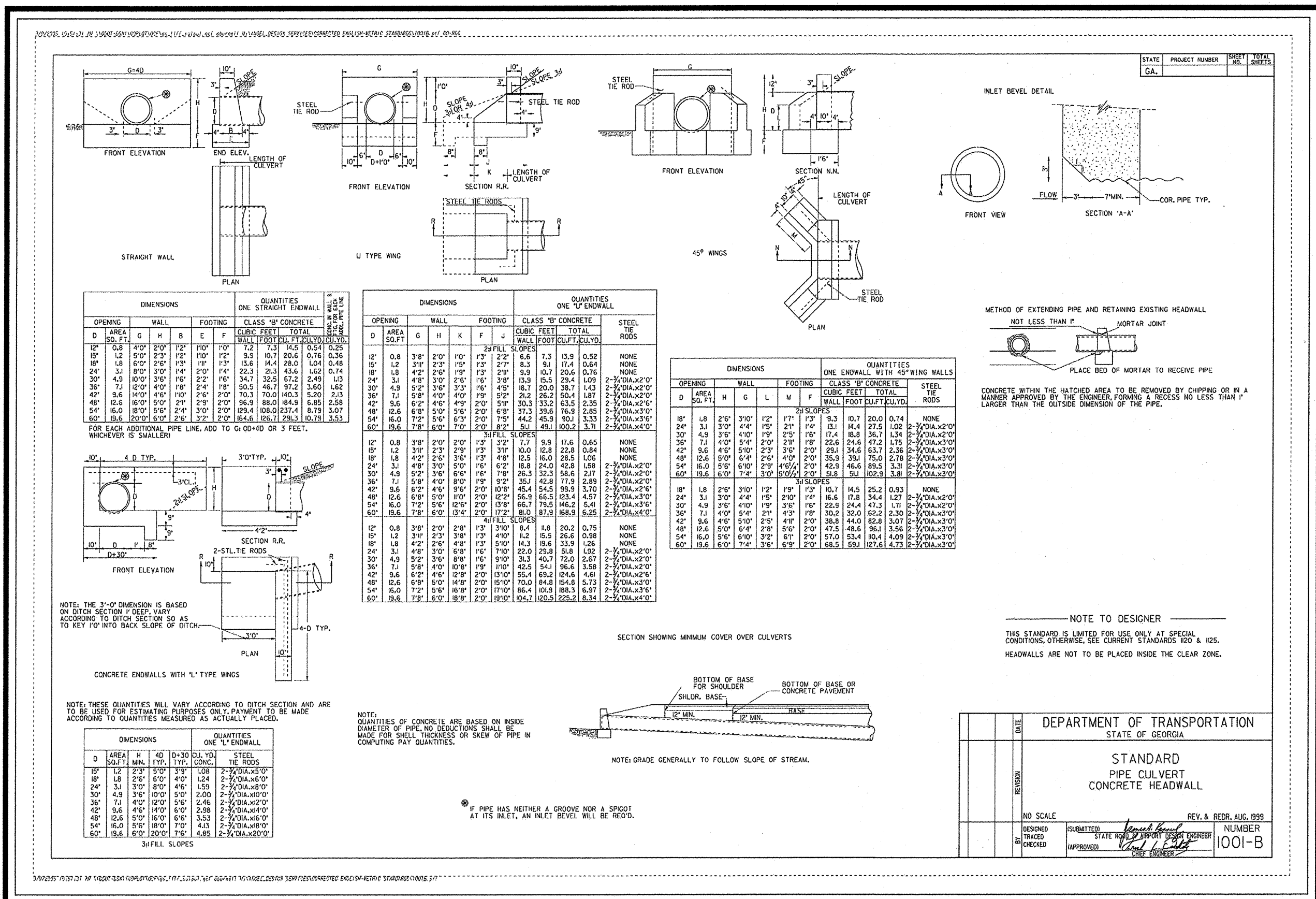
FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY ##



For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.9



NO.	DATE	DESCRIPTION
1		
2		
3		
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Norcross, Georgia 30093
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CONTACT PERSON: TED ANDERSON
e-mail: Tanderson@travispruit.com

