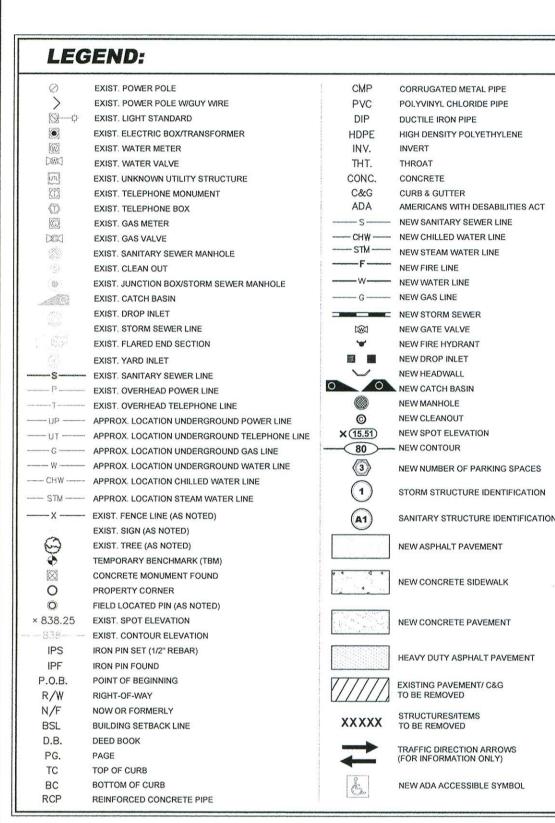
	SHEET INDEX
No.	DESCRIPTION
C0.1	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	EROSION CONTROL PLAN - INITIAL PHASE
C4.1	EROSION CONTROL PLAN - INTERMEDIATE PHASE
C4.2	EROSION CONTROL PLAN - FINAL PHASE
C4.3 - C4.6	EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES
L5.0	LANDSCAPE PLAN
C6.0 - C6.10	CONSTRUCTION DETAILS
C7.0	STORM PROFILES
E1 - E2	ELECTRICAL PLANS
l1 - l2	IRRIGATION PLANS

# **CONSTRUCTION PLANS**

# FREEDOM PARK PHASE 3

3301 ROFF AVENUE, MACON, GA 31204



0	EXIST. POWER POLE	CMP	CORRUGATED METAL PIPE
>	EXIST. POWER POLE W/GUY WIRE	PVC	POLYVINYL CHLORIDE PIPE
ý¢	EXIST. LIGHT STANDARD	DIP	DUCTILE IRON PIPE
0	EXIST. ELECTRIC BOX/TRANSFORMER	HDPE	HIGH DENSITY POLYETHYLENE
<u> </u>	EXIST. WATER METER	INV.	INVERT
)()	EXIST. WATER VALVE	THT.	THROAT
n.j	EXIST. UNKNOWN UTILITY STRUCTURE	CONC.	CONCRETE
3	EXIST. TELEPHONE MONUMENT	C&G	CURB & GUTTER
)	EXIST. TELEPHONE BOX	ADA	AMERICANS WITH DESABILITIES ACT
	EXIST. GAS METER	s	NEW SANITARY SEWER LINE
M	EXIST. GAS VALVE	CHW	NEW CHILLED WATER LINE
ķ.	EXIST. SANITARY SEWER MANHOLE	STM	NEW STEAM WATER LINE
,	EXIST. CLEAN OUT	F	NEW FIRE LINE
23	EXIST. JUNCTION BOX/STORM SEWER MANHOLE	w	NEW WATER LINE
(6)	EXIST. CATCH BASIN	G	NEW GAS LINE
	EXIST, DROP INLET		NEW STORM SEWER
	EXIST. STORM SEWER LINE	DEMI	NEW GATE VALVE
	EXIST. FLARED END SECTION	~	NEW FIRE HYDRANT
	EXIST. YARD INLET		NEW DROP INLET
-	EXIST. SANITARY SEWER LINE	<u></u>	NEW HEADWALL
	EXIST. OVERHEAD POWER LINE	0 0	NEW CATCH BASIN
	EXIST. OVERHEAD TELEPHONE LINE		NEW MANHOLE
D	APPROX. LOCATION UNDERGROUND POWER LINE	0	NEW CLEANOUT
γ	APPROX. LOCATION UNDERGROUND TELEPHONE LINE	X (15.51)	NEW SPOT ELEVATION
	APPROX. LOCATION UNDERGROUND GAS LINE	80	- NEW CONTOUR
	APPROX. LOCATION UNDERGROUND WATER LINE	3	NEW NUMBER OF PARKING SPACES
W	APPROX. LOCATION CHILLED WATER LINE		
М	APPROX. LOCATION STEAM WATER LINE	(1)	STORM STRUCTURE IDENTIFICATION
	EXIST. FENCE LINE (AS NOTED)	(A1)	SANITARY STRUCTURE IDENTIFICATION
3	EXIST. SIGN (AS NOTED)  EXIST. TREE (AS NOTED)		NEW ASPHALT PAVEMENT
7	TEMPORARY BENCHMARK (TBM)		NEW ASPHALI PAVENIENT
9	CONCRETE MONUMENT FOUND	Pa dal	
)	PROPERTY CORNER		NEW CONCRETE SIDEWALK
)	FIELD LOCATED PIN (AS NOTED)	Landhamanadhamanad	
3.25	EXIST. SPOT ELEVATION	C. W. 2545.00	NEW CONCRETE PAVEMENT
	EXIST. CONTOUR ELEVATION		NEW CONCRETE PAVEMENT
S	IRON PIN SET (1/2" REBAR)	[Section 1997]	
F	IRON PIN FOUND		HEAVY DUTY ASPHALT PAVEMENT
.B.	POINT OF BEGINNING		
.b. W	RIGHT-OF-WAY	Y/////	EXISTING PAVEMENT/ C&G TO BE REMOVED
F	NOW OR FORMERLY		
L	BUILDING SETBACK LINE	XXXXX	STRUCTURES/ITEMS TO BE REMOVED
В.	DEED BOOK		· · · · · · · · · · · · · · · · · · ·
		-	TRAFFIC DIRECTION ARROWS
3	PAGE		TOD INFORMATION ONLY

ACTIVITY							s.Vasterii	Т	I M	E (	W	E	E K	s	)			330001100			
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INSTALL CONSTRUCTION EXIT, SEDIMENT BARRIERS & OTHER PERIMETER CONTROLS																					T
TIMBER SALVAGE OPERATIONS																					T
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CLEARING & GRUBBING OF AREAS NECESSARY FOR THE INSTALLATION OF SEDIMENT RETENTION BASINS & RELATED STRUCTURES																					+
INSTALLATION OF SEDIMENT BASINS & RELATED STRUCTURES																					T
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INSTALLATION OF SANITARY SEWER SYSTEM																					T
INSTALLATION OF STORMWATER MANAGEMENT SYSTEM																					T
INSTALLATION OF CURB & GUTTER																					T
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INSTALLATION OF WATER SYSTEM																					T
INSTALLATION OF GRAVEL SUBBASE FOR ROADS																					T
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MAINTENANCE OF EROSION CONTROL MEASURES																					Γ
MAINTENANCE OF TREE PROTECTION MEASURES				44.2										魏							ſ

## 1. SITE ADDRESS: 3301 ROFF AVENUE, MACON, GA 31204 SITE TAX PARCEL NUMBERS: N072-0095 3. TOTAL PROJECT AREA: 39.3 ACRES DISTURBED AREA: ± 2.7 ACRES 1. BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM THAT BOUNDARY AND TOPOGRAPHIC SURVEY FOR MACON-BIBB COUNTY PARKS AND RECREATION DEPARTMENT, PREPARED BY 51 PREPARED BY, DATED 50 SURVEY DATE. 2. PROJECT BENCHMARK: [60D NAIL AND WASHER SET IN POWER POLE ELEVATION = STATE WATERS 1. STATE WATERS ARE PRESENT WITHIN 200' OF THIS SITE. ANY STATE WATERS PRESENT ON THIS SITE ARE DULY INDICATED HEREON AND ANY APPLICABLE BUFFER RESTRICTIONS ARE NOTED AND ADHERED TO. 1. THERE ARE WETLANDS LOCATED ON THIS SITE. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS. 1. ALL PROPOSED WATER SERVICE FOR THIS PROJECT TO BE PUBLIC. PUBLIC WATER SERVICE TO BE PROVIDED BY BIBB COUNTY. 2. ALL PROPOSED SANITARY SEWER TO BE GRAVITY FLOW. ALL PROPOSED SANITARY SEWER SERVICE FOR THIS PROJECT TO BE PUBLIC. PUBLIC SANITARY SEWER SERVICE TO BE PROVIDED BY BIBB COUNTY. NO BUFFERS ON SITE. CONSTRUCTION 1. ALL CONSTRUCTION SHALL CONFORM TO CITY OF MACON, BIBB COUNTY, AND/OR

1. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST

2. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT

ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

AS AUTHORIZED BY A SECTION 404 PERMIT.

**GENERAL NOTES:** 

GENERAL NOTES

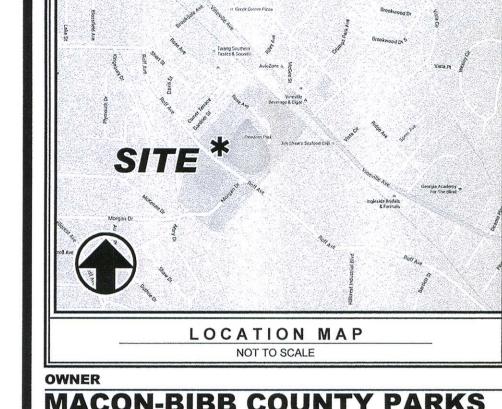
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INSTALL TREE PROTECTION MEASURES	2000	-	3	-	-	-	'	0	10	10	"	12	10	14	10	10	11/	10	10	20
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WETLAND CERTIFICATION The design professional, whose seal appears hereon, certifies the following; The National Wetland Inventory maps have been consulted; and the appropriate plan sheet DOES NOT indicate areas of United States Army Corps of Engineers Jurisdictional Wetlands as shown on the maps; and if wetlands are indicated, the land owner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate federal wetlands alteration (Section 404) permit has been obtained. GEORGIA REG. No. 19306 FOR THE FIRM OF TRAVIS PRUITT & ASSOCIATES, INC.

\* THE WORD, "CERTIFY", AS USED IN ANY OF ITS FORMS HEREIN, IS AN EXPRESSION OF PROFESSIONAL OPINION ONLY AND SHALL NOT BE CONSTRUED OR UNDERSTOOD TO BE A STATEMENT OF FACT, A WARRANTY, OR A GUARANTEE OF ANY KIND, EXPRESSED OR IMPLIED.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.



# **MACON-BIBB COUNTY PARKS AND RECREATION DEPARTMENT**

478-621-6280

24 HOUR EMERGENCY CONTACT ROBERT WALKER 478-621-6280 E-mail: rwalker@maconbib.us

TAX PARCEL ID: N072-0095

SITE AREA:

DISTURBED AREA: 27 ACRES

### **PROJECT DESCRIPTION:**

Replacement of existing playgrounds, construction of new pavilion and fishing pier. Existing pavilion to have roof shingles replaced and all wood surfaces refinished. Area drains will also be added to address erosion issues.

0 7 7 8 7 0 REVISIONS

NOTE: CONSTRUCTION ENTRANCE IS LOCATED AT THE FOLLOWING LOCATION: LAT: 32°51'01"N; LONG: 83°40'43"W

GSWCC LEVEL II CERTIFICATION No.: 0000010459 EXPIRATION DATE: 05/05/2021

FLOOD HAZARD NOTE:

THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY COUNTY, GEORGIA COMMUNITY PANEL NUMBER 13021C0131F, DATED 04/02/2017.

NOTE: ALL DIMENSIONS ARE TO <u>FACE</u> OF CURB, FACE OF BUILDING, OR CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.

NOTE: ALL CURB RADII ARE <u>5 FT</u>. UNLESS OTHERWISE NOTED.

NOTE: ALL PIPE LENGTHS ARE SCALED LENGTHS FROM CENTER OF STRUCTURE.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE

THESE DRAWINGS AND THEIR REPRODUCTIONS ARE THE PROPERTY OF THE

ENGINEER AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY



1-800-282-7411 Know what's below. Call before you dig.

Travis Pruitt & Associates, Inc. DATE: 02/14/2020 SCALE: N/A CN: 190452PN JN: 190452

SHEET NO: CO.1

GA SWCC LEVEL II CERTIFICATION NO.: 0000010459 FOR THE FIRM - TRAVIS PRUITT & ASSOCIATES, INC.

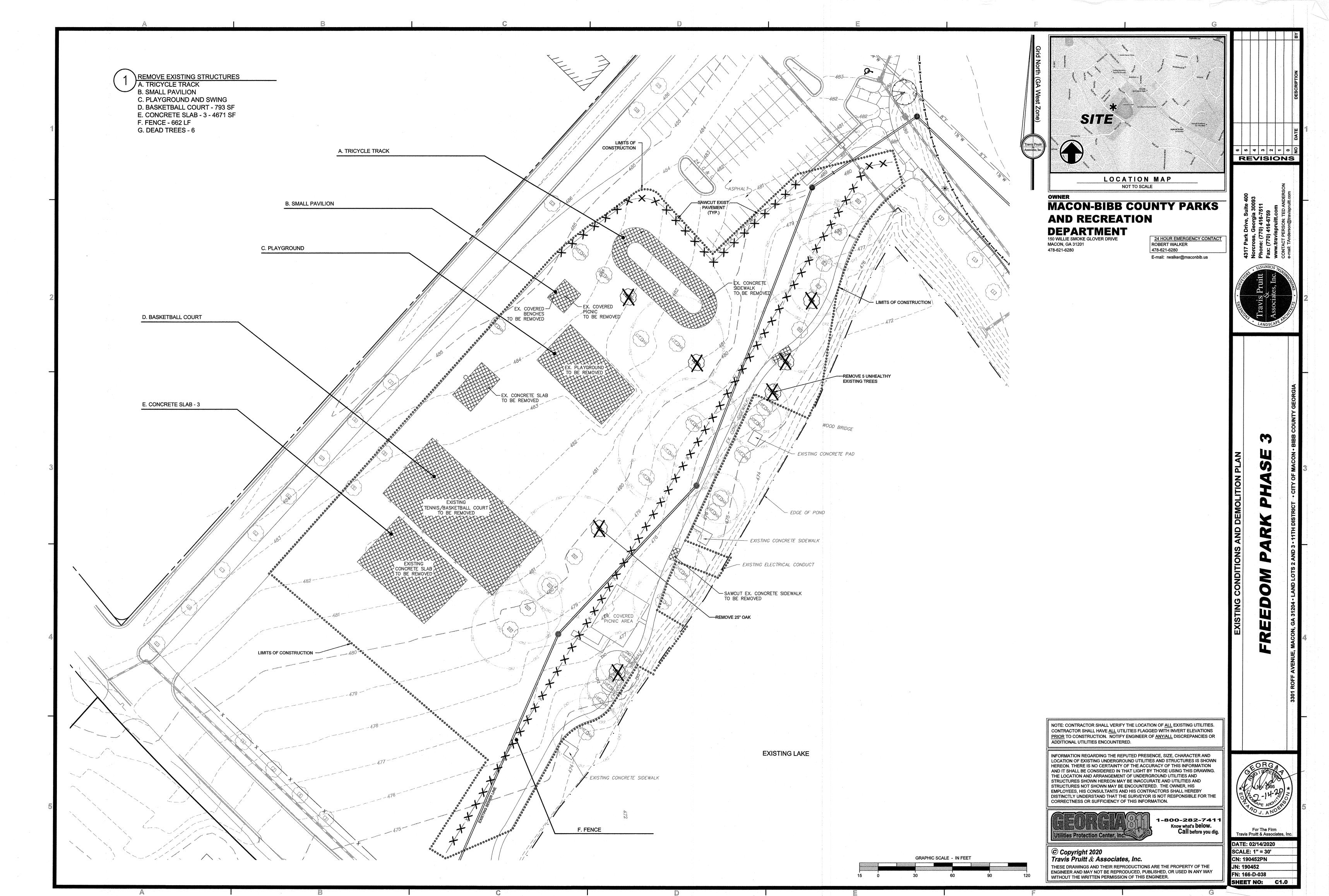
CONTRACTOR SHALL VERIFY PRIOR TO ORDERING PIPE. NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF <u>ALL</u> EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

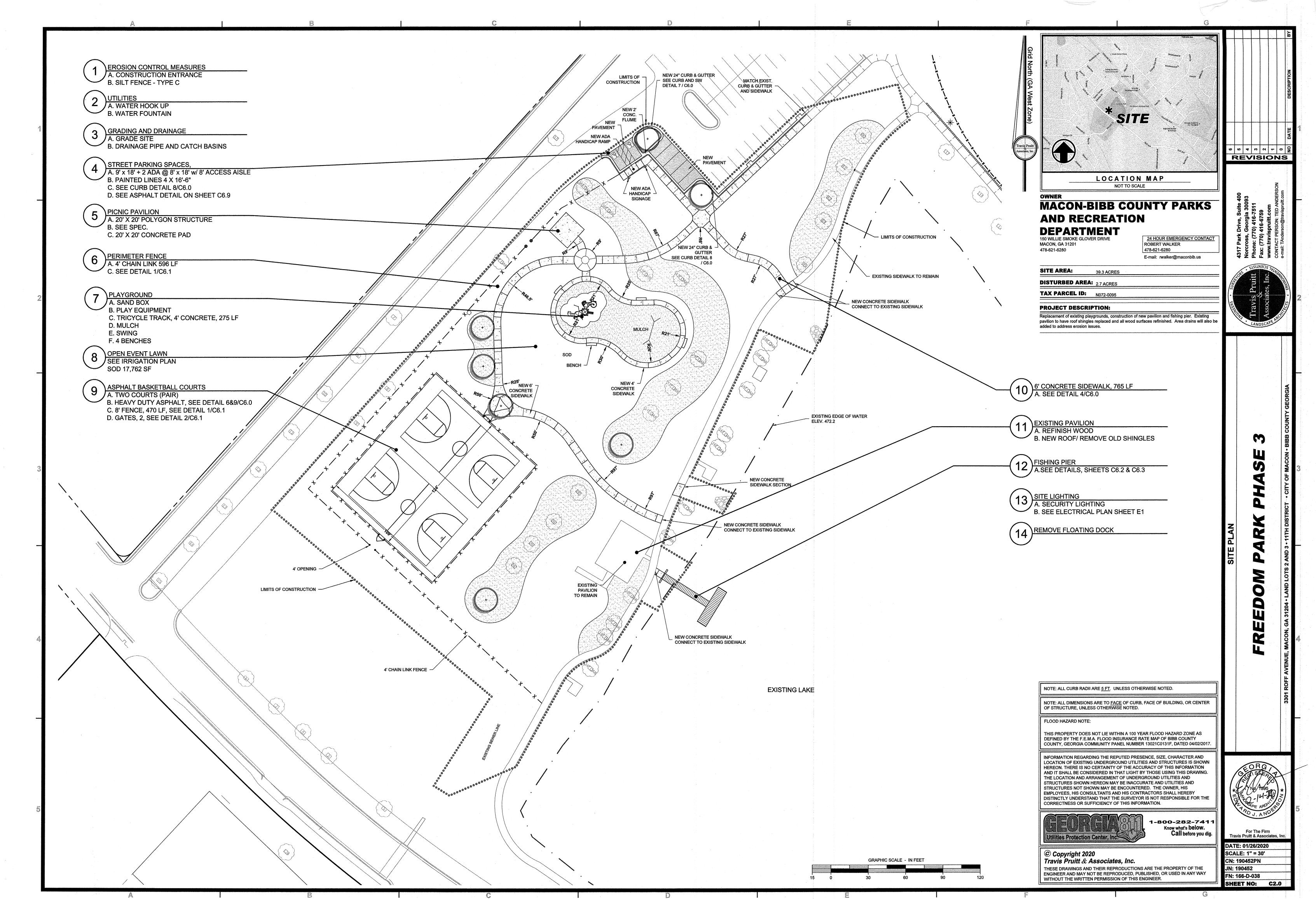
CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

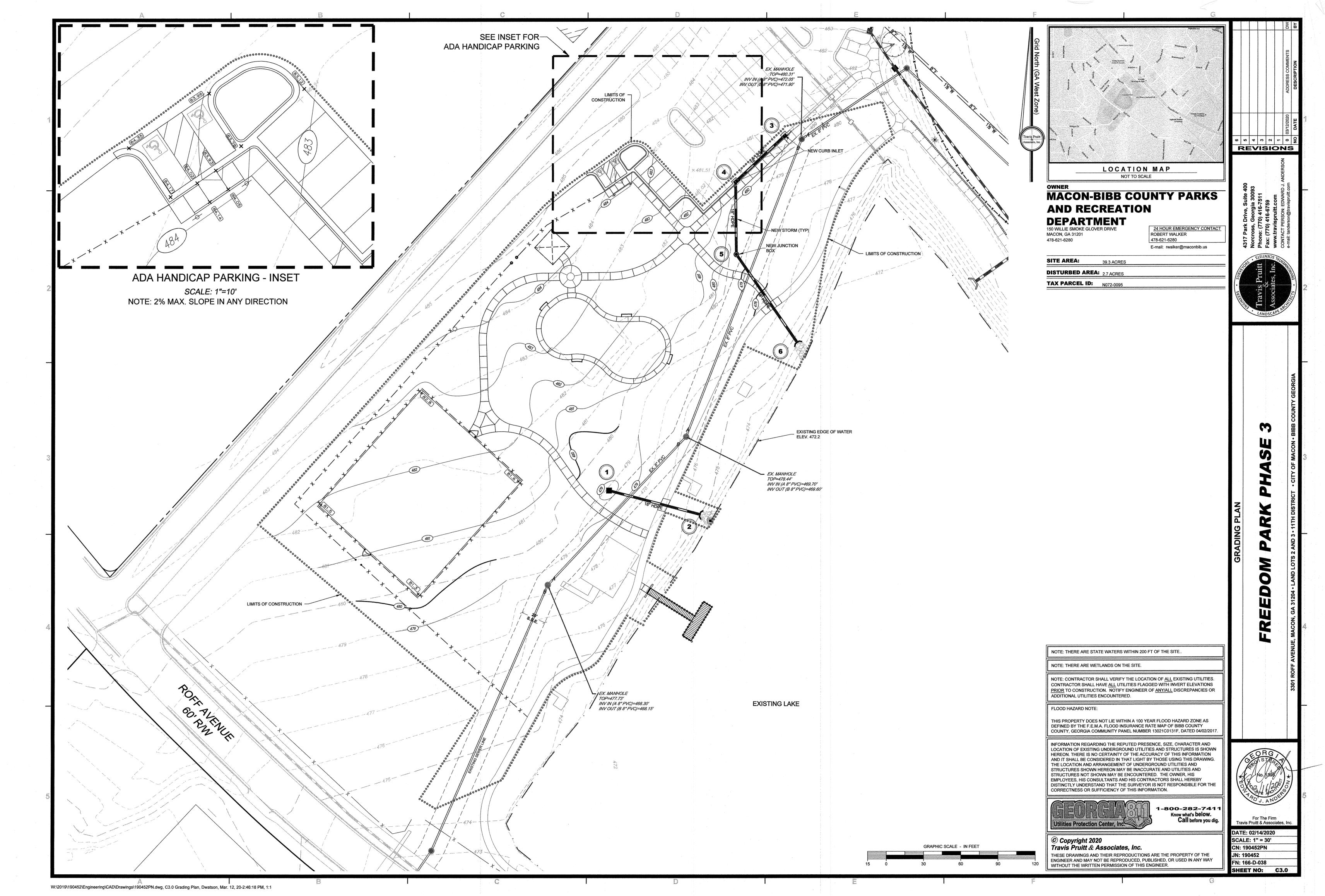


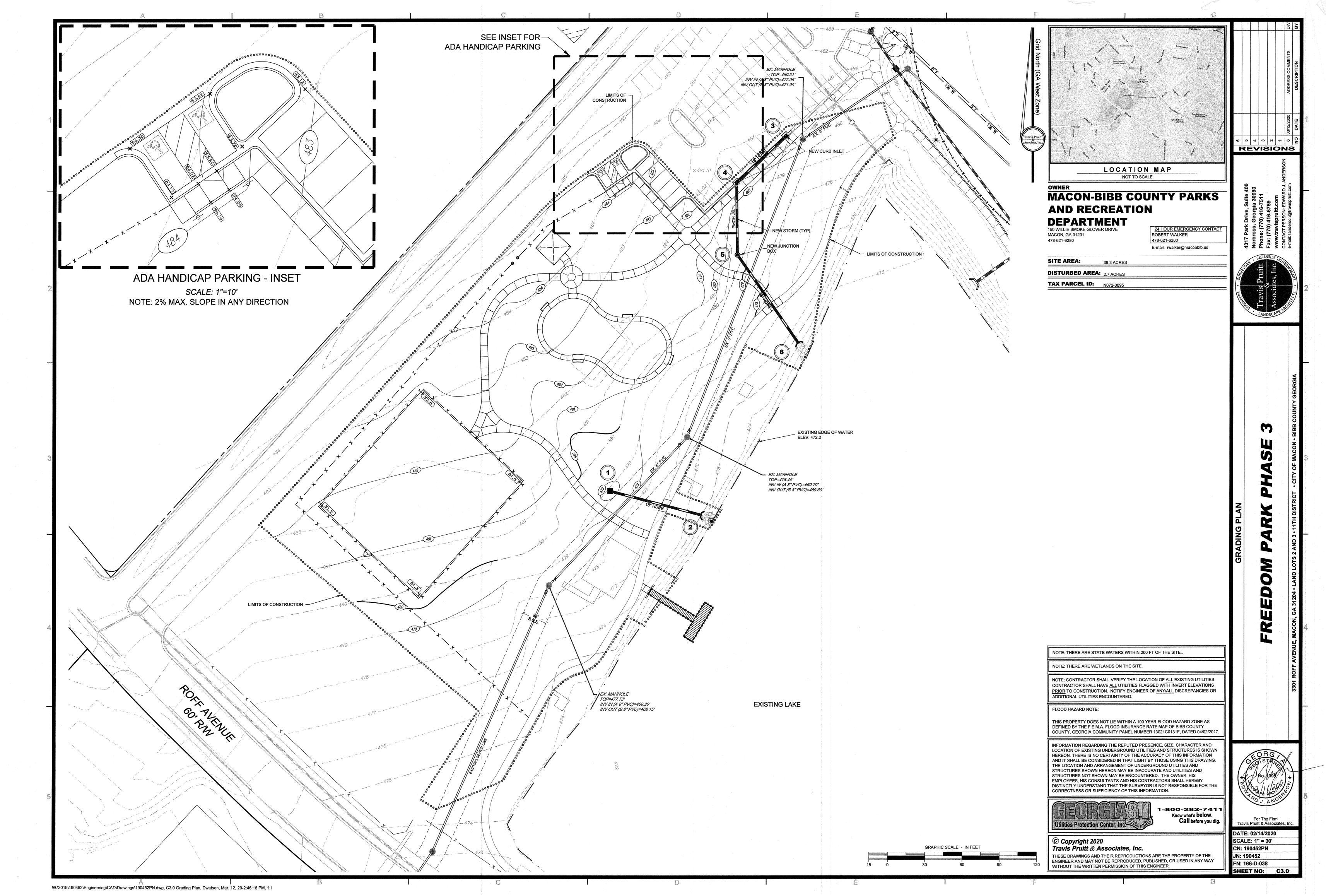
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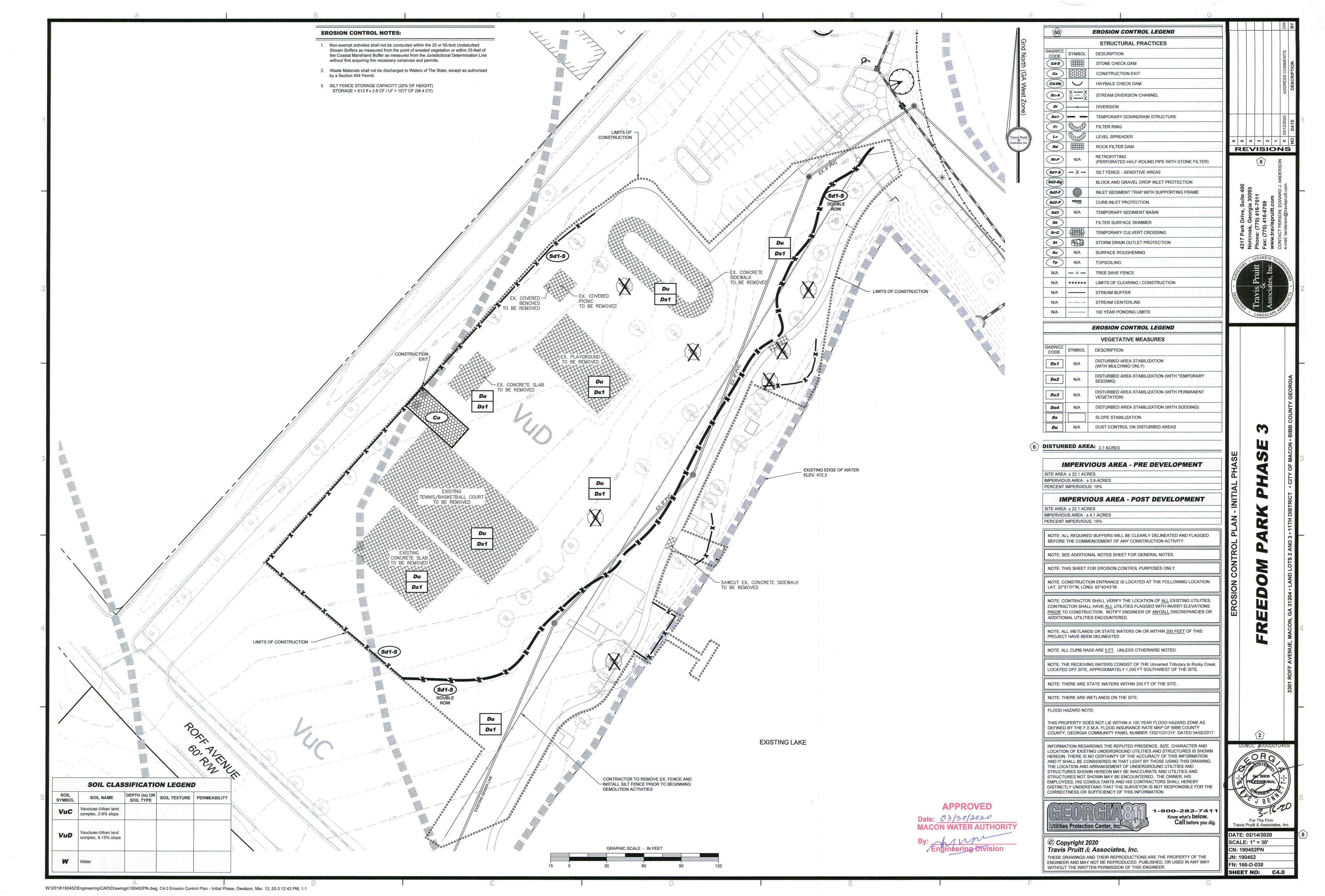
WITHOUT THE WRITTEN PERMISSION OF THIS ENGINEER.

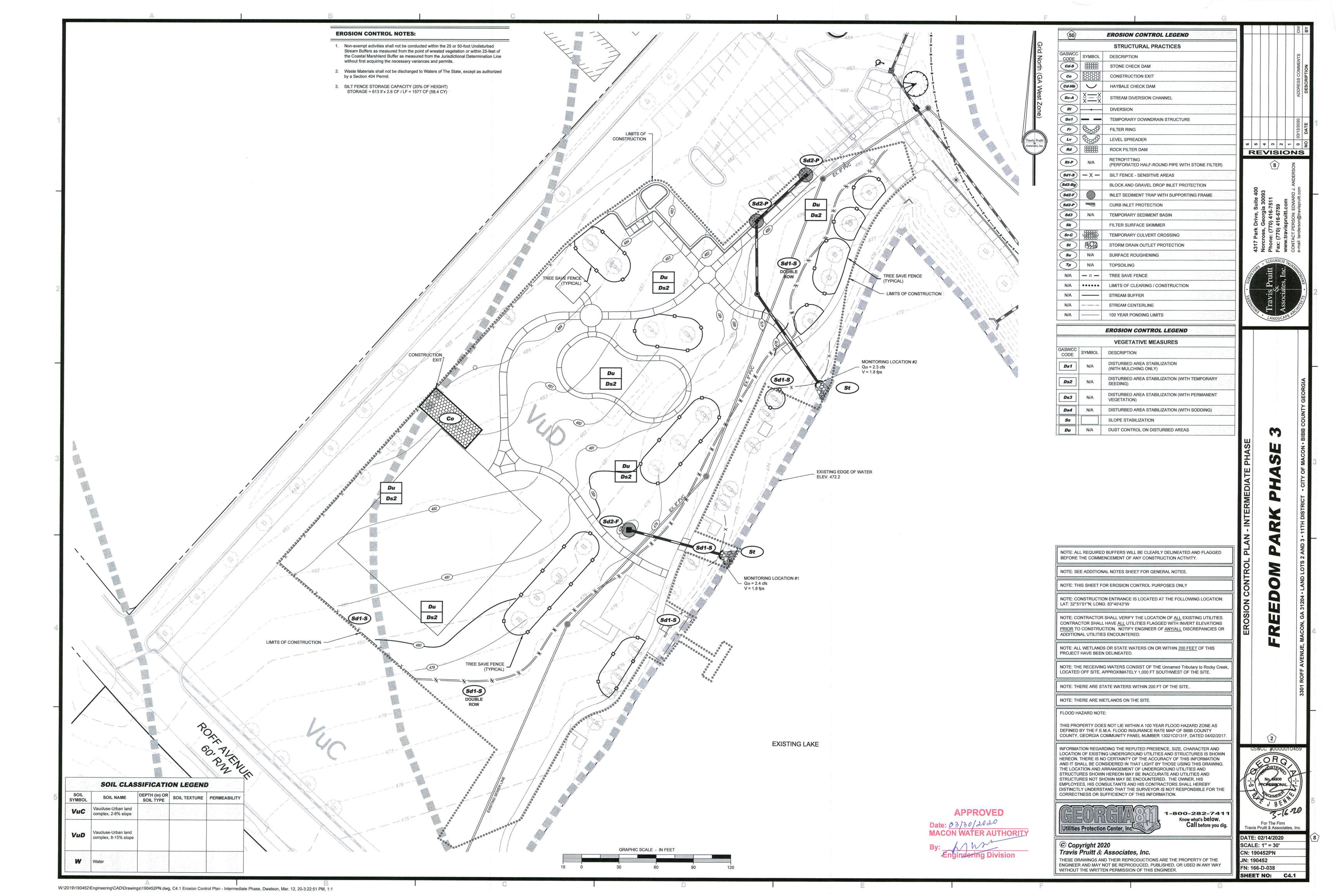


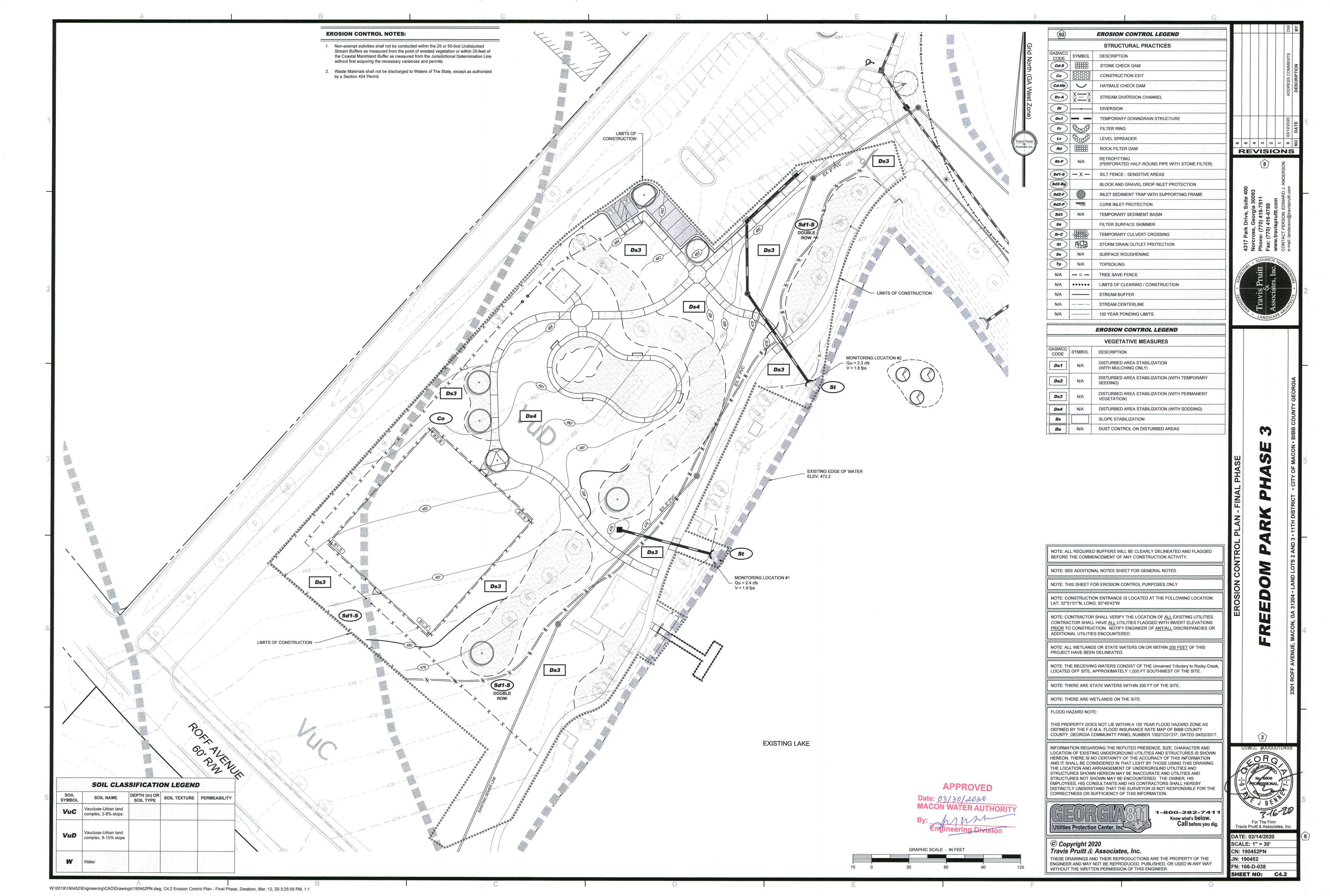












THE PRIMARY PERMITTEE SHALL ENSURE THAT THE GENERAL CONTRACTOR PROVIDES EACH SUB-CONTRACTOR A COPY OF THE ESPCP OR ALL APPLICABLE PORTIONS OF THE ESPCP PRIOR TO THE SUB-CONTRACTOR CONDUCTING ANY CONSTRUCTION ACTIVITY ON THE PROPERTY. THE GENERAL CONTRACTOR WILL ENSURE THAT THE SUB-CONTRACTOR UNDERSTANDS THEIR ROLE IN IMPLEMENTING THE PLAN. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY WORK PERFORMED BY THE SUB-CONTRACTOR. THERE ARE NO SECONDARY OR TERTIARY PERMITTEES FOR THIS PROJECT AS THE PROJECT IS A STANDALONE PROJECT.

#### PART I. COVERAGE UNDER THIS PERMIT

- C. ELIGIBILITY.
- 1. CONSTRUCTION ACTIVITIES. This permit authorizes, subject to the conditions of this permit:
- a. All discharges of storm water associated with stand alone construction projects that will result in land disturbance equal to or greater than one (1) acre occurring on or before, and continuing after, the effective date of this permit, (henceforth referred to as existing storm water discharges from construction activities) except for discharges identified under Part I.C.3; and
- b. All discharges of storm water associated with stand alone construction projects that will result in land disturbance equal to or greater than one (1) acre occurring after the effective date of this permit, (henceforth referred to as existing storm water discharges from construction activities)
- c. Coverage under this permit is not required for discharges of storm water associated with minor land disturbing activities (such as home gardens and individual home landscaping, repairs, maintenance work, fences and other related activities which result in minor soil erosion) conducted outside of the 25 foot buffer along the banks of all State waters requiring a buffer and outside of the 50 foot buffer along the banks of all State waters classified as 'trout streams' requiring a buffer on individual residential lots sold to homeowners where all planned construction activities on that lot have been completed and have undergone final stabilization
- MIXED STORM WATER DISCHARGES. This permit only authorizes a storm water discharge from a construction site or construction activities that is mixed with a storm water discharge from an industrial source or activity other than
- The industrial source or activity other than construction is located on the same site as the construction activity and is an integral part of the construction activity:
- b. The storm water discharges associated with industrial activity from the areas of the site where construction activities are occurring are in compliance with the terms of this permit; and
- c. Storm water discharges associated with industrial activity from the areas of the site where industrial activity other than construction are occurring are covered by a different NPDES general permit or individual permit authorizing such discharges and the discharges are in compliance with a different NPDES permit.
- 3. LIMITATIONS ON COVERAGE. The following storm water discharges from construction sites are not authorized by this
- a. Storm water discharges associated with an industrial activity that originate from the site after construction activities have been completed and the site has undergone final stabilization;

general permit. Such discharges may be authorized under this permit after an existing permit expires provided the

- b. Discharges that are mixed with sources of non-storm water other than discharges which are identified in Part III.A.2. of this permit and which are in compliance with Part IV.D.7. (non-storm water discharges) of this permit; c. Storm water discharges associated with industrial activity that are subject to an existing NPDES individual or
- existing permit did not establish numeric limitations for such discharges; and d. Storm water discharges from construction sites that the Director (EPD) has determined to be or may reasonably be expected to be contributing to a violation of a water quality standard.
- COMPLIANCE WITH WATER QUALITY STANDARDS. No discharges authorized by this permit will cause violations of Georgia's in-stream water quality standards as provided by the Rules and Regulations for Water Quality Control, Chapter 391-3-6-.03.

#### AUTHORIZATION.

- 1. Any person desiring coverage under this permit must submit a Notice of Intent (NOI) to the EPD and the NOI must be received by the EPD in accordance with the requirements of Part II, using NOI forms provided by the EPD (or an exact
- photocopy thereof), in order for storm water discharges from construction sites to be authorized. Unless notified by the Director to the contrary, a permittee who submits an NOI in accordance with the requirements of this permit is authorized to discharge storm water from construction sites under the terms and conditions of this permit fourteen (14) days after the date that the NOI is postmarked. The Director may deny coverage under this permit and require submittal of an application for an individual NPDES permit or alternative general NPDES permit based on a review of the NOI or other information. Should the Director deny coverage under this permit, coverage under this permit
- is authorized until the date specified in the notice of denial by the Director. 3. Where a new permittee is to begin work on-site after an NOI for the facility/construction site has been submitted, that new permittee must submit a new NOI in accordance with Part II.
- CONTINUING OBLIGATIONS OF PERMITTEES.

Unless and until responsibility for a site covered under this permit is properly terminated according to the terms of the permit, the initial permittee remains responsible for compliance with all applicable terms of the permit and for any

### PART II. NOTICE OF INTENT REQUIREMENTS

### DEADLINES FOR NOTIFICATION.

violations of said terms.

- 1. Owners or Operators or both who intend to obtain coverage under this general permit for storm water discharges from a construction site (where construction activities begin after issuance of this permit), shall submit a Notice of Intent (NOI) in accordance with the requirements of this part at least fourteen (14) days prior to the commencement of construction
- 2. For sites where construction activities, subject to this permit, are occurring on the effective date of this permit, the Owner or Operator or both shall submit a re-issuance NOI for an existing construction site in accordance with the requirements of this part no later than ninety (90) days after the effective date of this permit. Failure to comply with this requi shall constitute a violation of the Georgia Water Quality Control Act for each day until the Owner or Operator or both submit an initial NOI for a new construction site in accordance with Part II.A.1., comply with the special conditions in Part III., prepare and submit a new Erosion, Sedimentation and Pollution Control Plan in accordance with Part IV., and pay all
- applicable fees in accordance with Part II.D. 3. A discharger is not precluded from submitting an NOI in accordance with the requirements of this part after the dates provided in Parts II.A.1, or II.A.2, of this permit. In such instances, EPD may bring an enforcement action for failure to submit an NOI in a timely manner or for any unauthorized discharges of storm water associated with construction activity that have occurred on or after the dates specified in Part II.A.1. and II.A.2.
- 4. Where an Owner or an Operator or both changes after an NOI has been filed, the subsequent Owner or Operator or both must file a change of information NOI in accordance with this Part by the earlier to occur of (a) seven (7) days before beginning work at the facility/construction site or (b) thirty (30) days from acquiring legal title to the facility/construction site. In the event a lender or other secured creditor acquires legal title to the facility/construction site such party must file a change of information NOI in accordance with this Part by the earlier to occur of (a) seven (7) days before beginning work at the facility/construction site; or (b) thirty (30) days from acquiring legal title to the facility/construction site. Stabilization and BMP installation and/or maintenance measures of a disturbed site, by the subsequent Owner or Operator, may occur in advance of filing a new NOI, without violation of this permit. Failure to comply with this requirement shall constitute a violation of the Georgia Water Quality Control Act for each day until the Owner or Operator or both submit an initial NOI for a new construction site in accordance with Part II.A.1., comply with the special conditions in Part III., prepare and submit a new Erosion, Sedimentation and Pollution Control Plan in accordance with Part IV., and pay all applicable fees in accordance with Part II.D.