Travis Pruitt Associates, Inc.
LANDSCAPE ARCHITECTS

CONSTRUCTION DETAILS

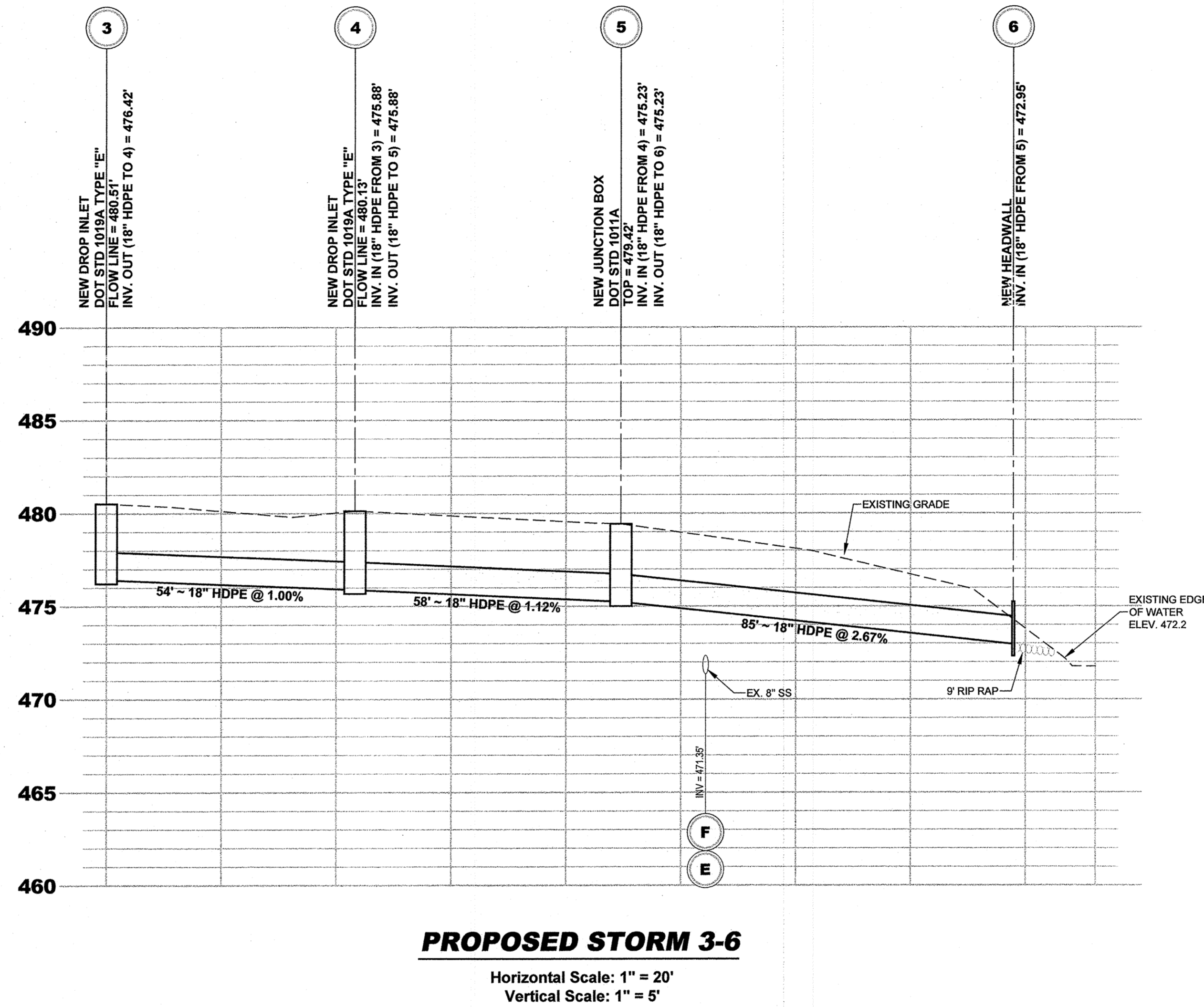
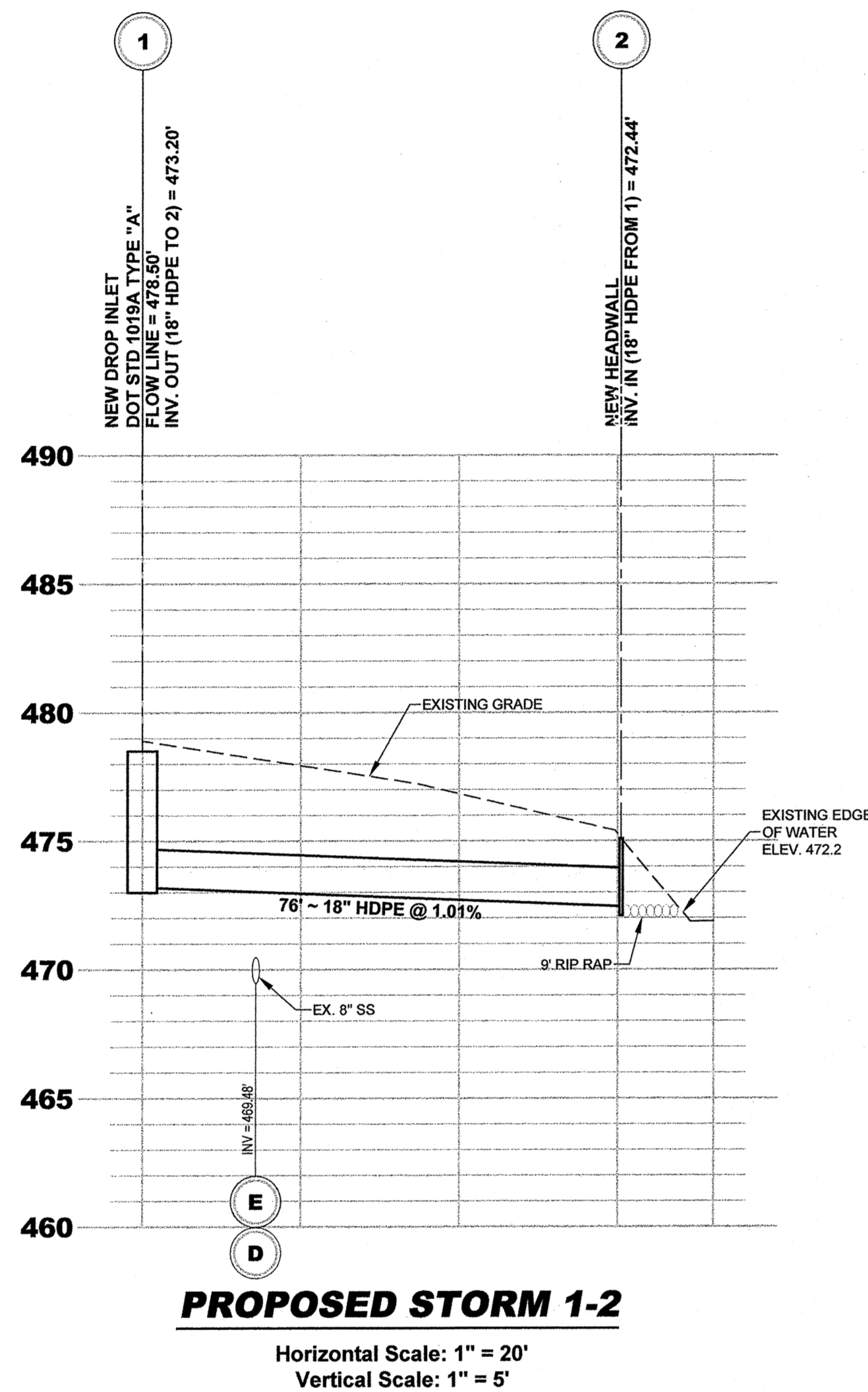
FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY #888