# PART III. SPECIAL CONDITIONS, MANAGEMENT PRACTICES, PERMIT VIOLATIONS AND OTHER

- PROHIBITION ON NON-STORM WATER DISCHARGES.
- 1. Except as provided in Part I.C.2. and III.A.2., all discharges covered by this permit shall be composed entirely of storm 2. The following non-storm water discharges may be authorized by this permit provided the non-storm water component of
- the discharge is explicitly listed in the Erosion, Sedimentation and Pollution Control Plan and is in compliance with Part IV.D.7.; discharges from fire fighting activities; fire hydrant flushing; potable water sources including water line flushing; irrigation drainage; air conditioning condensate; springs; uncontaminated ground water; and foundation or footing drains where flows are not contaminated with process materials or pollutants.
- This permit does not authorize the discharge of soaps or solvents used in vehicle and equipment washing. This permit does not authorize the discharge of wastewater from washout and cleanout of stucco, paint, form release
- oils, curing compounds and other construction materials.

# RELEASES IN EXCESS OF REPORTABLE QUANTITIES.

- 1. The discharge of hazardous substances or oil in the storm water discharge(s) from a site shall be prevented. This permit does not relieve the permittee of the reporting requirements of Georgia's Oil or Hazardous Material Spills or Releases Act (O.C.G.A. §§12-14-2, et seq.), 40 CFR part 117 and 40 CFR part 302. Where a release containing a hazardous substance in an amount equal to or in excess of a reporting quantity established under either Georgia's Oil or Hazardous Material Spills or Releases Act (O.C.G.A. §§12-14-2, et seq.), 40 CFR 117 or 40 CFR 302 occurs during a 24 hour period, the Permittee is required to notify EPD at (404) 656-4863 or (800) 241-4113 and the National Response Center (NRC) at (800) 424-8802 in accordance with the requirements of Georgia's Oil or Hazardous Material Spills or Releases Act (O.C.G.A. 8812-14-2, et sea.), 40 CFR 117 and 40 CFR 302 as soon as he/she has knowledge of the discharge. . This permit does not authorize the discharge of any hazardous substances or oil resulting from an on-site spill. A spill is reportable if it is a spill of a hazardous substance above the reportable quantity listed in 40 CFR 302.4 or a spill of a petroleum product which reaches the waters of the state (including streams, rivers, storm sewers and drainage ditches) and causes a sheen. The Contractor is responsible for cleanup of spilled materials; even if the spill is not a reportable
- All hazardous waste material will be disposed of in the manner specified by local, state and/or federal regulation and by the manufacturer of such products. The job site superintendent, who will also be responsible for seeing that these practices are followed, will instruct site personnel in these practices. Material Safety Data Sheets (MSDS's) for each substance with hazardous properties that is used on the job site will be obtained and used for the proper management of potential wastes that may result from these products. An MSDS for each product will be posted in the immediate area where such product is stored and/or used and another copy of each MSDS will be maintained in the ESPCP file at the job site construction trailer office or the superintendent's vehicle. Each employee who must handle a substance with hazardous properties will be instructed on the use of MSDS sheets and the specific information in the applicable MSDS
- for product he/she is using, particularly regarding spill control techniques. The Contractor will implement the Spill Prevention Control and Countermeasures (SPCC) Plan found within this ESPCP and will train all personnel in the proper cleanup and handling of spilled materials. No spilled hazardous materials or hazardous wastes will be allowed to come in contact with stormwater discharges. If such contact occurs, the stormwater discharge will be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose of such contaminated stormwater. It shall be the responsibility of the job site superintendent to properly train all personnel in the use of the SPCC plan.

#### INVENTORY FOR POLLUTION PREVENTION PLAN

The following materials are expected onsite during construction: Concrete products, asphalt, petroleum based fuels and lubricants for equipment, tar, metal building materials, lumber, sheet rock, floor coverings, electrical wire and fixtures, paints/stains/finishing treatments, paints, paint solvents, additives for soil stabilization, cleaning solvents, pesticides, fertilizers, herbicides, crushed stone, plastic, roofing shingles, masonry block and metal pipes.

Practices such as good housekeeping, proper handling of hazardous products and proper spill control practices will be followed to reduce the risk of spills and spills from discharging into storm water runoff.

- Quantities of products stored onsite will be limited to the amount needed for the job. Products and materials will be stored in a neat, orderly manner in appropriate containers protected from rainfall, where
- Products will be kept in their original containers with manufacturer labels legible and visible.
- Product mixing, disposal and disposal of product containers will be according to the manufacturer's recommendations. The Contractor will inspect such materials to ensure proper use, storage, and disposal.

Petroleum Based Products - Containers (or products such as fuels lubricants and tars will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from state water, natural drains and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations

Paints/Finishes/Solvents - All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations

Concrete Truck Washing - NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite. The washdown of concrete tools, concrete mixer chutes, hoppers and rear of vehicles should only be performed in the designated concrete washout area.

the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers 8uilding materials - No building or construction materials will be buried or disposed of onsite. All such material will be

Fertilizer/Herbicides - These products will be applied at rates that do not exceed the manufacturer's specifications or above

### (24) SPILL CONTROL PRACTICES

disposed of in proper waste disposal procedures.

In addition to good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup.

Local, State, Federal and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to all site personnel. Site personnel will be made aware of the procedures and the location of the nformation and cleanup supplies. The spill area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance. The 24-hour emergency contact will be the spill prevention and cleanup coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of responsible spill personnel will be posted in the material storage area and in the onsite office trailer.

Material and equipment necessary for spill cleanup will be kept in onsite material storage areas. Typical materials and equipment includes, but is not limited to, brooms, dustpans, maps, rags, gloves, goggles, cat litter, sand, sawdust and property labeled plastic and metal waste containers.

Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills. The spill prevention plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the cleanup measures will also be included

All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, State and Federal regulations. Spills of toxic or hazardous material will be reported to the appropriate State or local government agency,

FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER). THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675, www.nrc.uscg.mil

FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITH 24 HOURS AT 1-800-426-2675, www.nrc.uscg.mil

FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS LESS THAT 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND

LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. The Contractor shall notify the licensed professional who prepared this Plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity greater than 560 gallons. The

#### Contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by that licensed professional. DISCHARGES INTO, OR WITHIN ONE MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.

- Any Permittee who intends to obtain coverage under this permit for storm water discharges associated with construction any portion of an Impaired Stream Segment identified as "not supporting" its designated use(s), as shown on Georgia's "most current" "305(b)/303(d) List Documents (Final)" at the time of NOI submittal, must satisfy the requirements of Part III.C. of this permit if the Impaired Stream Segment has been listed for criteria violated, "Bio F" (Impaired Fish Community) and/or "Bio M" (Impaired Macroinvertebrate Community), within Category 4a, 4b or 5, and the potential cause is either "NP" (nonpoint source) or "UR" (urban runoff). Those discharges that are located within one (1) linear mile of an Impaired Stream Segment, but are not located within the watershed of any portion of that stream segment are excluded from this requirement. Georgia's 2008 and subsequent 305(b)/303(d) List Documents (Final)" can be viewed on the EPD website, www.gaEPD.org/documents/305b.html.
- If a Total Maximum Daily Load (TMDL) Implementation Plan for sediment has been finalized at least six (6) months prior to the permittee's submittal of the NOI, the Erosion, Sedimentation and Pollution Control Plan (Plan) must address any site-specific conditions or requirements included in the TMDL implementation plan that are applicable to the permittee's discharge(s) to the Impaired Stream Segment within the timeframe specified in the TMDL Implementation Plan. If the TMDI. Implementation Plan establishes a specific numeric wasteload allocation that applies to a permittee's discharge(s) to the Impaired Stream Segment, then the permittee must incorporate that allocation into the Erosion, Sedimentation and Pollution Control Plan and implement all
- necessary measures to meet that allocation. A list of TMDL Implementation Plans can be viewed on the EPD website, www.gaEPD.org. In order to ensure that the permittee's discharge(s) do not cause or contribute to a violation of State water quality standards, the plan must include at least four (4) of the following best management practices (BMPs) for those areas of the site which discharge into or within one (1) linear mile upstream and within the same watershed as the Impaired
- a. During all construction activities as defined in this permit, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any
- such buffers that are increased in width pursuant to this section. b. Increase all temporary sediment basins and retrofitted storm water management basins to provide sediment
- storage of at least 3600 cubic feet (134 cubic yards) per acre drained. c. Use baffles in all temporary sediment basins and retrofitted storm water management basins to at least double the
- conventional flow path length to the outlet structure. d. A large sign (minimum 4 feet x 8 feet) must be on the site on the actual start date of construction, visible from a public roadway identifying the construction site, the permittee(s), and the contact person(s) and telephone
- number(s) until a NOT has been submitted e. Use anionic polyacrylamide (PAM) and/or mulch to stabilize areas left disturbed for more than seven (7) calendar days in accordance with part iii.d.1, of this permit.
- Conduct turbidity and total suspended solids (TSS) sampling after every rain event of 0.5 inch or greater within any 24 hour period, recognizing the exceptions specified in Part IV.D.6.d. of this permit
- g. Comply with the applicable end-of-pipe turbidity effluent limit, without the "BMP defense" as provided for in O.C.G.A. 12-7-6(a)(1).
- h. Reduce the total planned site disturbance to less than 50% impervious surfaces (excluding any State-mandated buffer areas from such calculations). All calculations must be included on the Plan. Limit the amount of area disturbed at any one time to no greater than 25 acres or 50% of the total planned site, whichever is less. All calculations must be included on the plan.
- Add appropriate organic soil amendments (e.g., compost) and conduct pre- and post-construction soil sampling to a depth of 6 (six) inches to document improved levels of soil carbon after final stabilization of the construction site. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including

Use "Dirt II" techniques available on the EPD website, www.gaepd.org, (e.g., seep berms, sand filters, anionic

PAM) to model and manage all construction storm water runoff (including sheet flow). All calculations must be

- sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow. m. Apply the appropriate Georgia Department of Transportation approved erosion control matting or blankets or bonded fiber matrix to all slopes steeper than 3:1. All graphical illustrations must be included on the plan. n. Use appropriate erosion control matting or blankets instead of concrete in construction storm water ditches and
- storm drainages designed for a 25 year, 24 hour rainfall event. o. Use anionic PAM under a passive dosing method (e.g., flocculant blocks) within construction storm water ditches and storm drainages that feed into temporary sediment basins and retrofitted management basins.
- Install sod for a minimum 20 foot width, (in lieu of seeding) after final grade has been achieved, along the site perimeter wherever construction storm water (including sheet flow) may be discharged. Conduct soil tests to identify and to implement site-specific fertilizer needs.
- Certified personnel shall conduct inspections at least twice every seven (7) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Part IV.D.4.a.(3), (a) - (c) of this permit Apply the appropriate compost blankets (minimum depth 1.5 inches) to protect soil surfaces until vegetation is established during the final stabilization phase of the construction activity.
- t. Use alternative BMPs whose performance has been documented to be superior to conventional BMPs as certified by a design professional (unless disapproved by EPD or the State Soil and Water Conservation Commission). u. Limit the total planned site disturbance to less than 15% impervious surfaces (excluding any State-mandated buffer areas from such calculations). All calculations must be included in the Plan.

- D. MANAGEMENT PRACTICES AND PERMIT VIOLATIONS.
- 1. Best management practices, as set forth in this permit, are required for all construction activities, and must be implemented in accordance with the design specifications contained in the "Manual for Erosion and Sediment Control in Georgia" (manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted to prevent or reduce the pollution of waters of Georgia. proper design, installation, and maintenance of best management practices shall constitute a complete defense to any action by the Director or to any other allegation of noncompliance with Part III.D.3. and Part III.D.4.
- 2. Except as required to install the initial sediment storage requirements and perimeter control BMPs as described in Part IV.D.3., the initial sediment storage requirements and perimeter control BMPs must be installed and implemented prior to conducting any other construction activities (e.g., clearing, grubbing and grading) within the construction site or when applicable, within phased sub-parts or segments of the construction site. Failure to comply shall constitute a violation of this permit for each day on which construction activities occur. The design professional who prepared the Plan must inspect the initial sediment storage requirements and perimeter control BMPs in accordance with Part IV.A.5., within seven (7) days after installation
- Violation of this permit for each day on which such failure occurs. BMP maintenance as a result of the permittee's routine inspections shall not be considered a violation for the purposes of this paragraph. If during the course of the permittees routine inspection BMP failures are observed which have resulted in sediment deposition into waters of the State, the permittee shall correct the BMP failures and shall submit a summary of the violations to EPD in accordance with part v.a.2. of this permit.
- 4. A discharge of storm water runoff from disturbed areas where best management practices have not been properly designed, installed, and maintained shall constitute a separate violation for each day on which such discharge results in the turbidity of receiving water(s) being increased by more than ten (10) nephelometric turbidity units for waters classified as trout streams or more than twenty-five (25) nephelometric turbidity units for waters supporting warm water fisheries, regardless of a permittee's certification under Part II.B.1.i. this paragraph shall not apply to any land disturbance associated with the construction of single-family homes that are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed
- When the permittee has elected to monitor outfall(s), the discharge of storm water runoff from disturbed areas where best management practices have not been properly designed, installed, and maintained shall constitute a separate violation for each day on which such condition results in the turbidity of the discharge exceeding the value selected from appendix b applicable to the construction site. As set forth therein, the nephelometric turbidity unit (NTU) value shall be selected from Appendix b based upon the size of the construction site, the surface water drainage area and whether the receiving water(s) supports warm water fisheries or is a trout stream as indicated in the Rules and Regulations for Water Quality Control, Chapter 391-3-6 at www.gaEPD.org.

### PART IV. EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN

A site specific Erosion. Sedimentation and Pollution Control Plan (Plan) shall be designed, installed and maintained for the entire construction activity covered by this permit. The Erosion, Sedimentation and Pollution Control Plan must be prepared by a design professional as defined by this permit. All persons involved in plan preparation shall have completed the appropriate certification course, pursuant to O.C.G.A. 12-7-19 (b), approved by the State Soil and Water Conservation

The plan shall include, as a minimum, best management practices, including sound conservation and engineering practices to prevent and minimize erosion and resultant sedimentation, which are consistent with, and no less stringent than, those practices contained in the "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land disturbing activity was permitted and O.C.G.A 12-7-6, as well as the following:

- (i). Except as provided in Part IV.(iii). below, no construction activities shall be conducted within a 25 foot buffer along the banks of all State waters, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, except where the Director has determined to allow a variance that is at least as protective of natural resources and the environment in accordance with the provisions of O.C.G.A. 12-7-6, or where a drainage structure or a roadway drainage structure must be constructed, provided that adequate erosion control measures are incorporated in the project plans and specifications and are implemented, or along any ephemeral stream, or where bulkheads and seawalls must be constructed to prevent the erosion of the shoreline on Lake Oconee and Lake Sinclair. The buffer shall not apply to the following activities provided that adequate erosion control measures are incorporated into the project plans and specifications are implemented
  - Public drinking water system reservoirs. (2). Stream crossings for water lines and sewer lines, provided that the stream crossings occur at an angle, as measured from the point of crossing, within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within the buffer, and native riparian vegetation is re-established in any bare or
  - disturbed areas within the buffer (3). Stream crossings for any utility lines of any electric membership corporation or municipal electrical system or any public utility under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory urisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in Code Section 36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission or distribution of power, provided that: (a) the stream crossings occur at an angle, as measured from the point of crossing, within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within the buffer, (b) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (c) the entity is not a secondary permittee for a project located within a common development or sale under this
- (4). Buffer crossing for fences, provided that the crossings occur at an angle, as measured from the point of crossing. within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within
- the buffer, and native riparian vegetation is re-established in any bare or disturbed areas within the buffer. (5). Stream crossings for aerial utility lines, provided that: (a) the new utility line right-of-way width does not exceed 100 linear feet, (b) utility lines are routed and constructed so as to minimize the number of stream crossings and disturbances to the buffer, (c) only trees and tree debris are removed from within the buffer resulting in only minor soil erosion (i.e., disturbance to underlying vegetation is minimized), and (d) native riparian vegetation is re-established in any bare or disturbed areas within the buffer. The Plan shall include a description of the stream crossings with details of the buffer disturbance including area and length of buffer disturbance, estimated length of time of buffer disturbance, and justification;
- (6). Right-of-way posts, guy-wires, anchors, survey markers and the replacement and maintenance of existing utility structures within the current right-of-way undertaken or financed in whole or in part by the Department of Transportation, the Georgia Highway Authority or the State Road and Tollway Authority or undertaken by any county or municipality, provided that; (a) the area of land disturbance does not exceed 100 square feet per structure, (b) the area of buffer vegetation to be cut (not grubbed) does not exceed 1,000 square feet per structure, (c) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (d) the entity is not a secondary permittee for a project located within a common development or sale under this permit;
- (7). Right-of-way posts, guy-wires, anchors, survey markers and the replacement structures within the current right-of-way by any electric membership corporation or municipal electrical system or any public utility under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory jurisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in Code Section 36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission or distribution of power, provided that: (a) the area of land disturbance does not exceed 100 square feet per structure, (b) the area of buffer vegetation to be cut (not grubbed) does not exceed 1.000 square feet per structure. (c) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (d) the entity is not a secondary permittee for a project located within a common development or sale under this permit; and
- (8). Maintenance (excluding dredging), repair and/or upgrade of Soil and Water Conservation District watershed dams when under the technical supervision of the USDA Natural Resources Conservation Service.
- (ii). No construction activities shall be conducted within a 50 foot buffer, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, along the banks of any State waters classified as 'trout streams' except when approval is granted by the Director for alternate buffer requirements in accordance with the provisions of O.C.G.A. 12-7-6, or where a roadway drainage structure must be constructed; provided, however, that small springs and streams classified as 'trout streams' which discharge an average annual flow of 25 gallons per minute or less shall have a 25 foot buffer or they may be piped, at the discretion of the permittee, pursuant to the terms of a rule providing for a general variance promulgated by the Board of Natural Resources including notification of such to EPD and the local issuing authority of the location and extent of the piping and prescribed methodology for minimizing the impact of such piping and for measuring the volume of water discharged by the stream. Any such pipe must stop short of the downstream Permittee's property, and the Permittee must comply with the buffer requirement for any adjacent trout streams. The buffer shall not apply to the following activities provided that adequate erosion control measures are incorporated into the project plans and specifications are implemented:
- Public drinking water system reservoirs, (2). Stream crossings for water lines and sewer lines, provided that the stream crossings occur at an angle, as measured from the point of crossing, within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within the buffer, and native riparian vegetation is re-established in any bare or
- disturbed areas within the buffer (3). Stream crossings for any utility lines of any electric membership corporation or municipal electrical system or any public utility under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory iurisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in Code Section 36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission or distribution of power, provided that: (a) the stream crossings occur at an angle, as measured from the point of crossing, within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within the buffer, (b) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (c) the entity is not a secondary permittee for a project located within a common development or sale under this
- (4). Buffer crossing for fences, provided that the crossings occur at an angle, as measured from the point of crossing within 25 degrees of perpendicular to the stream and cause a width of disturbance of not more than 50 feet within the buffer, and native riparian vegetation is re-established in any bare or disturbed areas within the buffer (5). Stream crossings for aerial utility lines, provided that: (a) the new utility line right-of-way width does not exceed 100
- linear feet, (b) utility lines are routed and constructed so as to minimize the number of stream crossings and disturbances to the buffer. (c) only trees and tree debris are removed from within the buffer resulting in only minor soil erosion (i.e., disturbance to underlying vegetation is minimized), and (d) native riparian vegetation is re-established in any bare or disturbed areas within the buffer. The Plan shall include a description of the stream crossings with details of the buffer disturbance including area and length of buffer disturbance, estimated length of time of buffer disturbance, and justification,
- (6). Right-of-way posts, guy-wires, anchors, survey markers and the replacement or maintenance of existing utility structures within the current right-of-way undertaken or financed in whole or in part by the Department of Transportation, the Georgia Highway Authority or the State Road and Tollway Authority or undertaken by any county or municipality, provided that; (a) the area of land disturbance does not exceed 100 square feet per structure, (b) the area of buffer vegetation to be cut (not grubbed) does not exceed 1,000 square feet per structure, (c) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (d) the entity is
- not a secondary permittee for a project located within a common development or sale under this permit, (7). Right-of-way posts, guy-wires, anchors, survey markers and the replacement or maintenance of existing utility structures within the current right-of-way undertaken by any electric membership corporation or municipal electrical system or any public utility under the, provided that; (a) the area of land disturbance does not exceed 100 square feet per structure. (b) the area of buffer vegetation to be cut (not grubbed) does not exceed 1,000 square feet per structure, (c) native riparian vegetation is re-established in any bare or disturbed areas within the buffer and (d) the entity is not a secondary permittee for a project located within a common development or sale under this permit;
- (8). Maintenance (excluding dredging), repair and/or upgrade of Soil and Water Conservation District watershed dams when under the technical supervision of the USDA Natural Resources Conservation Service.
- iii). Except as provided above, for buffers required pursuant to Part IV.(i). and (ii)., no construction activities shall be conducted within a buffer and a buffer shall remain in its natural, undisturbed, state of vegetation until all land disturbing activities on the construction site are completed. During coverage under this permit, a buffer cannot be thinned or trimmed of vegetation and a protective vegetative cover must remain to protect water quality and aquatic habitat and a natural canopy must be left in sufficient quantity to keep shade on the stream bed. The Erosion, Sedimentation and Pollution Control Plan shall identify all potential sources of pollution that may reasonably be expected to affect the quality of storm water discharges from the construction site. In addition, the plan shall describe and the applicable permittee shall ensure the implementation of practices which will be used to reduce the pollutants in storm water discharges associated with construction activity at the site and to assure compliance with the terms and conditions of this permit. The applicable permittee must implement and maintain the provisions of the plan required under this part as a condition of this permit.

### POTENTIAL SOURCES OF POLLUTION

Sediment from clearing and grubbing operations, sediment from grading and site excavation operations, sediment from vehicle tracking, sediment from topsoil stripping and stockpiling, sediment from landscaping operations, spills from minor equipment maintenance, spills from above ground fuel storage, filling, and transport, petroleum leaks from heavy equipment, industrial chemicals from the materials storage area due to improper handling or spills, improper handling and spills of pesticides and fertilizers, sanitary waste, landfills, oil leaks from impervious surfaces, hydrocarbons, litter from shipping/packing materials, litter from food and drinks containers, general building materials, solvents, adhesives, paving materials, paints, aggregates, paving, curb and gutter installation, concrete pouring/mortar/stucco, building construction, concrete washout area and litter from illegal dumping.

- Except as provided in Part IV.A.2., a single Erosion, Sedimentation and Pollution Control Plan must be prepared by the primary permittee for the stand alone construction project.
- A. DEADLINES FOR PLAN PREPARATION AND COMPLIANCE.
- 1. Except as provided in Part IV.A.2. and Part IV.A.6., the Erosion, Sedimentation and Pollution Control Plan shall be completed prior to submitting the NOI and prior to conducting any construction activity by any permittee
- For construction activities that began on or before the effective date of this permit and were subject to the regulations under the previous permit, the permittee(s) shall continue to operate under the existing plan.
- For construction activities that begin after the effective date of this permit, the primary permittee shall be required to prepare the plan for that phase of the stand alone development that corresponds with the NOI being submitted and the primary permittee(s) shall implement the plan on or before the day construction activities begin.
- Additional plan submittals.
- a. For all projects identified under Part I.C.1.b., which begin after the effective date of this permit, in a jurisdiction where there is no certified Local Issuing Authority regulating that project, a single copy of the Plan must be submitted to the EPD Watershed Protection Branch and a second copy of the Plan must be submitted to the appropriate EPD District Office prior to or concurrent with the NOI submittal. The second copy of the Plan may be submitted to the appropriate EPD District Office as a Portable Document Format (PDF) file on CD-ROM or other storage device. The EPD Watershed Protection Branch will review Plans for deficiencies using the applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the State Soil and Water Conservation
- Commission as of January 1 of the year in which the land-disturbing activity was permitted. b. For sites that are equal to or greater than 50 acres of disturbed area, regardless of the existence of a certified local issuing authority in the jurisdiction, one of the following submissions is also required:
- (i). For all projects which begin after the effective date of this permit a single copy of the NOI and a single copy of the Plan shall be submitted to the appropriate EPD District Office. This copy of the Plan may be submitted to the appropriate EPD District Office as a Portable Document Format (PDF) file on CD-ROM or other storage
- (ii). For all projects which began on or before the effective date of this permit single copy of the NOI and a single copy of the Plan, if amended, shall be submitted to the appropriate EPD District Office. This copy of the Plan may be submitted to the appropriate EPD District Office as a Portable Document Format (PDF) file on
- c. For all projects where the construction activity as indicated on the existing NOI has changed, the amended Plans must be submitted in accordance with Part IV.A.4.a. In addition, the permittee must file a change of information NOI in accordance with Part II.
- 5. For stand alone projects that begin construction activity after the effective date of this permit, the primary permittee must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, or an alternative design professional approved by EPD in writing, to inspect the installation of the initial sediment storage requirements and perimeter control BMPs which the design professional designed within seven (7) days after installation. The design professional shall determine if these BMPs have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the primary permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professiona
- unless weather related site conditions are such that additional time is required. 6. For storm- or emergency-related repair work, the permittee shall implement appropriate BMPs and certified personnel (provided by the primary permittee) shall inspect at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater. If the storm- or emergency-related repair work will not be completed within sixty (60) days of commencement of construction activity, a single copy of the plan shall be submitted to EPD and the permittee shall comply with all requirements of this permit on the sixty-first (61st) day.

### SIGNATURE AND PLAN REVIEW

- The Erosion, Sedimentation and Pollution Control Plan shall be signed in accordance with Part V.G., and be retained on the site (or, if not possible, at a readily accessible location) which generates the storm water discharge in accordance
- with Part IV.F. of this permit. 2. The primary Permittee shall make plans available upon request to the EPD; to designated officials of the local government reviewing soil erosion and sediment control plans, grading plans, or storm water management plans; or in the case of a storm water discharge associated with construction activity which discharges through a municipal separate storm sewer system with an NPDES permit, to the local government operating the municipal separate storm sewer
- 3. EPD may notify the primary permittee at any time that the plan does not meet one or more of the minimum requirements of this part, within seven (7) days of such notification (or as otherwise provided by EPD), the primary permittee shall make the required changes to the plan and shall submit to EPD either the amended plan or a written certification that the requested changes have been made.

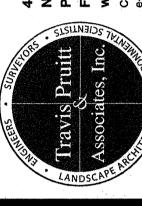
### (17) C. KEEPING PLANS CURRENT.

The primary Permittee(s) shall amend their plan whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on BMPs with a hydraulic component (i.e., those BMPs where the design is based upon rainfall intensity, duration and return frequency of storms) or if the plan proves to be ineffective in eliminating or significantly minimizing pollutants from sources identified under Part IV.D.3. amendments to the plan must be certified by a design professional as provided in this Permit.

## D. CONTENTS OF PLAN.

The Erosion, Sedimentation and Pollution Control Plan shall include, as a minimum, best management practices, which are consistent with, and no less stringent than, those practices contained in the "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, as well as the following: See below.

# CONTINUED ON NEXT SHEET





Travis Pruitt & Associates, DATE: 02/14/2020 SCALE: N/A CN: 190452PN JN: 190452 N: 166-D-038

SHEET NO: C4.3

- Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect; (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must
- he conducted until a Notice of Termination is submitted Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate
- Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4). These inspections must be conducted until a Notice of
- Termination is submitted. Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is received by EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).
- Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion. Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection
- A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.
- SAMPLING REQUIREMENTS. This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This paragraph shall not apply to any land disturbance associated with the construction of single-family homes that are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed. The following procedures constitute EPD's guidelines for sampling turbidity.
- RATIONALE FOR SAMPLING OUTFALLS: Receiving waters are not located on or directly adjacent to the site. Therefore, samples will be collected at the appropriate outfall (s). The Nephelometric Turbidity Unit (NTU) limits for each outfall sampled have been determined from Appendix B in the National Pollutant Discharge Elimination System Permit General Permit No. GAR100001. The following information was used to determine the appropriate NTU limits:

Surface Water Drainage Basin: 0-4.99 SQUARE MILES Type or Receiving Waters: WARM WATER

## b. SAMPLE TYPE.

All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the EPD.

- Sample containers should be labeled prior to collecting the samples.
- Samples should be well mixed before transferring to a secondary container (3) Large mouth, well cleaned and rinsed glass or plastic jars should be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.
- (4) Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed directly with a properly calibrated turbidimeter. Samples are not required to be cooled.
- (5) Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.
- c. SAMPLING POINTS. SEE PLANS AND USGS MAP
- (1) For construction activities the primary permittee must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum guidelines:
- confluence of the first storm water discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the
- ipstream turbidity value (b) The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water discharge not associated with the permitted activity. Where appropriate, several downstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity
- (c) Ideally the samples should be taken from the horizontal and vertical center of the receiving water(s) or the storm water outfall channel(s)
- (d) Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel.
- (e) The sampling container should be held so that the opening faces upstream. The samples should be kept free from floating debris (g) Permittees do not have to sample sheetflow that flows onto undisturbed natural areas or areas
- stabilized by the project. For purposes of this section, stabilized shall mean, for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPD for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas), or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and a seeding of target crop perennials appropriate for the region).
- (h) All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the standard set forth in Parts III.D.3. or III.D.4... whichever is applicable.

# (31) d. SAMPLING FREQUENCY.

- (1) The primary permittee must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall location within in forty-five (45)
- (2) However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve
- (12) hours after the beginning of the storm water discharge. (3) Sampling by the permittee shall occur for the following qualifying events:
- (a) For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 Inch with a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling
- (b) In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;
- (c) At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours\* until the selected turbidity standard is attained, or untilpost-storm event inspections determine that BMPs are properly designed, installed and
- (d) Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D4.a.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification (e) Existing construction activities, i.e., those that are occurring on or before the effective date of this
- does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and permit, that have met the sampling required by (a) above shall sample in accordance with (b). Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.

\*Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day

# NON-STORM WATER DISCHARGES.

Except for flows from fire fighting activities, sources of non-storm water listed in Part III.A.2. of this permit that are combined with storm water discharges associated with construction activity must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.

#### E. REPORTING.

- The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written otification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.
- 2. All sampling reports shall include the following information:
- The rainfall amount, date, exact place and time of sampling or measurements; The name(s) of the certified personnel who performed the sampling and measurements;
- The date(s) analyses were performed
- The time(s) analyses were initiated:
- The name(s) of the certified personnel who performed the analyses; References and written procedures, when available, for the analytical techniques or methods used; The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc.,
- used to determine these results; Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and Certification statement that sampling was conducted as per the Plan.
- 3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The permittee shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or

### RETENTION OF RECORDS.

- The primary permittee (no secondary permittees for this project) shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
- a. A copy of all Notices of Intent submitted to EPD:
- b. A copy of the Erosion. Sedimentation and Pollution Control Plan required by this permit; The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit:
- d. A copy of all sampling information, results, and reports required by this permit; e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;

g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

- A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of
- 2. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI, of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the

permitted site. This period may be extended by request of the EPD at any time upon written notification to the

#### PART V. STANDARD PERMIT CONDITIONS

### A. DUTY TO COMPLY

- Each permittee must comply with all applicable conditions of this permit. Any permit noncompliance constitutes a violation of the Georgia Water Quality Control Act (O.C.G.A. §§12-5-20, et seq.) and is grounds for enforcement action; for permit termination; or for denial of a permit renewal application. Failure of a primary permittee to complete with any applicable term or condition of this permit shall not relieve any other primary permittee from compliance with their applicable terms and conditions of this permit.
- 2. Each permittee must document in their records any and all known violations of this permit at his/her site within seven (7) days of his/her knowledge of the violation. A summary of these violations must be submitted to EPD by
- the permittee at the addresses shown in Part II.C. within fourteen (14) days of his/her discovery of the violation Penalties for violations of permit conditions. The Federal Clean Water Act and the Georgia Water Quality Control Act (O.C.G.A. §§12-5-20, et seq.) provide that any person who falsifies, tampers with, or knowingly renders inaccurate any monitoring device or method required to be maintained under this permit, makes any false statement, representation, or certification in any record or other document submitted or required to be maintained under this permit, including monitoring reports or reports of compliance or noncompliance shall, upon conviction be punished by a fine or by imprisonment, or by both. The Federal Clean Water Act and the Georgia Water Quality Control Act also provide procedures for imposing civil penalties which may be levied for violations of the Acts, any permit condition or limitation established pursuant to the Acts, or negligently or intentionally failing or refusing to comply with any final or emergency order of the Director.
- B. CONTINUATION OF THE EXPIRED GENERAL PERMIT. This permit expires on the date shown on the cover page of this permit. However, an expired general permit continues in force and effect until a new general permit is issued, final
- C. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE. It shall not be a defense for the permittee in an enforcement action that it would have been necessary to halt or reduce the permitted activity in order to maintain
- D. DUTY TO MITIGATE. The permittee shall take all reasonable steps to minimize or prevent any discharge in violation of this permit that has a reasonable likelihood of adversely affecting human health or the environment.

DITY TO PROVIDE INFORMATION. The permittee shall furnish to the Director: a State or local agency approving s

- erosion and sedimentation control plans, grading plans, or storm water management plans; or in the case of a storm water discharge associated with construction activity which discharges through a municipal separate storm sewer system with an NPDES permit, to the local government operating the municipal separate storm sewer system, any information which is requested to determine compliance with this permit. In the case of information submitted to the EPD such information shall be considered public information and available under the Georgia Open Records Act.
- F. OTHER INFORMATION. When the permittee becomes aware that he failed to submit any relevant facts or submitted incorrect information in the Notice of Intent or in any other report required to be submitted to the EPD, the permittee shall
- G. SIGNATORY REQUIREMENTS. All Notices of Intent, Notice of Terminations, inspection reports, sampling reports or other reports requested by the EPD shall be signed as follows:
- 1. All Notices of Intent and Notices of Termination shall be signed as follows:
- a. For a corporation; by a responsible corporate officer. For the purpose of this permit, a responsible corporate officer means: (1) a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy- or decision making functions for the corporation; or (2) the manager of one or more manufacturing, production or operating facilities provided the manager is authorized to make management decisions which govern the operation of the regulated facility including having the explicit or implicit duty of making major capital investment recommendations, and initiating and directing other comprehensive measures to assure long term environmental compliance with environmental laws and regulations; the manager can ensure the necessary systems are established or actions taken to gather complete and accurate information for permit application requirements; and where authority to sign documents has been assigned or delegated to the manager in accordance with corporate
- For a partnership or sole proprietorship: by a general partner or the proprietor, respectively; or c. For a municipality, State, Federal, or other public facility: by either a principal executive officer or ranking
- elected official:and d. Changes to authorization. If an authorization under Part II.B. is no longer accurate, a change of information NOI satisfying the requirements of Part II.B. must be submitted to the EPD prior to or together with any inspection reports, sampling reports, or other reports requested by the EPD to be signed by a person described above or by a duly authorized representative of that person.
- 2. All inspection reports, sampling reports, or other reports requested by the EPD shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative
- The authorization is made in writing by a person described above and submitted to the EPD; b. The authorization specifies either an individual or a position having responsibility for specified operation(s) of the regulated facility or activity, such as the position of manager, Operator, superintendent, or position of equivalent responsibility or an individual or position having overall responsibility for environmental matters for the company. (A duly authorized representative may be either a named individual or any individual occupying
- c. Certification. Reports delineated in Part V.G.2. shall be signed by the permitee or duly authorized representative and shall make the following certification:
- "I certify under penalty of law that this report and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties fo ".submitting false information, including the possibility of fine and imprisonment for knowing violations
- H. OIL AND HAZARDOUS SUBSTANCE LIABILITY. Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is or may be subject under the Georgia Hazardous Waste Management Act, O.C.G.A. § 12-8-60, et seq. or under Chapter 14 of Title 12 of the Official Code of Georgia Annotated; nor is the Operator relieved from any responsibilities, liabilities or penalties to which the permittee is or may be subject under Section 311 of the Clean Water Act or Section 106 of Comprehensive Environmental Response Compensation And Liability Act.
- PROPERTY RIGHTS. The issuance of this permit does not convey any property rights of any sort, nor any exclusive privileges, nor does it authorize any injury to private property nor any invasion of personal rights, nor any infringement of

J. SEVERABILITY. The provisions of this permit are severable, and if any provision of this permit, or the application of any

the remainder of this permit shall not be affected thereby.

provision of this permit to any circumstance, is held invalid, the application of such provision to other circumstances, and

OTHER APPLICABLE ENVIRONMENTAL REGULATIONS AND LAWS. Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable State law or regulation under authority preserved by Section 510 of the Clean Water Act. Nothing in this permit, unless explicitly stated, exempts the permittee from compliance with other applicable local, state and federal ordinances, rules, regulations, and laws. Furthermore, it is not a defense to compliance with this permit that a local government authority has approved the permittee's Erosion, Sedimentation and Pollution Control Plan or failed to take enforcement action against the permittee for violations of the Erosion, Sedimentation and Pollution Control Plan, or other provisions of this permit. No condition of this permit shall release the permittee from any responsibility or requirements under other environmental statutes or regulations.

- L. PROPER OPERATION AND MAINTENANCE. The permittee shall at all times properly operate and maintain all facilities and systems of treatment and control (and related appurtenances) which are installed or used by the permittee to achieve compliance with the conditions of this permit and with the required plans. Proper operation and maintenance also includes adequate laboratory controls and appropriate quality assurance procedures. Proper operation and maintenance requires the operation of backup or auxiliary facilities or similar systems, installed by an permittee only when necessary to achieve compliance with the conditions of the permit.
- M. INSPECTION AND ENTRY. The permittee shall allow the Director or an authorized representative of EPA. EPD or to designated officials of the local government reviewing soil erosion and sediment control plans, grading plans, or storm water management plans; or, in the case of a construction site which discharges through a municipal separate storm sewer system, an authorized representative of the municipal operator of the separate storm sewer system receiving the
- discharge, upon the presentation of credentials and other documents as may be required by law, to:
- 1. Enter upon the permittee's premises where a regulated facility or activity is located or conducted or where records
- must be kept under the conditions of this permit; and 2. Have access to and copy at reasonable times, any records that must be kept under the conditions of this permit;
- N. PERMIT ACTIONS. This permit may be revoked and reissued, or terminated for cause including but not limited to changes in the law or regulations. The filing of a request by the permittee for termination of the permit, or a notification of planned changes or anticipated noncompliance, does not stay any permit condition.

3. Inspect at reasonable times any facilities or equipment (including monitoring and control equipment).

#### Part VI. TERMINATION OF COVERAGE

- A. NOTICE OF TERMINATION ELIGIBILITY. Notice of Termination, signed in accordance with Part V.G. of this permit,
- 1. For construction activities, by the permittee where the entire stand alone development has undergone final stabilization, all storm water discharges associated with construction activity that are authorized by this permit have ceased, the site is in compliance with this permit and all temporary BMPs have been removed. For construction activities where the primary permittee has elected to submit NOIs for separate phases of the stand alone development, the phase or phases of the stand alone development on the NOT shall correspond to the phase or
- 2. By the Owner or Operator when the Owner or Operator of the site changes. Where storm water discharges will continue after the identity of the Owner or Operator changes, the permittee must, prior to filing the Notice of Termination, notify any subsequent Owner or Operator of the permitted site as to the requirements of this permit. All temporary structural best management practices should be removed at this time.

### B. NOTICE OF TERMINATION CONTENTS:

- 1. The NPDES permit number for the storm water discharge associated with construction activity identified by the
- Notice of Termination (i.e., GAR100001 Stand Alone) 2. The project construction site name, GPS location (decimal degrees) of construction exit t, construction site location city (if applicable) and county of the construction site for which the notification is submitted. This information must correspond to the similar information as provided on the NOI. Where an address for the construction site is not available, the construction site location information must be sufficient to accurately locate the construction site:
- 3. The owner's legal name, address, telephone number and email address and the operator's legal name, address, telephone and email address 4. The name of the initial receiving water(s), and when the discharge is through a municipal separate storm sewer
- system (MS4), the name of the local government operating the municipal separate storm sewer system and the name of the receiving water(s) which receives the discharge from the MS4: 5. Copies of all sampling reports and/or a written justification why sampling was not conducted. Copies of all sampling reports may be submitted as a Portable Document Format (PDF) file on CD-ROM or other storage device;
- Copy of the permittee's most current Notice of Intent: Any other information specified on the NOT in effect at the time of submittal: and 8. The following certification signed in accordance with Part V.G.1. (signatory requirements): "I certify under penalty of law that either: (a) all storm water discharges associated with construction activity authorized by this permit have ceased, the site is in compliance with this permit and all temporary BMPs have been removed or (b) I am no longer an Owner or Operator at the construction site and a new Owner or Operator has assumed operational control of the permitted construction site where I previously had ownership or operational control; and that discharging pollutants
- Quality Control Act and the Clean Water Act where the discharge is not authorized by a NPDES permit." C. NOTICE OF TERMINATION SUBMITTAL. All Notices of Termination by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate EPD District Office according to the schedule in Appendix A of this permit and to the Local Issuing Authority in jurisdictions authorized to issue a Land Disturbance Activity permit for the permittee's construction site pursuant to O.C.G.A. 12-7-1, et seg. If an electronic submittal service is provided by the EPD then the Notice of Termination may be submitted electronically;

if required, a paper copy must also be submitted by return receipt certified mail or similar service.

in storm water associated with construction activity to waters of Georgia is unlawful under the Georgia Water

### **CRITICAL WORK AREAS**

BUFFERS - Do not disturb any buffer except at approved areas. Maintain protective fencing along limits of all buffers. EXPOSED SOIL - Keep disturbance and exposure of all soils to a minimum. Provide plastic sheeting over stockpile

CONCENTRATED FLOW AREAS - Provide temporary hay bale check dams at all locations of concentrated flow. replace check dams at the end of each day as fill is placed. Install diversion channel leading to level spreader every 100 STEEP SLOPES - All slopes 2.5:1 or steeper and higher than five (5) feet shall receive surface roughening, polymers. and/or erosion control matting. All fill slopes shall receive a diversion dike and temporary down drains along the top of the slope to prevent spilling over the edge and down the face of the slope. The temporary down drains shall be constructed with perforated stand pipes at the top of the slope and reconstructed each day as the slope increases in

CONSTRUCTION EXIT - Ensure that sediment is not tracked onto the public right-of-way at any time. Remove sediment immediately if tracked onto the pavement. INLET SEDIMENT TRAPS - Where inlet sediment traps are installed at the top of the slope, ensure that the top of the sediment barrier is below the top of the slope and that an emergency overflow is provide to the drainage structure. This can be accomplished by removing the cover to a drop inlet.

### STORM DRAIN OUTLET PROTECTION - Fabric must be installed under the rip-rap. **ADJACENT AREAS**

Describe any neighboring area which could be affected by the post-developed runoff from the site.

ADJACENT STREAMS - The location of any stream within 200 feet of the property is shown on the plans or on the ADJACENT LAKES - The location of any lake within 200 feet of the property is shown on the plans or on the usgs site ADJACENT RESIDENTIAL AREAS - The location of any residential area within 200 feet of the property is shown on ADJACENT WETLANDS - The location of any wetlands within 200 feet of the property is shown on the plans or on the

# **VEGETATIVE MEASURES**

Erosion control techniques shall be used on all areas exposed for a prolonged period of time, including areas that will be paved or built upon in the future. Various types of vegetative practices are used for erosion control. The time-line for the ementation of various vegetative practices is as follows:

# Mulch, temporary vegetation, or permanent (perennial) vegetation shall be completed on all exposed areas within 14

Ds1 - Disturbed Area Stabilization (With Mulching Only) Mulching can be used as a singular erosion control method on areas at rough grade. Mulch can be an option for up to six months provided that the mulch is applied at the appropriate depth (depending on type of mulch used), anchored, and has a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth, anchorage, and 90% cover. If an area will remain

undisturbed for greater than six months, permanent (perennial) vegetation shall be used. Ds2 - Disturbed Area Stabilization (With Temporary Seeding) Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months.

Ds3 - Disturbed Area Stabilization (With Permanent Vegetation) Permanent (perennial) vegetation or sod shall be used immediately on areas at final grade. Permanent (perennial) vegetation shall be used on rough graded areas that will be undisturbed for more than six months.

# Ds4 - Disturbed Area Stabilization (With Sodding) may be used in place of Ds3.

"Stabilization" of an area is accomplished when 70 % of the surface area is covered in a uniform, vegetative cover (permanent or temporary) or anchored mulch of the appropriate thickness with 90% coverage. "Final stabilization" means that all soil disturbing activities at the site have been completed, and that for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPD for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas), or equivalent permanent stabilization measures.

Permanent (perennial) vegetation shall consist of: planted trees, shrubs, perennial vines; a crop of perennial vegetation appropriate for the time of year and region; or a crop of annual vegetation and a seeding of target crop perennials appropriate for the region, such that within the growing season a 70% coverage by perennial vegetation shall be achieved.

"Final Stabilization" means that all soil disturbing activities at the site have been completed, and that for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPD for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas), or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and seeding of target crop perennials appropriate for the region).

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.