For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020
SCALE: N/A
CN: 190452PN
JN: 190452
FN: 166-D-038
SHEET NO: C6.10

GEORGIA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
EDWARD J. ANDERSON



NOTE: ALL CORRUGATED METAL PIPE (CMP) SHALL BE TYPE II ALUMINIZED PIPE.
 NOTE: ALL CMP WITHIN DETENTION SYSTEM TO BE FULLY ASPHALT COATED.
 NOTE: ALL PIPE LENGTHS ARE SCALED LENGTHS FROM CENTER OF STRUCTURE. CONTRACTOR SHALL VERIFY PRIOR TO ORDERING PIPE.
 NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

GEORGIA811 1-800-282-7411
 Utilities Protection Center, Inc. Know what's below. Call before you dig.

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NO.	DATE	DESCRIPTION
1	02/14/2020	ISSUED FOR PERMIT
2		
3		
4		
5		
6		

REVISIONS

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Travis Pruitt & Associates, Inc.
 ENGINEERS • ARCHITECTS • LANDSCAPE ARCHITECTS

STORM PROFILES

FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204 • LAND LOTS 2 AND 3 • 11TH DISTRICT • CITY OF MACON • BIBB COUNTY, GEORGIA

DATE: 02/14/2020
 SCALE: V:1"=5'; H:1"=20'
 CN: 190452PR
 JN: 190452
 FN: 166-D-038
 SHEET NO: C7.0

GEORGIA
 PROFESSIONAL ENGINEER
 No. 19000
 EDWARD J. ANDERSON
 2-16-20
 For The Firm
 Travis Pruitt & Associates, Inc.

SITE AREA LIGHT FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LED LUMENS	LED WATTAGE	MOUNTING	NOTES
0A	LED PARKING AREA (SINGLE HEAD)	LITHONIA HUBBELL, LUMARK	OLF-3RH-40K-120-DOB	3,100 lm	36 w	WALL	-
0B	LED PARKING AREA (TWIN HEAD @ 90)	LITHONIA HUBBELL, LUMARK	(2) RSX1-P1-40K-R4S-120-SPA-HS-DOBxD	6,313 lm	102 w	POLE	1

LIGHT FIXTURE SCHEDULE NOTES

- PROVIDE 12'-0" POLE, LITHONIA #SSS-12-4C-DM28AS-FBC-TC-DOBxD.

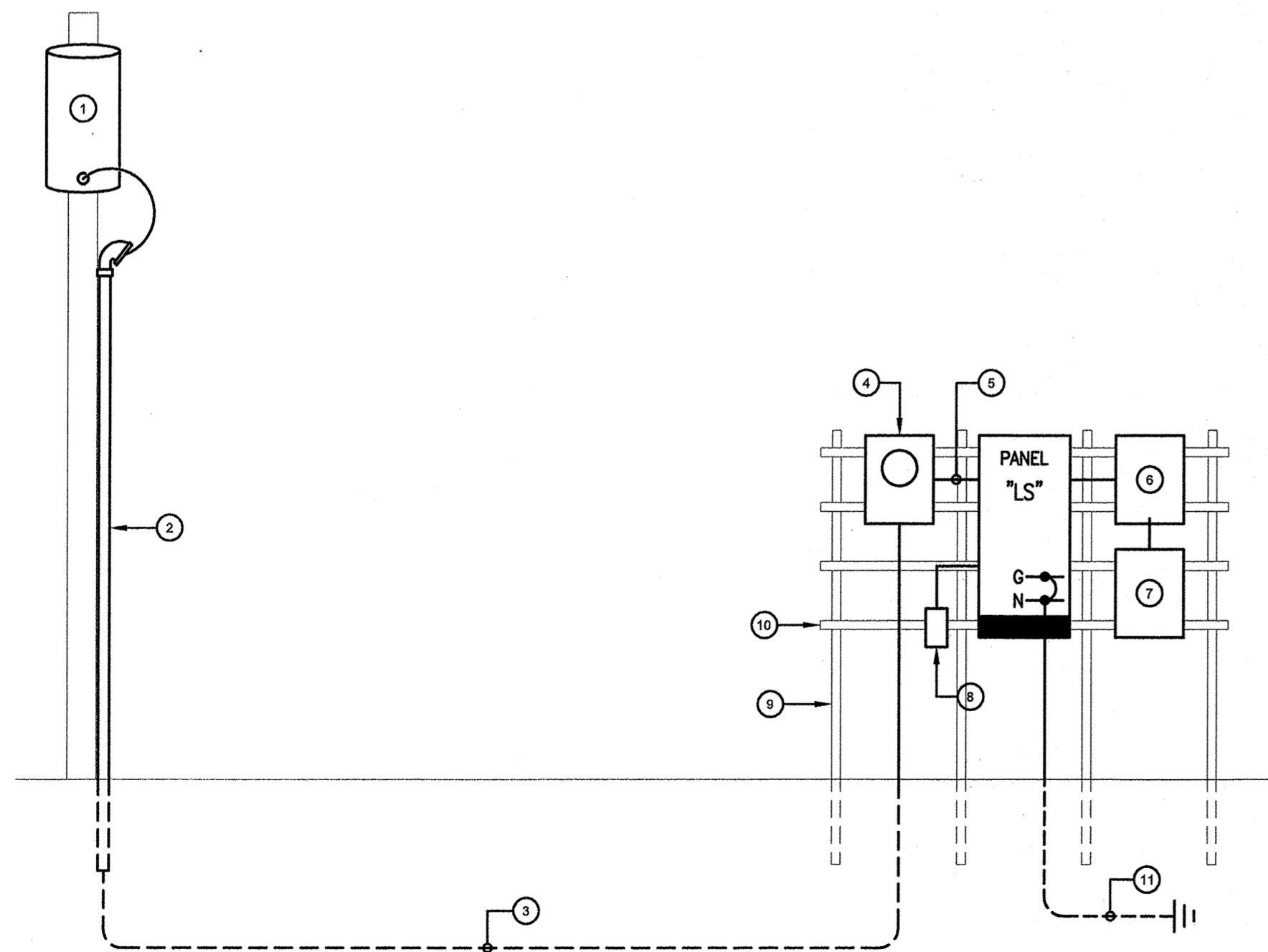
SERVICE	WATTS	NOTES	CKT NO.	A	B	C	CKT NO.	NOTES	WATTS	SERVICE
RCPT - GENERAL	180		1				2		72	LTG - SITE
SPARE			3				4		174	LTG - SITE
SPARE			5				6			SPARE
SPARE			7				8			SPARE
SPACE			9				10			SPARE
SPACE			11				12			SPACE
SPACE			13				14			SPACE
SPACE			15				16			SPACE
SPACE			17				18			SPACE
SPACE			19				20			SPACE
SPACE			21				22			SPACE
SPACE			23				24			SPACE
SPACE			25				26			SPACE
SPACE			27				28			SPACE
SPACE			29				30			SPACE

PANEL SCHEDULE "LS"

SERVICE: 120/240 VOLT, 1 PHASE, 3 WIRE
 MAINS: 100 AMP WITH 100/2 M.C.B.
 BRANCHES: 20/1 EXCEPT AS NOTED
 MOUNTING: SURFACE (NEMA 3R)