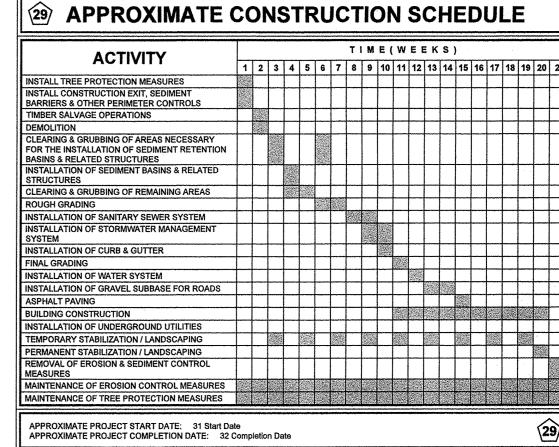
- (20) 2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT
- 3. Sd2-F SEDIMENT TRAPS TO BE INSTALLED AT ALL DROP INLETS AND REPLACED WITH SD2-P SEDIMENT
- TRAPS AFTER GRATES AND CURB AND GUTTER HAVE BEEN INSTALLED.
- 4. ALL SD2-F TO REMAIN ON ALL JUNCTION BOXES UNTIL TOPS HAVE BEEN INSTALLED
- CLEANING OUT ALL STORM STRUCTURES AND PIPES ONCE SITE HAS BEEN PERMANENTLY STABILIZED. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED

5 THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AND

- WITH MULCH OR TEMPORARY SEEDING.
- 8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER

- 9. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION, LATEST EDITION.
- 10. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/4 FULL VOLUME 11. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES,
- WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY 12. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
- 13. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.



SITE AREA:	39.3 ACRES
DISTURBED AREA:	2.7 ACRES
TOTAL AREA OF WETLAND:	6.23 ACRES
DISTURBED AREA OF WETLAND:	0.0 ACRES
DISTURBED LENGTH OF WETLAND	D: O O FFFT

VuC Vaucluse-Urban land	
complex, 2-8% slope	
VuD Vaucluse-Urban land complex, 8-15% slope	

# (12) (13) DESIGN PROFESSIONAL CERTIFICATION AND SITE VISIT

I certify that the permittee's Erosion, Sediment and Pollution Control Plan provides for an appropriate and comprehensive system of Best Management Practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100001.

I certify, under penalty of law that this plan was prepared a myself or my authorized agent, under my direct supervision	
45	2-14-20
For the Firm - Travis Pruitt & Associates, Inc.	Date

GSWCC Level II Certification No. 0000010459

# (14) SEVEN-DAY INSPECTION OF INITIAL SEDIMENT STORAGE REQUIREMENTS

The design professional who prepared the Erosion, Sedimentation and Pollution Control Plan will inspect the installation of the initial sediment storage requirements and perimeter control BMPs which the design professional designed within seven (7) days after installation. The design professional shall determine if these BMPs have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the primary permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required.

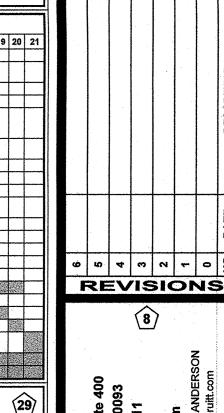
For the Firm - Travis Pruitt & Associates, Inc. Georgia Registration No. 19306 GSWCC Level II Certification No. 0000010459 Correction of Deficiencies Required - Yes (see separate comments) No

# **OWNER'S CERTIFICATION**

"I certify that to the best of my knowledge and belief, that the Erosion, Sedimentation and Pollution Control Plan (Plan) was prepared by a design professional, as defined by this permit, that has completed the appropriate certification course approved by the Georgia Soil and Water Conservation Commission in accordance with the provisions of O.C.G.A. 12-7-19 and that I will adhere to the Plan and comply with all requirements of this permit."

mer's printed name	Title

Renotification. Upon issuance of a new or different general permit for some or all of the storm water discharges covered by this permit, the permittee is required to notify the EPD of their intent to be covered by the new or different general permit. The permittee must submit a new Notice of Intent in accordance with the notification requirements of the new or different general permit.





Travis Pruitt & Associates, In DATE: 02/14/2020 CALE: N/A N: 190452PN N: 190452

N: 166-D-038

SHEET NO: C4.4

#### **EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN**

- Stripping of vegetation, regrading, and other development activities shall be conducted in such a manner so as to minimize erosion. The minimum area of disturbance for this Project has been shown on the Plans. Refer to the Construction Plans for the limits of clearing for this Project.
- Cut and fill operations shall be kept to a minimum. The minimum amount of grading for this Project has been shown on the Plans. Refer to the Construction Plans for the proposed grading of this Project
- Development plans must conform to topography and soil type, so as to create the lowest practical erosion potential. The layout of the Project was designed to conform to the topography and soil type within the Project wherever possible except where the property lines, easements and buffers have modified this layout. The lowest practical erosion potential has been designed into the Plans. Erosion control measures have been installed to reduce the erosion potential in critical areas. Refer to the Construction Plans for the location of the vegetative and structural erosion control measures for this Project
- Whenever feasible, natural vegetation shall be retained, protected, and supplemented. The minimum area of disturbance for this Project has been shown on the Plans. Tree Protection fence or tape has been installed at the limits of clearing. Additional vegetation has been added to compensate for the removal of the existing vegetation as required by the Issuing Authority. Refer to the Construction Plans for the limits of clearing, tree protection measures and landscaping for this Project.
- 5. The disturbed area and the duration of exposure to erosive elements shall be kept to a practicable minimum. The minimum area of disturbance for this Project has been shown on the Plans. All disturbed areas are to be seeded within 7 days of completion of disturbance. Temporary seeding may be required during construction depending on the site conditions. Refer to the Construction Plans for the limits of clearing for this Project.
- Disturbed soil shall be stabilized as quickly as practicable. All disturbed areas are to be seeded within 7 days of completion of disturbance. Temporary seeding may be required during construction depending on the site conditions. Refer to the Construction Plans for the stabilization methods for this Project.
- Temporary vegetation or mulching shall be employed to protect exposed critical areas during development. All disturbed areas are to be seeded within 7 days of completion of disturbance. Temporary seeding may be required during construction depending on the site conditions. Refer to the Construction Plans for the stabilization methods and critical
- Permanent vegetation and structural erosion control measures shall be installed as soon as practicable. All disturbed areas are to be seeded within 7 days of completion of disturbance. Temporary seeding may be required during construction depending on the site conditions. Refer to the Construction Plans for the stabilization methods and structural erosion control measures for this Project.
- 9. To the extent necessary, sediment in run-off water shall be trapped by the use of debris basins, silt traps, or similar measures until the disturbed area is stabilized. Refer to the Construction Plans for the location of the structural erosion control measures for this Project.
- Adequate provisions shall be provided to minimize damage from surface water to the cut face of excavations or the sloping surfaces of fills. All slopes are to be surfaced roughened prior to placement of seed. All slopes are to be seeded within 7 days of completion of disturbance. Mulching shall be placed on all slopes that have not been stabilized prior to the arrival of inclement weather. Temporary seeding may be required during construction depending on the site conditions. Down drain structures (temporary or permanent) and diversions are to be installed where shown. Erosion control matting and blankets are to be installed where shown. Refer to the Construction Plans for the location of the structural erosion control measures for this Project.
- 11. Cuts and fills shall not endanger adjoining property. Refer to the Construction Plans for the location of the top and toe of the cut and fill slopes for this development. Adequate provisions have been made to protect the adjacent property from the slopes of this Project.
- 12. Fills shall not encroach upon natural water courses or constructed channels in a manner so as to adversely affect other property owners. Refer to the Construction Plans for the location of the toe of the fill slopes adjacent to the natural water
- 13. Grading equipment shall cross flowing streams by the means of bridges or culverts, except when such methods are not feasible, provided in any case that such crossings shall be kept to a minimum. Refer to the Construction Plans for the location of any stream crossing and the structural erosion control measures for this Project.
- 14. Provisions shall be provided for treatment or control of any source of sediments and adequate sedimentation control facilities to retain sediments on site or preclude sedimentation or adjacent waters beyond the levels specified in this permit. Refer to the Construction Plans for the location of the structural erosion control measures for this Project, Refer to the Comprehensive Monitoring Program for the monitoring procedures of the structural erosion control measures for
- 15. Except as provided in Note 16, below, no construction activities shall be conducted within a 25 foot buffer along the banks of all state waters, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, except where the Director has determined to allow a variance that is at least as protective of natural resources and the environment in accordance with the provisions of O.C.G.A. 12-7-6, or where a drainage structure or a roadway drainage structure must be constructed, provided that adequate erosion control measures are incorporated in the project plans and specifications and are implemented. Refer to the Construction Plans for the location of any state waters buffer disturbance for this Project.
- 16. No construction activities shall be conducted within a 50 foot buffer, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, along the banks of any state waters classified as 'trout streams' except when approval is granted by the Director for alternate buffer requirements in accordance with the provisions of O.C.G.A. 12-7-6, or where a roadway drainage structure must be constructed; provided, however, that small springs and streams classified as 'trout streams' which discharge an average annual flow of 25 gallons per minute or less shall have a 25 foot buffer or they may be piped, at the discretion of the permittee, pursuant to the terms of a rule providing for a general variance promulgated by the Board of Natural Resources including notification of such to EPD and the local issuing authority of the location and extent of the piping and prescribed methodology for minimizing the impact of such piping and for measuring the volume of water discharged by the stream. Any such pipe must stop short of the downstream permittee's property, and the permittee must comply with the buffer requirements for any adjacent trout streams. Refer to the Construction Plans for the location of any trout stream buffer disturbance for this Project. No
- Except as provided above, for buffers required pursuant to Notes 15 and 16, no construction activities shall be conducted within a buffer and a buffer shall remain in its natural, undisturbed, state of vegetation until all land-disturbing activities on the construction site are completed. Between the time final stabilization of the site is achieved and upon the submittal of a Notice of Termination, a buffer may be thinned or trimmed of vegetation as long as a protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed.
- 18. "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."

# SITE DESCRIPTION AND INFORMATION

- 1. A DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY: Replacement of existing playgrounds, construction of new pavilion and fishing pier.
- 2. A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOIL FOR MAJOR PORTIONS OF THE SITE: Replacement of existing playgrounds, construction of new pavilion and fishing pier. Existing pavilion to have roof shingles replaced and all wood surfaces refinished. area drains will also be added to address
- 3. TOTAL AREA OF SITE: 39.3 ACRES
- TOTAL DISTURBED AREA OF SITE: 2.7 ACRES 4. PRE-CONSTRUCTION RUNOFF COEFFICIENT: C=0.30
- POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0 EXISTING SOIL DATA: Refer to the Construction Plans for the Soil Type Chart.
- A SITE MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF SOIL DISTURBANCE. AN OUTLINE OF AREAS WHICH ARE NOT TO BE DISTURBED. THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN. THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR. SURFACE WATERS (INCLUDING WETLANDS) AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER: Refer to the Construction Plans for the drainage patterns and slopes, limits of clearing, location of structural and non structural control items, location and types of stabilization practices, location of surface waters and storm water discharge locations
- . RECEIVING WATERS: Unnamed Tributary to Rocky Creek

AREA OF WETLANDS: 0.0 Acres The receiving waters are an unnamed tributary to Unnamed Tributary to Rocky Creek and is located within one (1) linear mile of and within the same watershed as, any portion of an Impaired Stream Segment identified as "not supporting" its designated use(s) shown on Georgia's most recent and subsequent "305(b)/303(d) List Documents (Final)" for the criteria violated. "Bio F" (Impaired Fish Community) and/or "Bio M" (Impaired Macroinvertebrate Community), within Category 4a, 4b or 5, and the potential cause is either "NP" (nonpoint source) or "UR" (urban runoff) at www.gaepd.org/Documents/305b.html

The site discharges into a receiving waters that is not listed as an Impaired Stream Segment (identified in item 22 on the checklist), therefore a TMDL Implementation plan for sediment is not required.

- A TMDL Implementation plan for sediment has not been finalized for the Impaired Stream Segment (identified in item 22 on the checklist) at least six months prior to submittal of the NOI, the ES&PC Plan does not address any site-specific conditions or requirements included in the TMDL Implementation Plan.
- A TMDL Implementation plan for sediment has been finalized for the Impaired Stream Segment (identified in item 22 on 27) 17. For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, the checklist) at least six months prior to submittal of the NOI, the ES&PC Plan addresses any site-specific conditions or requirements included in the TMDL Implementation Plan.
- SECONDARY PERMITTEES: There are no Secondary Permittees for this Standalone Project. All sub-contractors are under the direct control of the Primary Permittee
- B. EXISTING SOILS INFORMATION: Refer to Soil Chart
- 9. EXISTING RUNOFF WATER QUALITY: None available
- 10. LOCATION OF SURFACE WATERS ON THE CONSTRUCTION SITE: Refer to the Construction Plans for the location and limits of any surface waters on this site.

- 1. STABILIZATION MEASURES: A description of interim and permanent stabilization measures, including site-specific scheduling of the implementation of the measures. Refer to the Construction Plans for the description and schedule of the interim and permanent stabilization measures. All disturbed areas shall be seeded or stabilized within 14 days of disturbance. Site plans should ensure that existing vegetation is preserved and that disturbed portions of the site are stabilized. Refer to the Construction Plans for the limits of clearing and disturbed area stabilization. All disturbed areas shall be seeded or stabilized within 14 days of disturbance. Stabilization measures may include: temporary seeding, permanent seeding, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, preservation of mature vegetation, and other appropriate measures. Refer to the Construction Plans for stabilization methods and location within the Project. Stabilization shall also include impervious surfaces. A record of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included in the Plan. Refer to the Construction Plans for the approximate dates of the construction activities. Except as provided below, stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Refer to the Construction Plans for type of stabilization methods and the approximate date. All disturbed areas shall be seeded or stabilized within 14 days of disturbance.
- 2. STRUCTURAL PRACTICES: A description of structural practices to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site to the degree attainable. Such practices may include silt fences, earth dikes, drainage swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drainage inlet protection, rock outlet protection, reinforced soil retaining systems. gabions, and temporary or permanent sediment basins. Structural practices should be placed on upland soils to the degree attainable. The installation of these devices may be subject to Section 404 of the CWA. Refer to the Construction Plans for the location, size and type of the structural practice within the Project.
- SEDIMENT BASINS: For common drainage locations a temporary (or permanent) sediment basin providing at least 1800 cubic feet (67 cubic yards) of storage per acre drained, or equivalent control measures, shall be provided until fina stabilization of the site. The 1800 cubic feet (67 cubic yards) of storage area per acre drained does not apply to flows from off-site areas and flows from on-site areas that are either undisturbed or have undergone final stabilization where such flows are diverted around both the disturbed area and the sediment basin. For drainage locations where a temporary sediment basin providing at least 1800 cubic feet (67 cubic yards) of storage per acre drained, or equivalent controls is not attainable, sediment traps, silt fences, wood mulch berms or equivalent sediment controls are required for all side slope and down slope boundaries of the construction area. When the sediment fills to a volume at most of 22 cubic vards per acre for each acre of drainage area, the sediment shall be removed to restore the original design volume. This sediment must be properly disposed. Sediment basins may not be feasible at some construction projects. Careful consideration must be used to determine when a sediment basin cannot be used and/or when 67 cubic yards of storage per acre drained is not attainable and a written justification explaining the decision(s) must be included in the Plan. Perennial and intermittent waters of the State shall not be used for temporary or permanent sediment detention. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan. Outlet structures that withdraw water from the surface are temporary BMPs and must be removed prior to submitting a Notice of Termination. For construction activities where the NOI was submitted prior to January 1, 2014, this requirement of the permit is not applicable.
- 4. ALTERNATE AND HIGH PERFORMANCE BMPs. The use of alternate BMPs whose performance has been documented to be equivalent or superior to conventional BMPs as certified by a Design Professional may be allowed (unless disapproved by EPD or the State Soil and Water Conservation Commission). The use of infiltration trenches. seen herms, sand filters, dry wells, polyacrylamide, etc. for minimizing point source discharges except for large rainfall events is encouraged. The location of the alternate and high performance BMPs, if they are being used, are shown on the plans. The performance data is included with the detail.
- STORM WATER MANAGEMENT: A description of measures that will be installed during the construction process to control pollutants in storm water discharges that will occur after construction operations have been completed. Structural measures should be placed on upland soils to the degree attainable. The installation of these devices may be subject to Section 404 of the CWA. This permit only addresses the installation of storm water management measures, and not the ultimate operation and maintenance of such structures after the construction activities have been completed and the site has undergone final stabilization. Operators are only responsible for the installation and maintenance of storm water management measures prior to final stabilization of the site, and are not responsible for maintenance after storm water discharges associated with construction activity have been eliminated from the site. Refer to the Construction Plans for the location and design of the measures of the storm water management facilities. Refer to the Hydrology Study for the design calculations of the storm water management facilities. Additional water quality volume and/or channel storage volume has been provided to allow additional settlement of suspended soils and for the treatment of pollutants as required by local ordinances.
- STORM WATER MANAGEMENT FACILITIES: Such practices may include: storm water detention structures (including wet ponds); storm water retention structures; flow attenuation by use of open vegetated swales and natural depressions infiltration of runoff onsite; and sequential systems (which combine several practices). The Plan shall include an explanation of the technical basis used to select the practices to control pollution where flows exceed pre-development levels. Refer to the Construction Plans for the location and type of the storm water management facilities.
- 7. Velocity dissipation devices shall be placed at discharge locations and along the length of any outfall channel for the purpose of providing a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected [e.g., no significant changes in the hydrological regime of the receiving water(s)1. Refer to the Construction Plans for the location and size of the rip-rap storm drainage outlet protection, check dams and rock filter dams. These structures will provide velocity dissipation of the developed flow to a non-erosive velocity in the watercourse.
- GREEN INFRASTRUCTURE. Installation and use of Green Infrastructure approaches and practices that mimic natural processes and direct storm water where it can be infiltrated, evapotranspirated or re-used with significant utilization of soils and vegetation rather than traditional hardscape collection, conveyance and storage structures are encouraged to the maximum extent practicable. Green Infrastructure practices or approaches include permeable or porous paving, vegetated swales instead of curbs and gutters, green roofs, tree boxes, rain gardens, constructed wetlands, infiltration planters, vegetated median strips, protection and enhancement of riparian buffers and floodplains and the overall reduction in site disturbance and impervious area. Design information on Green Infrastructure practices and other ways to manage storm water can be found in the Georgia Stormwater Management Manual (www.georgiastormwater.com) and the Georgia Green Growth Guidelines (www.coastalgadnr.org/cm/green/guide) Additional information on Green Infrastructure can be found at water.epa.gov/infrastructure/greeninfrastructure/index.cfm.
- 9. WASTE DISPOSAL. Locate waste collection areas away from streets, gutters, watercourses and storm drains. Waste collection areas, such as dumpsters, are often best located near construction site entrances to minimize traffic on disturbed soils. The Plan should include secondary containment around liquid waste collection areas to further minimize the likelihood of contaminated discharges. Waste materials, shall not be discharged to waters of the State, except as authorized by a Section 404 permit.
- 10. OFF-SITE VEHICLE TRACKING of dirt, soils, and sediments and the generation of dust shall be minimized or eliminated to the maximum extend practical. The Plan shall include the best management practice to be implemented at the site or common development. Refer to the Construction Plans for the location of the construction exit to control the off-site vehicle tracking of dirt, soils and sediments. All vehicles leaving the Project shall exit via the construction exit. Al disturbed areas shall be covered with mulch, temporary or permanent vegetation and/or impervious surfaces as soon as practical. All other areas shall be sprayed with an adhesive-water solution as required to control dust from the Project. Construction traffic shall be kept off of these areas as much as possible.
- 11. Nothing in this permit relieves a permittee from any obligation to comply with all applicable State and local regulations of waste disposal, sanitary sewer, sentic and petroleum storage systems Refer to the Construction Plans for the location of the solid waste collection area. All solid waste from this Project shall be disposed in the solid waste collection container and taken to an approved landfill. Refer to the Construction Plans for the location and size of the sanitary sewer or septic tank design. The sanitary sewer or septic tank design shall be

approved by the Local Jurisdiction prior to construction. (See continuation on Sanitary Waste note)

discharge of hazardous substances or oil resulting from an onsite spill.

- 12. PETROLEUM SPILLS AND LEAKS: Refer to the Construction Plans for the location of the fueling and equipment storage area for the Project. All fuel storage shall be provided off-site. All fueling and equipment storage shall be performed at the designated location shown on the Plans. A covered fifty-five gallon drum and a shovel shall be placed at this location. All spills during fueling or leaks from the equipment shall be removed to full depth of soil contamination and the soil shall be placed in the drum. When the drum is full, the drum shall be properly disposed of at an approved hazardous waste landfill. Any spill of over twenty-five gallons must be reported to the Georgia Environment Protection Department at 1-800-241-4113 and the National Response Center at 1-800-424-8802. The Plan does not authorize the
- 13. MAINTENANCE. A description of procedures to ensure the timely maintenance of vegetation, erosion and sediment control measures and other protective measures identified in the site plan in good and effective operating condition. Refer to the Construction Plans for all maintenance and operation procedures of the vegetation, erosion and sediment control measures and other protective measures. The Owner of the property is responsible to ensure that proper maintenance is performed on all measures.
- 14. INSPECTIONS. An inspection schedule must be incorporated in the Erosion, Sedimentation and Pollution Control Plan that is in compliance with the requirements of Part IV.D.4. of the permit. Refer to the Construction Plans for the inspection schedule of all vegetation, erosion and sediment control measures and other protective measures. All measures shall be inspected by the Contractor at least once a week and after every rain event. Refer to the Comprehensive Monitoring Program for details of this inspection.
- 15. NON-STORM WATER DISCHARGES. Except for flows from fire fighting activities, sources of non-storm water listed in Part III.A.2. of this permit that are combined with storm water discharges associated with construction activity must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution measures for the non-storm water component(s) of the discharge. The following non-storm water discharges are made part of the Erosion, Sedimentation and Pollution Control Plan: discharges from fire fighting activities; fire hydrant flushing; potable water sources including water line flushing; irrigation drainage; air conditioning condensate; springs; uncontaminated ground water; and foundation or footing drains where flows are not contaminated with process materials or pollutants. All discharges shall be at non-erosive velocities or shall be reduced through the use of velocity dissipation devices.
- 16. All permittees are required to minimize the discharge of pollutants from dewatering trenches and excavations.
- Discharges are prohibited unless managed by appropriate controls. herbicides, detergents, sanitary waste and other materials present on site, provide cover (e.g. plastic sheeting temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended

#### WASTE DISPOSAL CONTROLS:

### **SOLID WASTE MATERIALS**

All waste materials will be collected and stored in a securely lidded metal dumpster rented from a licensed solid waste management company in the project county. The dumpster will meet all local and any State solid waste management regulations. All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied a minimum of twice per week or more often if necessary, and the trash will be hauled to an approved solid waste landfill. No construction waste materials will be buried onsite. All personnel will be instructed regarding the correct procedure for waste tisposal. Notices stating these practices will be posted in the office trailer and 24-hour emergency contact will be responsible for seeing that these procedures are followed.

All hazardous waste materials will be disposed of in the manner specified by local or State regulation or by the manufacturer. Site personnel will be instructed in these practices and 24-hour emergency contact will be responsible for seeing that these practices are followed. (See Part III.B. Spill Control Practices)

### SANITARY WASTE

All sanitary waste will be collected from the portable units a minimum or three times per week by a licensed sanitary waste management contractor, as required by local regulation Sanitary Sewer will be provided by Municipal Authority at the completion of this Project.