CONNECTED LOAD: 0.50 KVA

GENERAL NOTES:
 - PROVIDE SEPARATE GROUND BUS
 - PROVIDE SERVICE ENTRANCE LABEL
 - PROVIDE PAD LOCKABLE ENCLOSURE



1 ELECTRICAL RISER DIAGRAM
SCALE: N.T.S.

- ELECTRICAL GENERAL NOTES**
- THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED PROJECT TO INSPECT THE EXISTING CONDITIONS AND DETERMINE THE SCOPE OF HIS WORK. THE SITE INSPECTION SHALL BE MADE PRIOR TO SUBMITTING BID FOR THE PROPOSED PROJECT. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL INFORM ARCHITECT PRIOR TO BIDDING OF DISCREPANCIES WHICH EXIST BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
 - REFER TO RISER DIAGRAM FOR FEEDER SIZES FOR PANELBOARDS.
 - CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW LIGHTING FIXTURES, RECEPTACLES, PANELBOARDS, ETC. WITH EXISTING STRUCTURE, PIPING, ETC. AND MAKE ADJUSTMENTS AS REQUIRED.
 - PROVIDE ARC FLASH LABELING FOR ALL ELECTRICAL EQUIPMENT PER N.E.C. AND N.F.P.A. 70E. MAIN DISTRIBUTION PANEL OR MAIN SWITCHGEAR MANUFACTURER SHALL PROVIDE A COMPLETE ARC FLASH STUDY AND ALL EQUIPMENT LABELING.
 - PROVIDE FINISHED COVER PLATES FOR ALL JUNCTION BOXES.
 - BRANCH CIRCUIT CONDUCTORS SHALL NOT BE SMALLER THAN NO.12 AND WHERE BRANCH CIRCUIT CONDUCTOR RUNS FROM SOURCE (PANEL) TO THE LAST DEVICE ON THE CIRCUIT EXCEEDS 100 FT. IN LENGTH, THE CONDUCTORS SHALL BE NO. 10 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. FOR RUNS OVER 200 FT. IN LENGTH THE CONDUCTOR SHALL BE NO. 8 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. THE ABOVE APPLIES TO 120 VOLT CIRCUITS ONLY.
 - CONTRACTOR SHALL ASSURE THAT ALL WORK CLEARANCES PER THE N.E.C. ARE MET OR EXCEEDED WITH EQUIPMENT FURNISHED PRIOR TO ROUGH-IN. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE ELECTRICAL PLANS.
 - BRANCH CIRCUITING WIRES SHALL NOT PASS THROUGH ELECTRICAL DEVICES (PANELS, DISCONNECT SWITCHES, CONTACTORS, ETC.) OTHER THAN THOSE DESIGNED FOR THE USE AS A JUNCTION BOX.
 - WIRE NUTS ARE NOT PERMITTED WITH IN THE ELECTRICAL PANEL OR ELECTRICAL DEVICES. ALL WIRING SHALL BE PULLED AT REQUIRED LENGTHS WITH OUT SPLICING WITHIN ELECTRICAL PANELS AND OTHER ELECTRICAL DEVICES.
 - PROVIDE DEDICATED NEUTRALS FOR ALL CIRCUITS, DO NOT SHARE NEUTRALS.
 - PROVIDE AND INSTALL ALL CONDUIT AND POWER CIRCUITS FOR VIDEO SURVEILLANCE SYSTEM. REFER TO LOW VOLTAGE DRAWINGS FOR ALL CONDUIT AND POWER REQUIREMENTS.

- ELECTRICAL SPECIFICATIONS**
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT FOR COMPLETE ELECTRICAL INSTALLATION.
 - ALL WORK SHALL CONFORM TO REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND APPLICABLE STATE AND LOCAL CODES.
 - WORKMANSHIP SHALL BE FIRST QUALITY AND IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE BY SKILLED WORKERS.
 - LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE ACTUAL LOCATIONS WITH OTHER TRADES.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES AND PERMITS REQUIRED AND SHALL FURNISH CERTIFICATION OF INSPECTION TO OWNER AT THE COMPLETION OF PROJECT.
 - ALL MATERIAL SHALL BE NEW AND U.L. APPROVED AND LABELED.
 - UNLESS OTHERWISE NOTED, ALL WIRING ABOVE GRADE SHALL BE TYPE THW 75 DEGREES C IN EMT WITH SET-SCREW CONNECTORS. MINIMUM SIZE WIRE TO BE #12 AWG. ALL WIRE SHALL BE COPPER.
 - ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE TESTED AND ADJUSTED FOR PROPER OPERATION. COMPLETED WIRING SYSTEM SHALL BE FREE OF SHORT CIRCUITS.
 - PANELBOARDS SHALL BE SQUARE-D TYPE "N400" FOR 120/240, 1 PHASE, 3 WIRE SYSTEM OR APPROVED EQUALS AS SCHEDULED ON DRAWINGS. PROVIDE ENGRAVED NAMEPLATES AND TYPED DIRECTORY.
 - DUPLEX RECEPTACLES TO BE SPECIFICATION GRADE, 20A, 120V HUBBELL CAT. #5282-1 WITH METAL DEVICE PLATES.
 - LIGHTING FIXTURES AND LAMPS TO BE FURNISHED AND INSTALLED AS INDICATED ON THE FIXTURES SCHEDULE ON THE DRAWINGS.