A stabilized construction entrance has been provided to help reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept daily to remove any excess mud, dirt or rock tracked from the site. Dump trucks hauling material form the construction site will be covered with a tarpaulin

### CONCRETE WASHOUT PIT

Temporary, below ground concrete washout pits will be constructed in designated areas. The concrete washout pits will have a length and width sufficient to contain entire concrete mixer trucks. The concrete washout pits will have sufficient quantity and volume to contain all liquid and concrete waste generated by the washout operations. The washout pits will be lined with plastic sheeting at least 10 mils thick and free of any holes or tears. Signs will be posted marking the location of the washout pits to ensure that concrete equipment operators use the proper facility. A pit should be at least 10' long by 6' wide x 4' deep.

Only concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles will be discharged to the washout pits. When the temporary washout pits have reached capacity or are no longer needed, the hardened concrete and materials used to construct the pits will be removed and disposed of in accordance with local and state regulations. Washout of the drum at the construction site is prohibitive.

Washout pits that have reached capacity but are still needed will be replaced with new pits or re-lined with new plastic sheeting after the hardened concrete and material used to construct the pits have been removed. Washout pits that are no longer needed will be backfilled, graded and stabilized after the hardened concrete and material used to construct the pits

The washout areas will be checked daily to ensure that all concrete washing is being discharged into the washout pits, no leaks or tears or present and to identify when concrete waste needs to be removed.

#### MAINTENANCE/ INSPECTION PROCEDURES

### **EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES**

These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls. Less than one half of the site will be denuded at one time.

All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater All measures will be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours of report.

Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.

Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.

The sediment basin will be inspected for depth of sediment, and built up sediment will be removed when it reaches one-third of the design capacity or at the end of the job.

### Diversion dike will be inspected and any breaches promptly repaired.

Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.

A maintenance inspection report will be made after each inspection

The 24-hour emergency contact will select individuals who will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

Personnel selected for inspection and maintenance responsibilities will receive training from the 24-hour emergency contact. They will be trained in all the inspection and maintenance practices necessary for keeping the erosion and sediment controls used onsite in good working order

## NARRATIVE DESCRIPTION:

LOCATION: Refer to the Construction Plans for the location of the Project. A location sketch has been provided on the cover sheet

# NATURE

SITE: Refer to the Construction Plans for the total area of the Project. ZONING: Refer to the Construction Plans for the

LOCATION: Refer to the Construction Plans for the location of the current phase of the Project. A location sketch has

# 2. CURRENT PHASE OF DEVELOPMENT

SITE: Refer to the Construction Plans for the area of the current phase of the Project.

3. SIZE AND TYPE OF STRUCTURAL UNITS: Refer to the Construction Plans for the Project for the size, type, method and location of the structural units.

within the Project.

SIZE AND TYPE OF PAVED AREA: Refer to the Construction Plans for the size, type and location of the paved areas

SIZE AND TYPE OF GREENBELT AREA: Refer to the Construction Plans for the size, type and location of the greenbelt areas within the Project

- 4. STARTING DATE OF INITIAL LAND DISTURBING ACTIVITY: 31 Start Date DATE EXPECTED FINAL STABILIZATION WILL BE COMPLETE: 32 Completion Date
- 5. EXISTING EROSION AND SEDIMENT CONTROL PROBLEMS: There are no existing erosion and sediment control problems known to this engineer.

PROPOSED EROSION AND SEDIMENT CONTROL PROBLEMS: The construction and maintenance of all erosion and sediment control features as shown on the Construction Plans will provide sediment control for this Project.

6. PURPOSE OF PROPOSED SEDIMENT CONTROL PROGRAM: The purpose of the proposed sediment control program is to control soil erosion and sediment deposition NATURE OF PROPOSED SEDIMENT CONTROL PROGRAM: Refer to the Construction plans for the Project for the

nature of the proposed sediment control facilities

EXTENT OF PROPOSED SEDIMENT CONTROL PROGRAM: Refer to the Construction Plans for the Project for the extent of the proposed sediment control facilities

PROPOSED STORM WATER MANAGEMENT PROGRAM FOR THE DEVELOPMENT: Detention has been provided for this development to control the peak discharge rate. Refer to the Hydrology Study and the Construction Plans for the Project for details of the storm water management program.

runoff to a discharge rate less than or equal to the existing peak rate of runoff. The velocity of the discharge system has been reduced to a non-erosive velocity.

EFFECT OF THE DEVELOPMENT ON DOWNSTREAM FACILITIES: This development will have no adverse effect on

the downstream facilities. Detention has been provided for this development that will reduce the developed peak rate of

- 8. MAJOR TOPOGRAPHIC FEATURES, STREAMS, EXISTING SOIL TYPES AND VEGETATION LOCATED ON THE **PROJECT SITE:** Refer to the Construction Plans for this Project for these items.
- 9. MAINTENANCE PROGRAMS FOR THE SEDIMENT CONTROL FACILITIES

disturbed areas should be re-stabilized.

INSPECTION FREQUENCY: All sediment control facilities will be inspected weekly and after each rainfall event by the General Contractor.

VEGETATIVE PROGRAMS: Refer to the Construction Plans for the Project for the location and type of plantings

REPAIR PROCEDURES: The Contractor is to repair all sediment control facilities to the minimum standards shown on the Construction Plans immediately. The Contractor is to notify the Engineer of any problem with sediment control on the

FREQUENCY OF REMOVAL AND DISPOSITION OF SOLID WASTE: The Contractor is to remove sediment from the

sediment control facility (i.e. sediment basins, silt fences, etc.) whenever the sediment has deposited to a depth of 1/3 of the total depth of the sediment control facility. DISPOSITION OF TEMPORARY SEDIMENT STRUCTURAL MEASURES: The temporary sediment structural

measures shall remain in place until the site has been stabilized. The structures should then be removed and all

### **GENERAL EROSION CONTROL NOTES:**

- 1. Silt fence must meet the requirements of Section 171 Temporary Silt Fence, of the Department of Transportation, State
- of Georgia, Standard Specifications, latest edition, Additional erosion control measures will be employed where determined necessary by actual site conditions
- Provisions to prevent erosion of soil from the site shall be, as minimum, in conformance with the requirements of the City/County/State Erosion and Sedimentation Ordinance and the City/County/State Code of Laws dealing with erosion
- Prior to any other construction, a stabilized construction entrance shall be constructed at each point of entry to/or exit The construction exits shall be maintained in a condition which will prevent tracking or flow of mud onto Public right of way. This may require periodic top dressing with stone, as conditions demand, and repair and/or cleanout of any
- structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicle or site onto Public roadway or into storm drain must be removed immediately 6. Prior to commencing land disturbance activity, the limits of Land Disturbance shall be clearly and accurately demarcated with stakes, ribbons, or other appropriate means. The location and extent of all authorized land disturbance activity shall
- be demarcated for the duration of the construction activity. No Land Disturbance shall occur outside the approved limits indicated on the approved plans.
- Immediately after the establishment of construction entrances/exits, all perimeter erosion control devices and storm water management devices shall be installed prior to any other construction. The Owner agrees to provide and maintain off-street parking on the subject property during the entire construction
- The Contractor shall furnish and maintain all necessary barricades while roadway frontage improvements are being
- 10. The construction of the site will initiate with the installation of erosion control measures sufficient to control sediment
- deposits and erosion. All sediment control will be maintained until all upstream ground within the construction area has been completely stabilized with permanent vegetation and all roads/driveways have been paved.
- 11. Erosion control devices shall be installed immediately after ground disturbance occurs. The location of some of the erosion control devices may have to be altered from that shown on the approved plans if drainage patterns during construction are different from the final proposed drainage patterns. It is the Contractor's responsibility to accomplish erosion control for all drainage patterns created at various stages during construction. Any difficulty in controlling erosion during any phase of construction shall be reported to the Engineer immediately
- 12. All silt barriers must be placed as access is obtained during clearing. No grading shall be done until silt barrier
- installation and detention facilities are constructed. 13. The Contractor shall maintain all erosion control measures until permanent vegetation has been established. The Contractor shall clean out all sediment ponds when required by the Project Engineer or City/County/State Inspector. The
- Contractor shall inspect erosion control measures at the end of each working day to insure measures are functioning 14. The Contractor shall remove accumulated silt when the silt is within one-third of the height of the silt fence utilized for
- erosion control. In the detention pond, silt shall be removed when the storage volume has been reduced by one-third. 15. Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the job
- site until such measures are corrected back to City/County/State Standards. 16. All construction shall conform to City/County/State Standards and Specifications, whether or not the review comments
- 17. A copy of the approved land disturbance plan and permit shall be present on the site whenever land disturbance activity is in progress. 18. All sewer easements disturbed must be dressed and grassed to control erosion. 19. All open swales must be grassed, and rip-rap must be placed as required to control erosion. A minimum of 4.5 square
- yards of 50-lb stones shall be placed at all downstream headwalls. The placement of rip-rap at the downstream headwalls shall be placed immediately upon the installation of pipes and drainage ditches.
- 20. Silt barriers to be placed at downstream toe of all cut and fill slopes. 21. Provide silt gates at all inlet headwalls
- 22. Provide sediment traps at all catch basins, junction boxes, manholes, and drop inlets. 23. Any disturbed area left exposed for a period greater than 7 days shall be stabilized with temporary seeding.
- a. The Contractor is responsible for removing any building or other excavation spoil dirt, construction trash or debris,
- etc. from the drainage areas shown hereon in an expeditions manner as construction progresses. b. The Contractor hereby agrees to stop all work and restore these areas immediately upon notification by the
- City/County/State Inspector and/or the Professional Engineer c. Upon completion of restoration, a professional engineer shall certify in writing to the Development Department that all clean up is complete and the drainage course restored to original conditions and grade.
- 25. Approved plans and NPDES daily log s must be onsite at all times.

24. When any construction borders a drainage course:

intended for outdoor use).

- 26. The primary permittee must retain the design professional who prepared the Erosion, Sedimentation and Pollution control plan, except when the primary permittee has requested in writing and EPD has agreed to an alternate design within seven (7) days after installation. The designed professional shall determine if these BMPS have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the primary permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is
- 27. Amendments / Revisions to the ES&PC Plan which have significant effect on BMP's with a Hydraulic component must
- be certified by the design professional. 28. For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting. temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure

of a specific material or product poses little risk to stormwater contamination (such as final products and materials

0 4 8 8 7 0 REVISIONS



Travis Pruitt & Associates, I DATE: 02/14/2020 IN: 190452

SCALE: N/A CN: 190452PN N: 166-D-038 SHEET NO: C4.5

# EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE CONSTRUCTION PROJECTS

Page # Y/N

C4.6 Y 1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.

(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)

ALL Y 2 Level II certification number issued by the Commission, signature and seal of the certified design professional.

(Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed)

N/A

3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist. \*

(A copy of the written approval by EPD must be attached to the plan for the Plan to be reviewed.)

C3.0 Y 4 The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.

C3.0 Y 5 Provide the name, address, email address, and phone number of primary permittee.

C3.0,4.0,4.4 Y 6 Note total and disturbed acreage of the project or phase under construction.

7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
 8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
 Y 9 Description of the nature of construction activity.

C4.6 Y 10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.

C4.3 Y 11 Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.

C4.4 Y 12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.

C4.4 Y 13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit. \*

C4.4 Y 14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV.A.5 page 25 of the permit. \*

C4.5 Y

15 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."

N/A 16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.

17 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."

approved Plan does not provide for effective erosion control, additional erosion and sediment control me shall be implemented to control or treat the sediment source.*  C4.4 Y 21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."  C4.3 N/A 22 Any construction activity which discharges storn water into an Impaired Stream Segment, or within 1 limpstream of and within the same watershed as, any portion of an Biota Impaired Stream Segment must with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for areas of the site which discharge to the Impaired Stream Segment. *  C4.3 N/A 23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (ident Item 22 above) at least six months prior to submittal of NOI, the ESAPC Plan must address any site-speconditions or requirements included in the TMDL Implementation Plan. *  C4.3 Y 24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. We of the drum at the construction site is prohibited. *  C4.5 Y 25 Provide BMPs for the remediation of all petroleum spills and leaks.  C4.5 Y 26 Description of the measures that will be installed during the construction process to control pollutants in water that will occur after construction operations have been completed. *  C4.5 Y 27 Description of practices to provide cover for building materials and building products on site. *  C4.5 Y 29 Description of the practices that will be used to reduce the pollutants in storm water discharges. *  C4.4 Y 30 Poscription and chart or timeline of the intended sequence of major activities which disturb soils for the portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).  C4.4 Y 31 Provide complete requirements of sampling frequency and reporting				
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C4.4 Y 34 Appendix B rationale for NTU values at all outfall sampling points where applicable. *  C4.03 Y 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. *  C4.03 Y 36 A description of appropriate controls and measures that will be implemented at the construction site inc (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drain BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter.		C4.4	Υ	32 Provide complete details for retention of records as per Part IV.F. of the permit. *
C4.03 Y 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. *  C4.03 Y 36 A description of appropriate controls and measures that will be implemented at the construction site inc (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drain BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter.	THE REAL PROPERTY AND ADDRESS OF THE PARTY AND	C4.4	γ	33 Description of analytical methods to be used to collect and analyze the samples from each location. *
storm water is discharged. *  C4.03 Y 36 A description of appropriate controls and measures that will be implemented at the construction site inc  (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drain BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter.	and the second supplies	C4.4	Y	34 Appendix B rationale for NTU values at all outfall sampling points where applicable. *
(1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drain BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter.		C4.03	3 Y	
	дения по верхина на верхина съв възвения и и и и и и и и и и и и и и и и и и	C4.03	3 Y	36 A description of appropriate controls and measures that will be implemented at the construction site including (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine the same of t

C4.5 Y 18 Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as

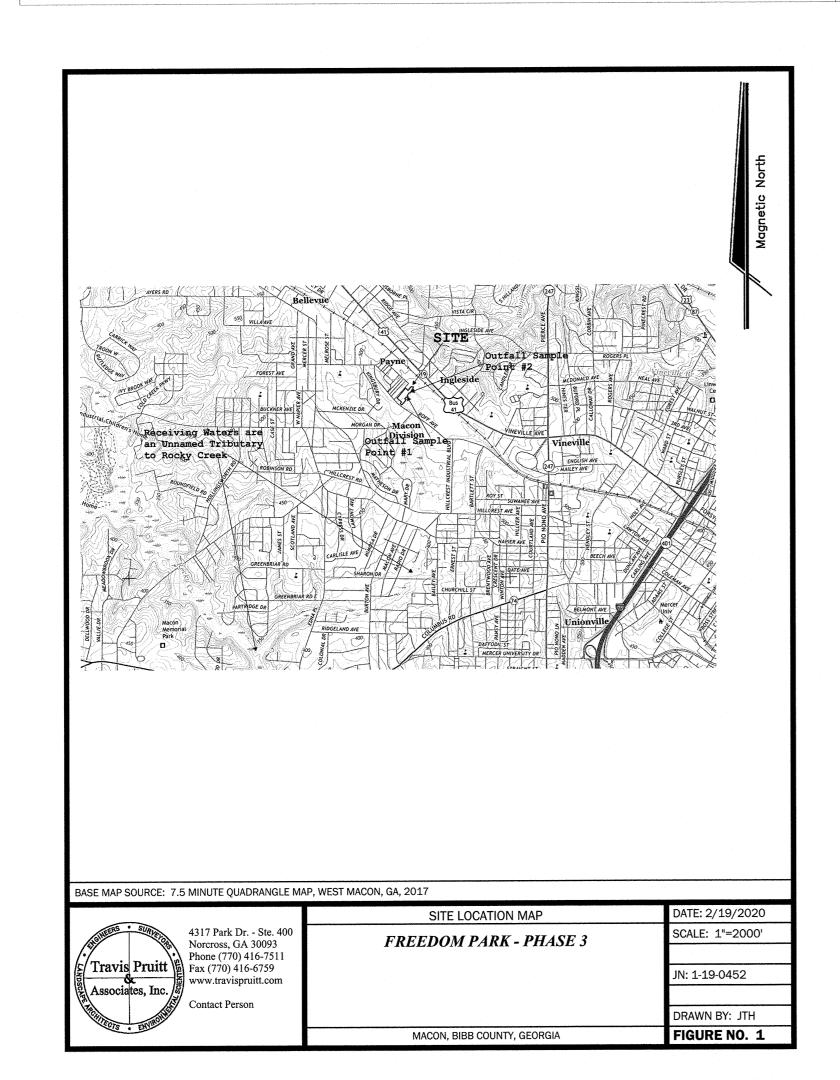
C4.4 Y 19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of

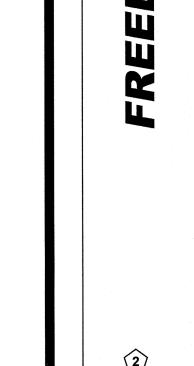
erosion and sediment control measures and practices prior to land disturbing activities."

authorized by a Section 404 permit." \*

all of the BMPs into a single phase. \*

4.03 Y 38 Existing and proposed conto	Ground Slope	drawn at an interval in accordance with the following:  Contour Intervals, ft.
1 inch = 100ft or	Flat 0 - 2%	0.5 or 1
larger scale	Rolling 2 - 8%	1 or 2
	Steep 8% +	2,5 or 10
conventional BMPs as certi and Water Conservation Co www.gaswcc.org.	ified by a Design Profession immission). Please refer to	n documented to be equivalent to or superior to onal (unless disapproved by EPD or the Georgia Soil of the Alternative BMP Guidance Document found at an ant BMP List. Please refer to Appendix A-2 of the Manu
for Erosion & Sediment Con	atrol in Georgia 2016 Edition	
buffers required by the Loca	al Issuing Authority. Clear	y note and delineate all areas of impact.
3 Y 42 Delineation of on-site wetlar	nds and all state waters lo	cated on and within 200 feet of the project site.
3 Y 43 Delineation and acreage of	contributing drainage basi	ns on the project site.
DRO Y 44 Provide hydrology study and	d maps of drainage basins	for both the pre- and post-developed conditions. *
		e flow of the site prior to and after construction activities
		outlet protection to accommodate discharges without points.
3, 4.4 Y 47 Soil series for the project sit	te and their delineation.	
)3 Y 48 The limits of disturbance for	each phase of construction	on.
retrofitted detention pond, a storage volume must be in site has been achieved. A sediment basin is not attair sediment basin is not provialso be given. Worksheets storage design professional from sediment basins and in from the surface, unless info a written justification explain	and/or excavated inlet sedicular place prior to and during a written justification explain hable must be included in the ded. A written justification a from the Manual included to obtain the required second proundments, permittees easible. If outlet structures a fing this decision must be	
Erosion and Sediment Confi legend.	trol in Georgia. Use unifor	istent with and no less stringent than the Manual for m coding symbols from the Manual, Chapter 6, with
.1 Y 51 Provide detailed drawings forth in the Manual for Eros	· ·	Specifications must, at a minimum, meet the guideline in Georgia.
dates and seeding, fertilizer	r, lime and mulching rates.	manent vegetative practices. Include species, planting Vegetative plan shall be site specific for appropriate to propriate geographic region of Georgia.
* If using this checklist for a probut within 200 ft of a perennial s	•	re and not part of a common development ns would be N/A.





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REVISIONS

For The Firm
Travis Pruitt & Associates, Inc.

Travis Pruitt & Associates, Inc.

DATE: 02/14/2020

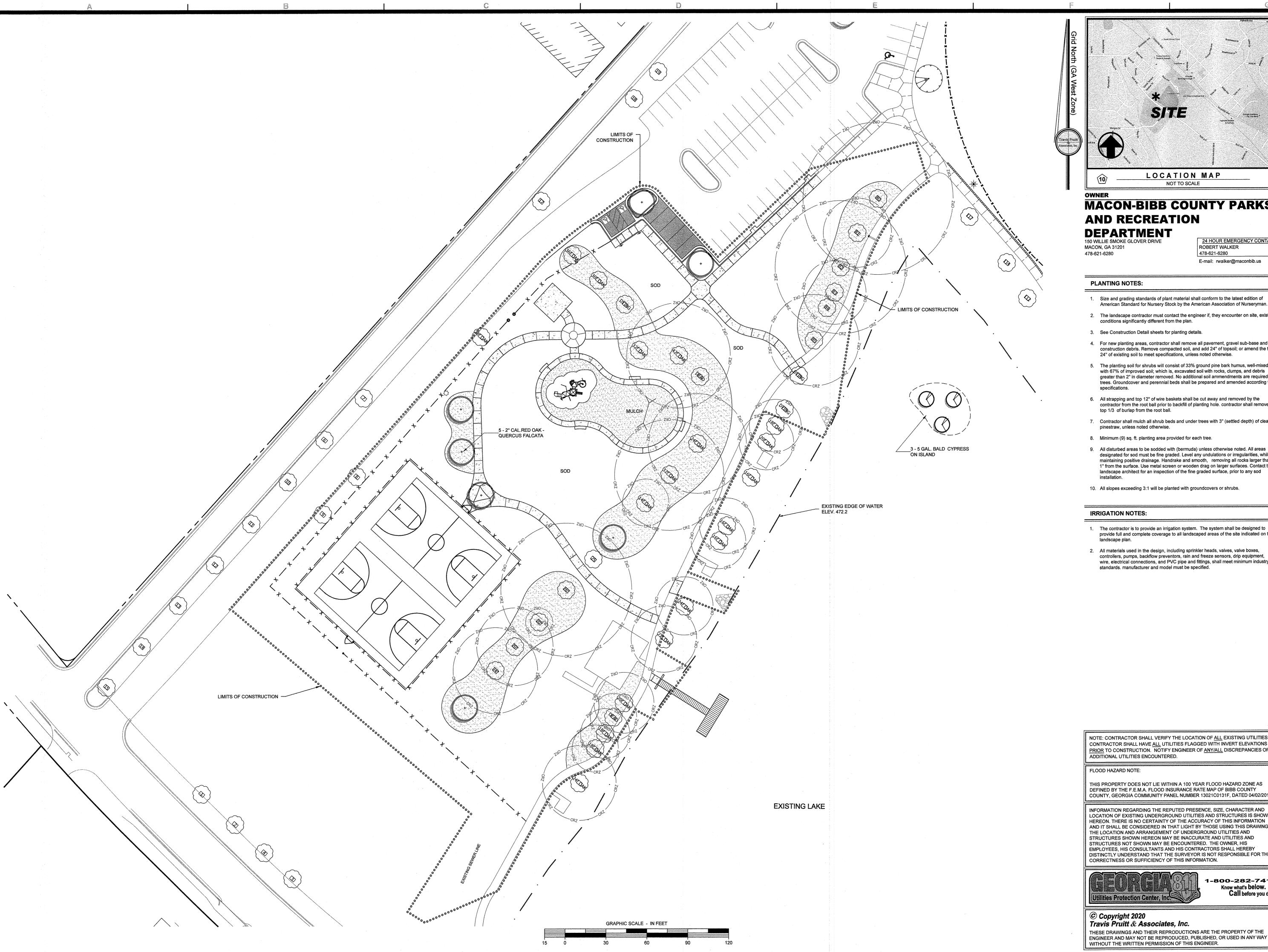
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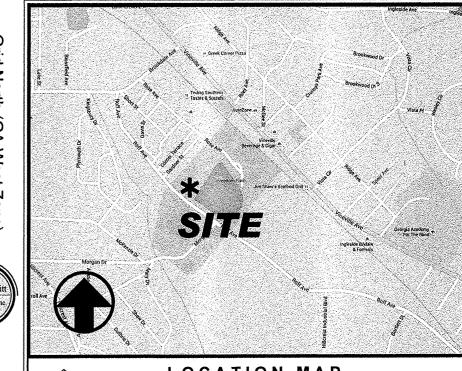
JN: 190452

FN: 166-D-038

SHEET NO: C4.6



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LOCATION MAP NOT TO SCALE

# MACON-BIBB COUNTY PARKS **AND RECREATION**

24 HOUR EMERGENCY CONTACT ROBERT WALKER 478-621-6280

0 4 8 7 - 0 REVISIONS

E-mail: rwalker@maconbib.us

### **PLANTING NOTES:**

- Size and grading standards of plant material shall conform to the latest edition of American Standard for Nursery Stock by the American Association of Nurseryman.
- 2. The landscape contractor must contact the engineer if, they encounter on site, existing conditions significantly different from the plan.
- 3. See Construction Detail sheets for planting details.
- For new planting areas, contractor shall remove all pavement, gravel sub-base and construction debris. Remove compacted soil, and add 24" of topsoil; or amend the top 24" of existing soil to meet specifications, unless noted otherwise.
- 5. The planting soil for shrubs will consist of 33% ground pine bark humus, well-mixed with 67% of improved soil; which is, excavated soil with rocks, clumps, and debris greater than 2" in diameter removed. No additional soil ammendments are required for trees. Groundcover and perennial beds shall be prepared and amended according to
- All strapping and top 12" of wire baskets shall be cut away and removed by the contractor from the root ball prior to backfill of planting hole. contractor shall remove top 1/3 of burlap from the root ball.
- 7. Contractor shall mulch all shrub beds and under trees with 3" (settled depth) of clean pinestraw, unless noted otherwise.
- 8. Minimum (9) sq. ft. planting area provided for each tree.
- 9. All disturbed areas to be sodded with (bermuda) unless otherwise noted. All areas designated for sod must be fine graded. Level any undulations or irregularities, while maintaining positive drainage. Handrake and smooth, removing all rocks larger than 1" from the surface. Use metal screen or wooden drag on larger surfaces. Contact the landscape architect for an inspection of the fine graded surface, prior to any sod
- 10. All slopes exceeding 3:1 will be planted with groundcovers or shrubs.