- RISER DIAGRAM NOTES**
- NEW POLE MOUNTED TRANSFORMER, 120/240 VOLT, 1 PHASE, 3 WIRE. COORDINATE EXACT LOCATION, DETAILS AND METERING OF POLE MOUNTED TRANSFORMERS WITH GEORGIA POWER COMPANY PRIOR TO ROUGH-IN.
 - WEATHERHEAD AND RIGID STEEL CONDUIT BY ELECTRICAL CONTRACTOR.
 - UNDERGROUND SERVICE BY GEORGIA POWER COMPANY, COORDINATE PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR TO PROVIDE 1-1/2" PVC CONDUIT. TRANSITION TO RIGID STEEL CONDUIT ABOVE GRADE.
 - CT'S AND METERING BY GEORGIA POWER COMPANY, COORDINATE PRIOR TO ROUGH-IN.
 - #3 IN 1-1/4" RIGID STEEL CONDUIT.
 - 4-POLE LIGHTING CONTACTOR IN NEMA 3R PAD LOCKABLE ENCLOSURE WITH H-0-A SWITCH AND 120-VOLT COIL.
 - TORK SERIES, 24/7 DIGITAL TIME CLOCK IN NEMA 3R PAD LOCKABLE ENCLOSURE.
 - 120 VOLT, 20 DUPLEX RECEPTACLE MOUNT TO UNI-STRUT FRAME. PROVIDE WEATHERPROOF STEEL ENCLOSURE WITH METAL IN-USE COVER.
 - 4" SQUARE METAL FENCE POST, EXTEND 3'-0" BELOW GRADE AND ENCASE IN CONCRETE. PROVIDE METAL CAP.
 - UNI-STRUT HORIZONTAL BRACING, SECURE TO METAL FENCE POSTS.
 - #8 CU GROUND TO (3) 3/4"x8'-0" COPPERWELD GROUND RODS SPACED 6'-0" APART.

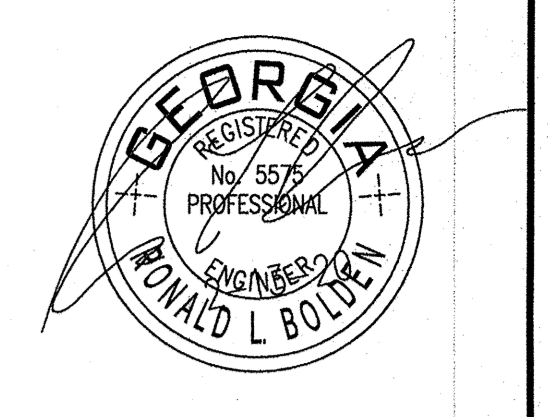
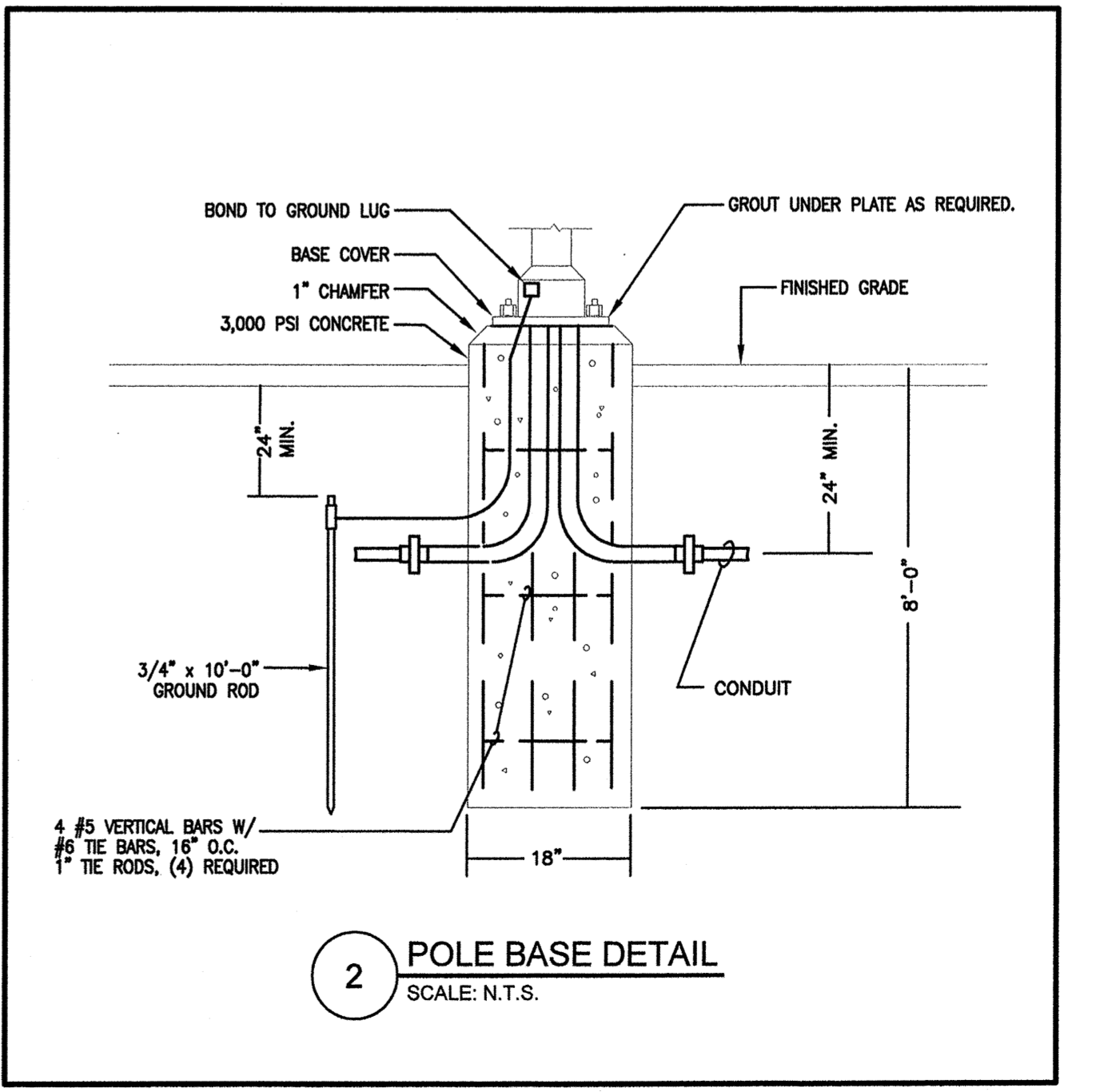
ELECTRICAL LEGEND