# **IRRIGATION NOTES:**

- 1. The contractor is to provide an irrigation system. The system shall be designed to provide full and complete coverage to all landscaped areas of the site indicated on the landscape plan.
- All materials used in the design, including sprinkler heads, valves, valve boxes, controllers, pumps, backflow preventors, rain and freeze sensors, drip equipment, wire, electrical connections, and PVC pipe and fittings, shall meet minimum industry standards. manufacturer and model must be specified.

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

# FLOOD HAZARD NOTE:

THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BIBB COUNTY COUNTY, GEORGIA COMMUNITY PANEL NUMBER 13021C0131F, DATED 04/02/2017

LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.



1-800-282-741 Know what's below.
Call before you dig.

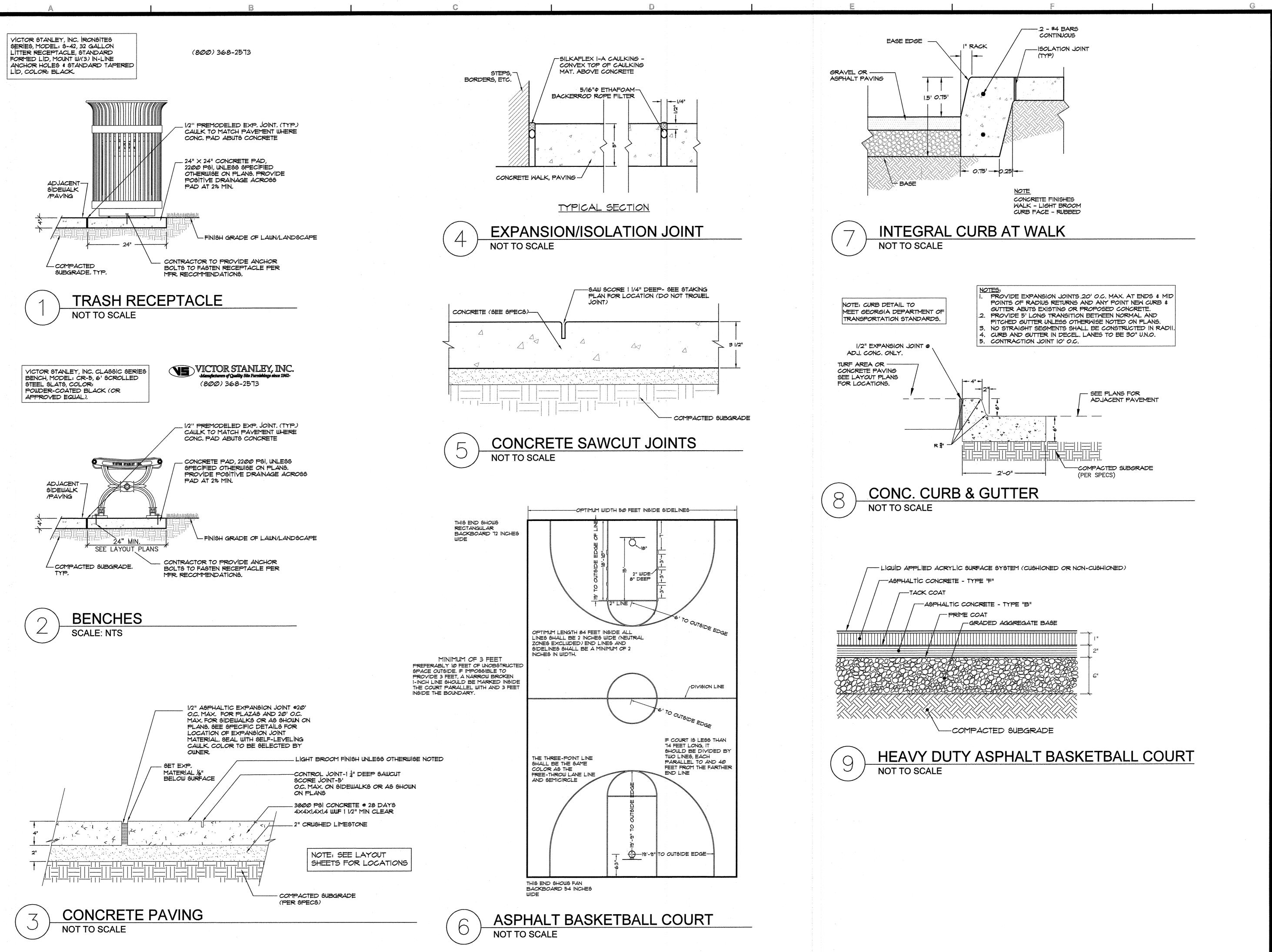
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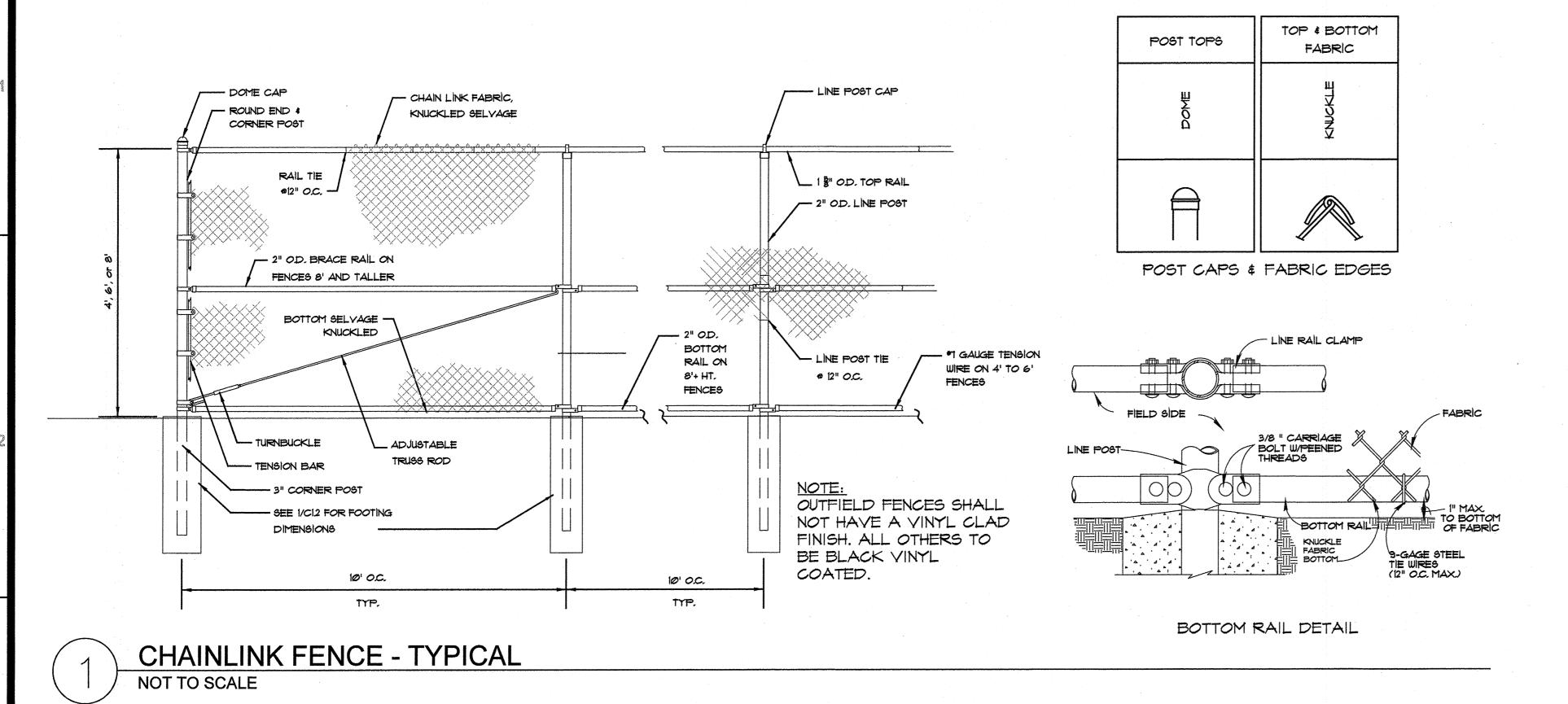
For The Firm Travis Pruitt & Associates, Inc

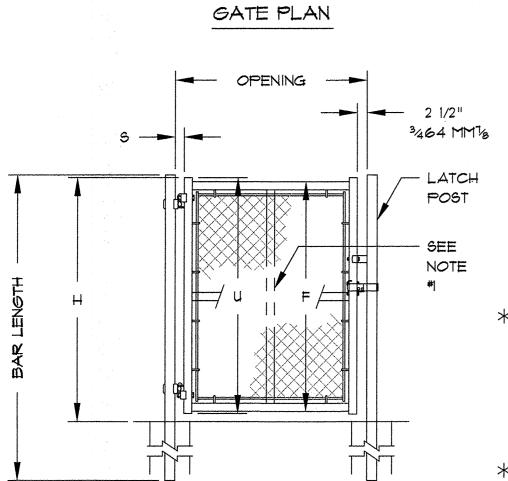
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DATE: 02/14/2020 SCALE: 1" = 30' CN: 190452PN N: 190452 FN: 166-D-038



Travis Pruitt & Associates, I DATE: 02/14/2020 SCALE: N/A CN: 190452PN JN: 190452 FN: 166-D-038 SHEET NO: C6.0





SINGLE GATE ELEVATION

TYPICAL

	SINGL	E OR DOUBLE LEA	AF GATES
	NOM HEIGHT (H)	UPRIGHT HT (U)	FRAME HT (F)
	WITHOUT BARBED WIRE	ACTUAL DIM	ACTUAL DIM
	3'-0" [914MM]	2'-10" [864MM]	2'-8 1/2" [826MM]
	3'-6" [1067MM]	3'-4" [1016MM]	3'-2 1/2" [978MM]
	4'-0" [1219MM]	3'-10" [1168MM]	3'-8 1/2" [1130MM]
*[	5'-0" [I524MM]	4'-10" [1473MM]	4'-8 1/2" [1435MM]
Ī	6'-0" [1829MM]	5'-10" [1778MM]	5'-8 1/2" [I740MM]
	7'-0" [2 34MM]	6'-10" [2083MM]	6'-8 1/2" [2045MM]
	8'-0" [2438MM]	7'-10" [2388MM]	7'-8 1/2" [2350MM]
Ī	9'-0" [2743MM]	8'-10" [2692MM]	8'-8 1/2" [2654MM]
*[	10'-0" [3048MM]	9'-10" [2997MM]	9'-8 1/2" [2959MM]
	11'-0" [3353MM]	10'-10" [3302MM]	10'-8 1/2" [3264MM]
	12'-0" [3658MM]	11'-10" [3607MM]	11'-8 1/2" [3569MM]

OPENING -
3" [76MM]
TRUSS ROD, TYP.  2-7/8" OD HINGE POST W/DOME CAP
CENTER STOP
DOUBLE GATE ELEVATION

TYPICAL

GATE PLAN

SINGLE LEAF GATES							
OPENING	GATE POSTS	HINGE SPACE (S)					
FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT					
3'-0" [914MM] THROUGH 6'-0" [1829MM]	.2 1/2" [63.5MM] SQ OR .2 1/2" [63.5MM] OD	FOR SQUARE \$ ROUND GATE POSTS: _2 1/4" [57MM]					

	DOUBLE LEAF GATES								
-	OPENING	GATE POSTS	HINGE SPACE (S)						
	FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT						
*	14'-0" [426TMM] THROUGH 24'-0" [7315MM]	3" [76MM] 5Q OR 4" [102MM] OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]						

2 CHAINLINK GATES

NOT TO SCALE

Suite 400

| A | 5 | 6 | 7511
| A | 5 | 7511
| A | 7511
| B | 3 | 7 | 7511
| Com | C

Travis Pruitt E Fax: (770) 416-8

Associates, Inc. Contact Person e-mail: TAnderson@

DOM PARK PHASE 3

\* CORGINATION NOT A POUR AFOUR AND EN

For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020

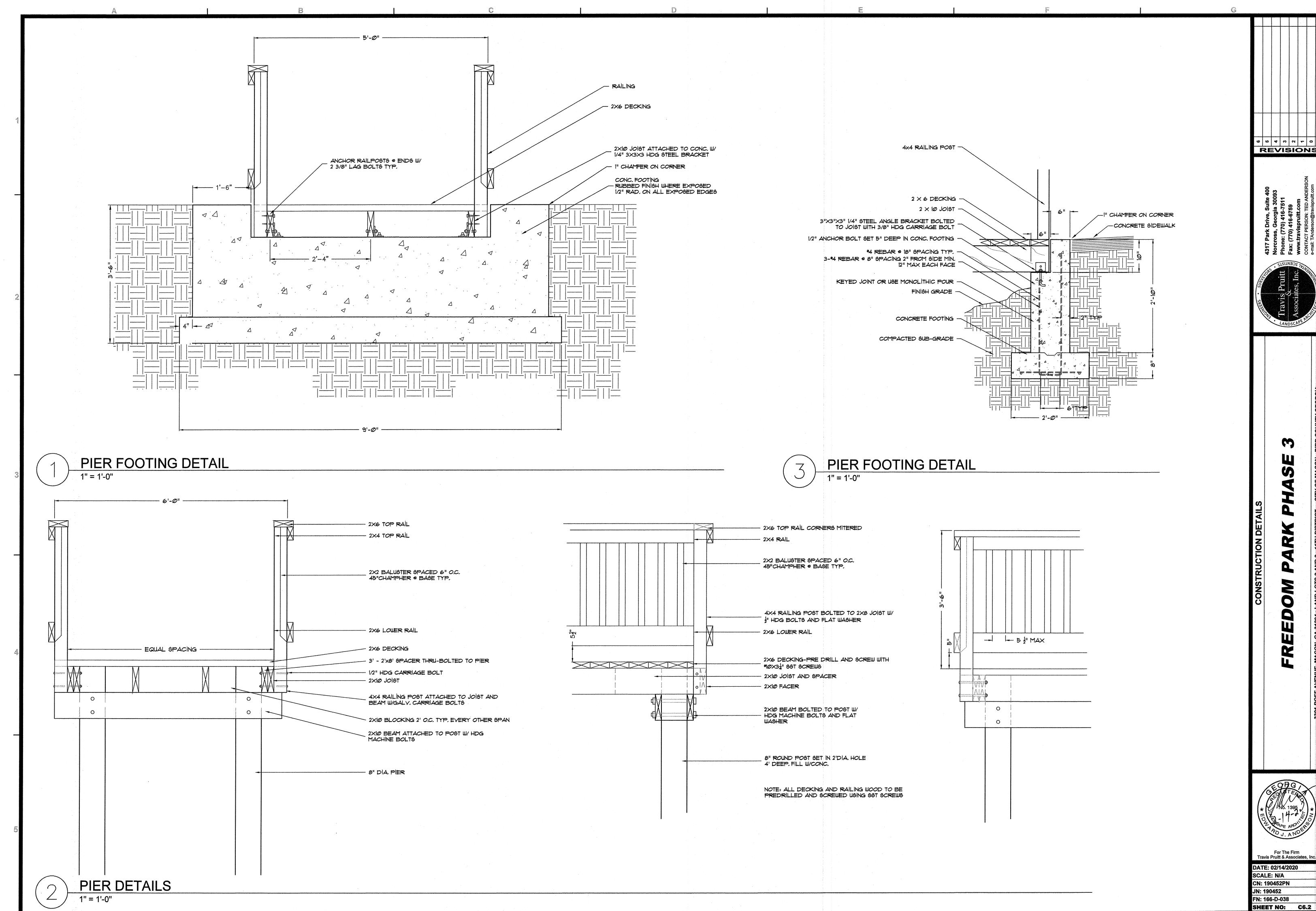
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FN: 166-D-038

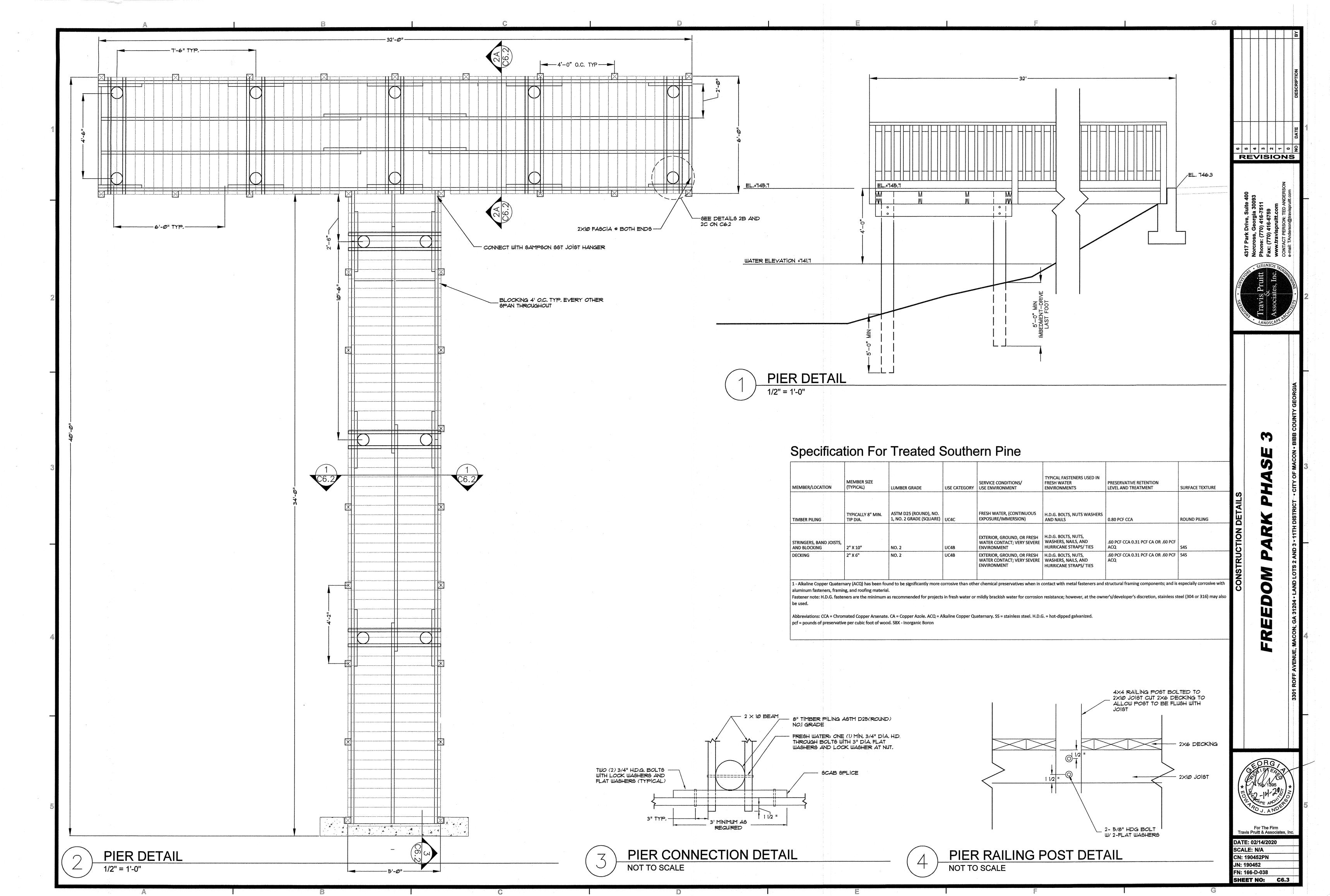
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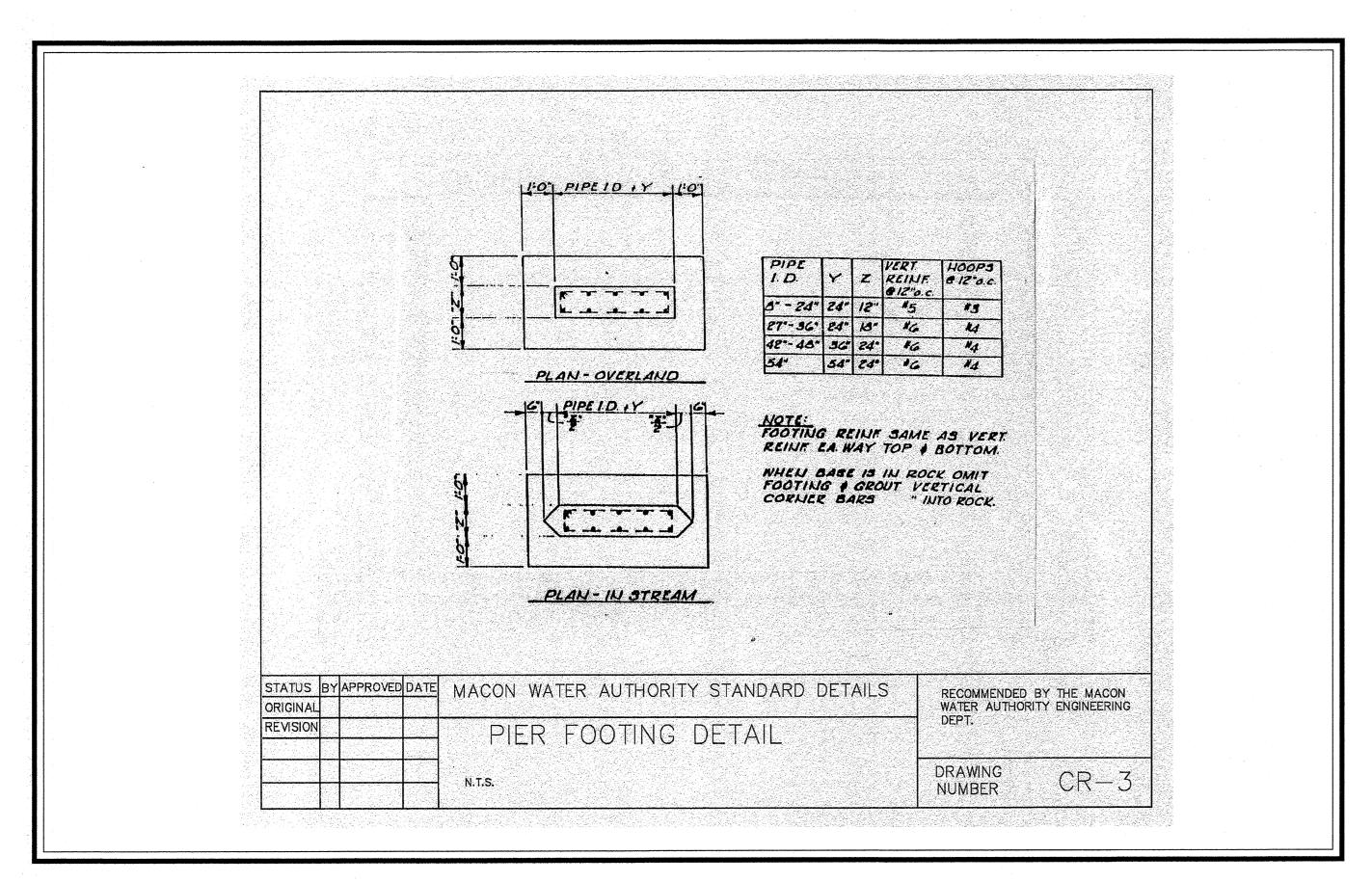