	HOMERUN TO PANELBOARD, LETTER INDICATES PANEL DESIGNATION, NUMBER INDICATES CIRCUIT NUMBER, SLASH MARK INDICATES NUMBER OF CONDUCTORS IN SIZE CONDUIT AS REQUIRED BY THE N.E.C. NO SLASH MARK INDICATES 2#12, 1#126. (/) INDICATES GREEN GROUND CONDUCTOR.
	CONDUIT CONCEALED IN CEILING OR WALL.
	CONDUIT CONCEALED IN SLAB OR BELOW GRADE.
	PANELBOARD, 120/240 VOLT, 1 PHASE, 3 WIRE.
	POLE MOUNTED AREA LIGHT, TYPE INDICATED.
	DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER, MOUNT AT 18" AFF UNLESS NOTED OTHERWISE. "WP" INDICATES NEMA 3R WEATHERPROOF ENCLOSURE WITH "IN-USE" COVER.

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
A.F.F.	ABOVE FINISHED FLOOR
C.B.	CIRCUIT BREAKER
EX	EXISTING DEVICE TO REMAIN
EXR	EXISTING DEVICE TO BE RELOCATED
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT TYPE RECEPTACLE
M.C.B.	MAIN CIRCUIT BREAKER
M.L.O.	MAIN LUGS ONLY
N.F.	NON FUSED
N.T.S.	NOT TO SCALE
W.P.	WEATHER PROOF (NEMA "3R") DEVICE

- COMPLETION DOCUMENTS**
- DRAWINGS**
- WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE BY THE CONTRACTOR, 3 COPIES OF RECORD AS-BUILT DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING THE FOLLOWING:
- A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM.
 - FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION.
- MANUALS**
- WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, 3 COPIES OF OPERATING AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OWNER BY THE CONTRACTOR. THE MANUALS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
- SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
 - OPERATIONS MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
 - NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
 - A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.



BOLDEN-WILLIAMS & ASSOCIATES INC.

3066 Highway 29 South
 Lawrenceville, Georgia 30044
 (T) 770.279.0413 (F) 770.925.4263

REVISIONS

NO.	DESCRIPTION

**FREEDOM PARK - PHASE 3
 MACON-BIBB COUNTY
 PARKS & RECREATION**

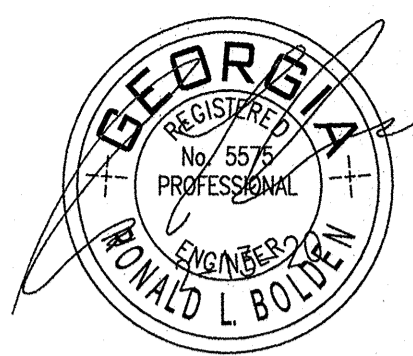
3301 ROFF AVENUE
 MACON, GEORGIA 31204

SHEET TITLE

Electrical
 Legend, Notes
 and Riser Diagram

DATE:	13 FEBRUARY 2020
PROJECT NO:	20/9076
SCALE:	AS NOTED
DRAWN BY:	M.T.F.
CHECKED BY:	J.B.W.

E-1



3066 Highway 29 South
Lawrenceville, Georgia 30044
(T) 770.279.0413 (F) 770.925.4263

REVISIONS

NO.	DESCRIPTION

FREEDOM PARK - PHASE 3
MACON-BIBB COUNTY
PARKS & RECREATION

3301 ROFF AVENUE
MACON, GEORGIA 31204

SHEET TITLE

Electrical
Site Plan

DATE: 13 FEBRUARY 2020

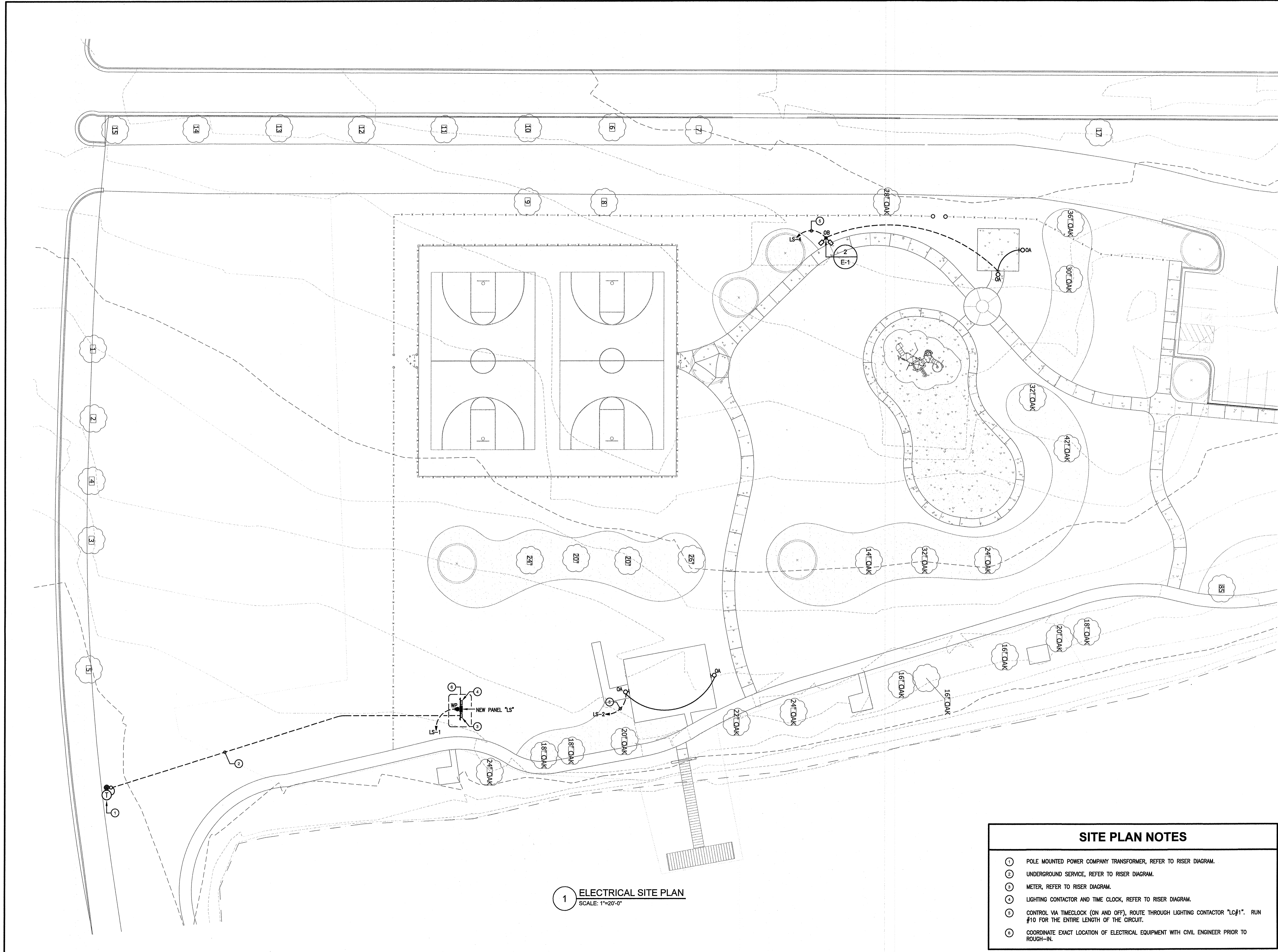
PROJECT NO: 20/9076

SCALE: AS NOTED

DRAWN BY: M.T.F.

CHECKED BY: J.B.W.

E-2



1 ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

SITE PLAN NOTES

- ① POLE MOUNTED POWER COMPANY TRANSFORMER, REFER TO RISER DIAGRAM.
- ② UNDERGROUND SERVICE, REFER TO RISER DIAGRAM.
- ③ METER, REFER TO RISER DIAGRAM.
- ④ LIGHTING CONTACTOR AND TIME CLOCK, REFER TO RISER DIAGRAM.
- ⑤ CONTROL VIA TIMECLOCK (ON AND OFF), ROUTE THROUGH LIGHTING CONTACTOR "LC#1". RUN #10 FOR THE ENTIRE LENGTH OF THE CIRCUIT.
- ⑥ COORDINATE EXACT LOCATION OF ELECTRICAL EQUIPMENT WITH CIVIL ENGINEER PRIOR TO ROUGH-IN.