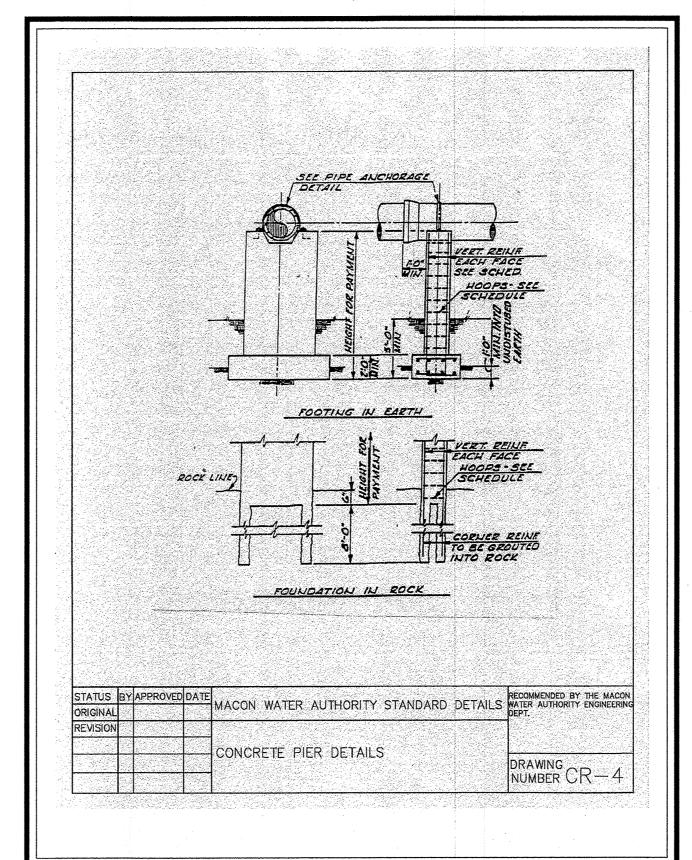
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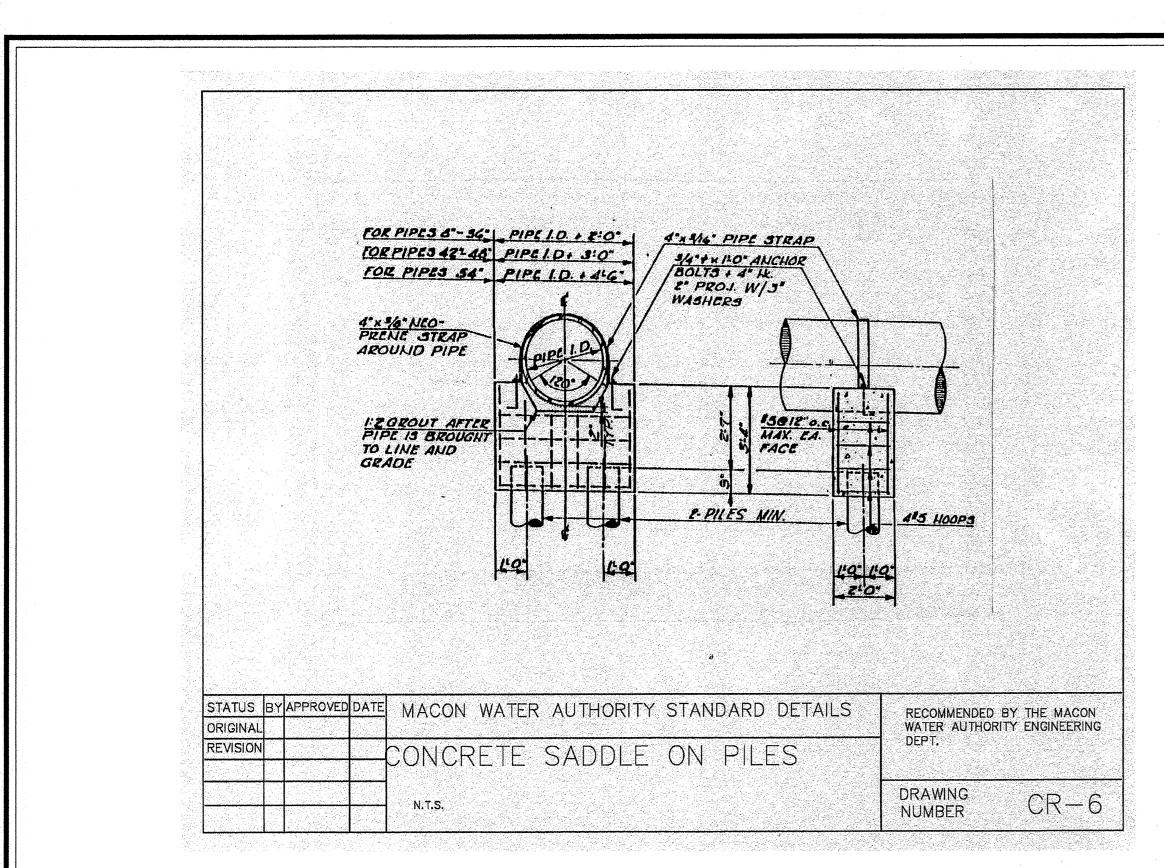


For The Firm Travis Pruitt & Associates, DATE: 02/14/2020











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For The Firm
Travis Pruitt & Associates, Inc.

DATE: 02/14/2020

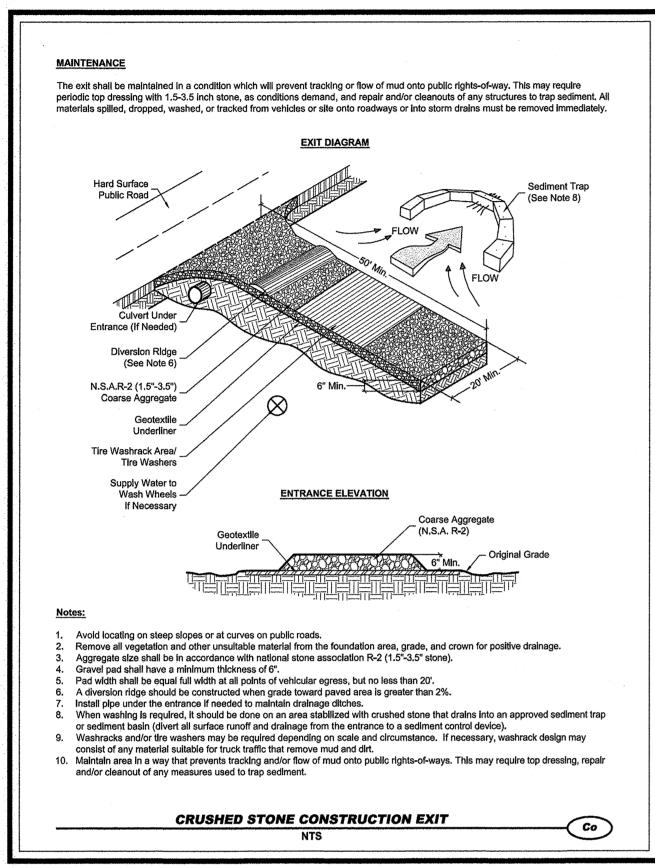
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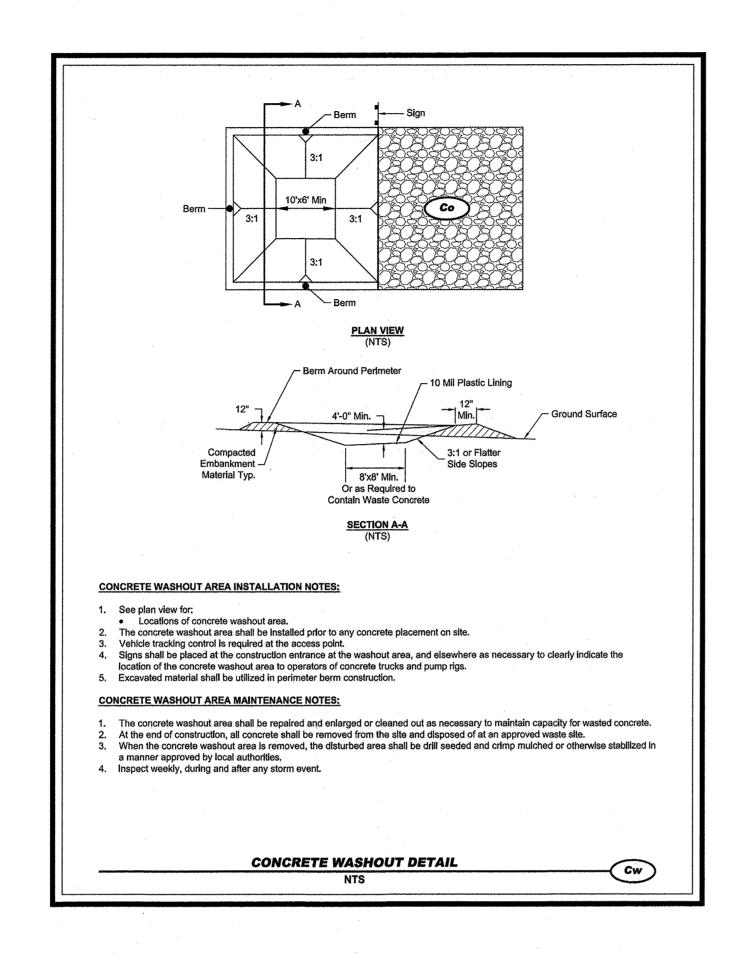
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JN: 190452

FN: 166-D-038

SHEET NO: C6.4





**LIME AND FERTILIZER** 

cover seed with soil if seeded by hand.

SUGGESTED SEEDBED DEPTHS

MAINTENANCE

DEFINITION

PURPOSE

The establishment of temporary vegetative cover with fast

growing seedings for seasonal protection on disturbed or denuded areas.

To reduce runoff and sediment damage of downstream

REQUIREMENT FOR REGULATORY COMPLIANCE

resources; to protect the soil from erosion; to improve wildlife

aeration as well as organic matter for permanent plantings.

Mulch or temporary grassing shall be applied to all exposed

areas within 14 days of disturbance. Temporary grassing,

instead of mulch, can be applied to rough graded areas that

will be exposed for less than six months. If an area is

expected to be undisturbed for longer than six months.

permanent perennial vegetation shall be used. If optimum

months but it shall be applied at the appropriate depth,

Stabilization (With Mulching Only).

**SPECIFICATIONS** 

**GRADING AND SHAPING** 

seeding equipment is to be used.

SEEDBED PREPARATION

seed to lodge and germinate.

Ds1

anchored, and have a continuous 90% cover or greater of

the soil surface. Refer to specification Ds1 - Disturbed Area

Temporary vegetative measures should be coordinated with

stabilization. Most types of temporary vegetation are ideal to

permanent measures to assure economical and effective

use as companion crops until the permanent vegetation is

established. Note: some species of temporary vegetation are

annual ryegrass). Contact NRCS or the local SWCD for more IRRIGATION

not appropriate for companion crop plantings because of

their potential to out-compete the desired species (e.g.

Excessive water run-off shall be reduced by properly

designed and installed erosion control practices such as

closed drains, ditches, dikes, diversions, sediment barriers

and others. No shaping or grading is required if slopes can

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or hand-seeding,

seedbed preparation is not required if the soil material is

loose and not sealed by rainfall. When soil has been sealed

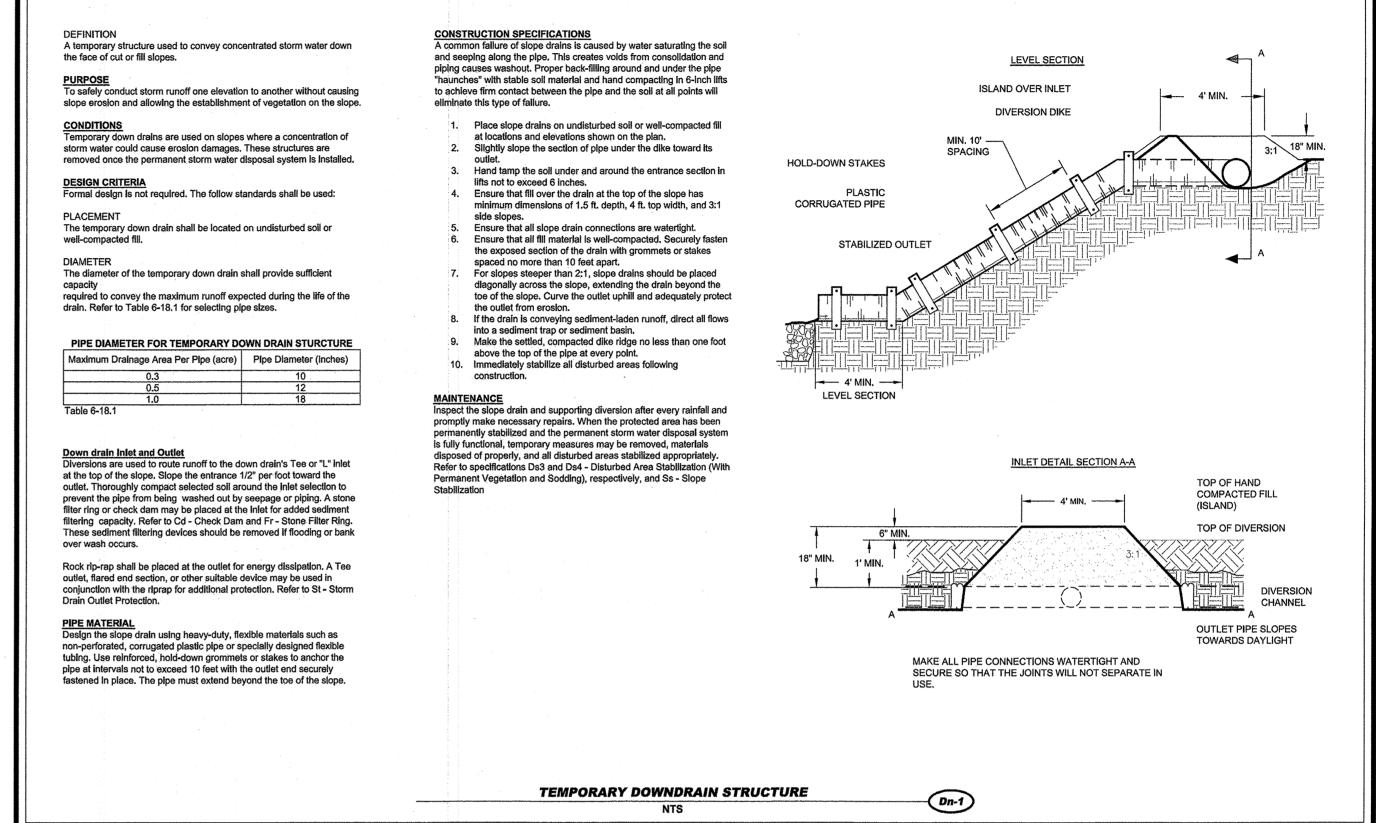
by rainfall or consists of smooth cut slopes, the soil shall be

pitted, trenched or otherwise scarified to provide a place for

be stabilized by hand-seeded vegetation or if hydraulic

planting conditions for temporary grassing is lacking, mulch

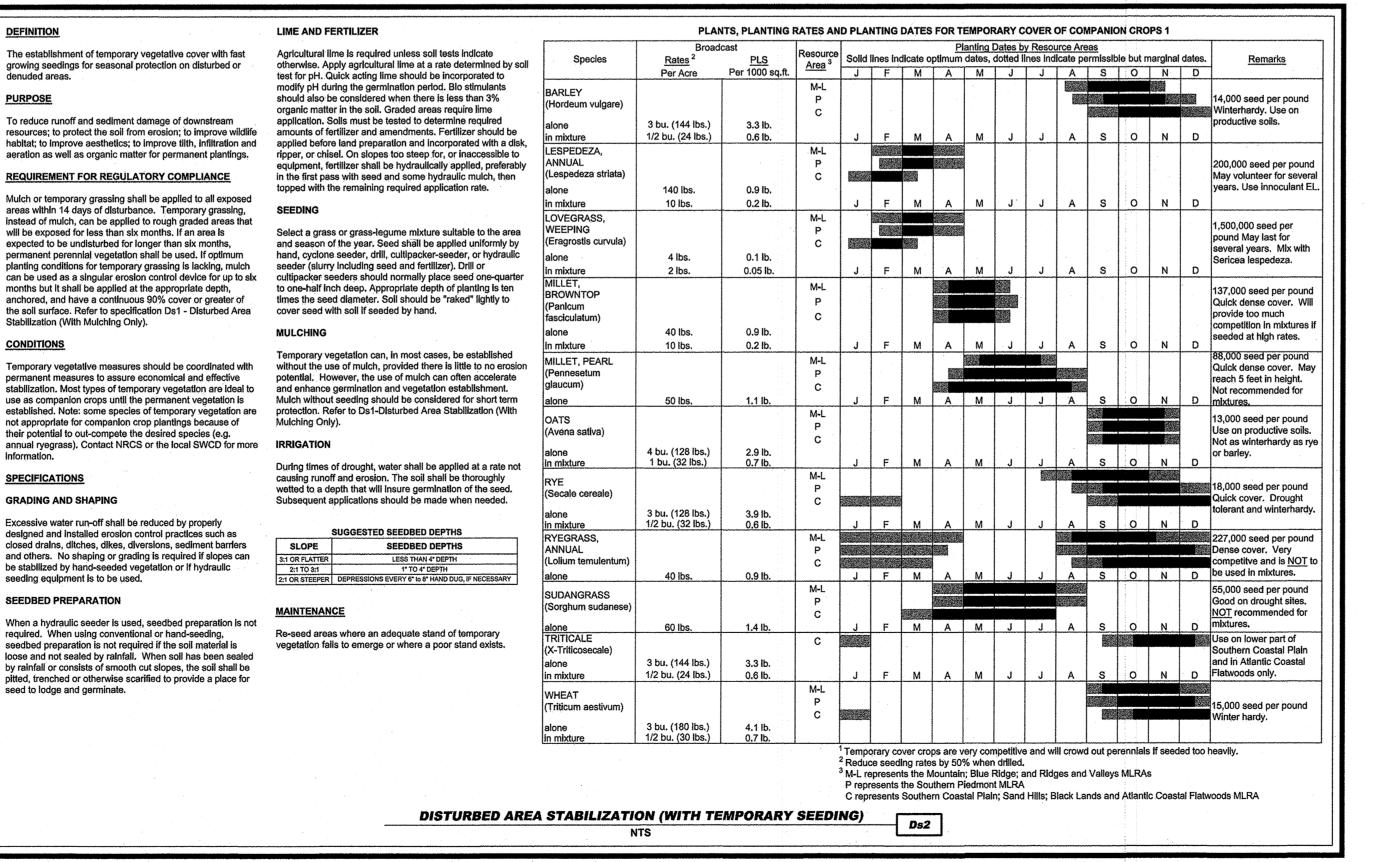
can be used as a singular erosion control device for up to six



#### DEFINITION **Applying Mulch** Applying plant residues or other suitable materials, produced on the When mulch is used without seeding, mulch shall be applied to site if possible, to the soil surface. provide full coverage of the exposed area. 1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanical equipment. To reduce runoff and erosion 2. If the area will eventually be covered with perennial vegetation, To conserve moisture 20-30 pounds of nitrogen per acre in addition to the normal To prevent surface compaction or crusting amount shall be applied to offset the uptake of nitrogen caused To control undesirable vegetation by the decomposition of the organic mulches. To modify soil temperature Apply polyethylene film on exposed areas. To increase biological activity in the soil. **Anchoring Mulch** REQUIREMENT FOR REGULATORY COMPLIANCE Straw or hay mulch can be pressed into the soil with a disk arrow with the disk set straight or with a special "packer disk." Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular Disks may be smooth or serrated and should be 20 inches or erosion control device for up to six months, but it shall be applied at more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough no to cut the mulch but to press it the appropriate depth, depending on the material used, anchored, and have a continuous 90% cover or greater of the soil surface. into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored immediately after application. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of Straw or hay mulch spread with special blower-type equipment mulch If the area will remain undisturbed for less than six months. may be anchored. Tackifers, binders and hydraulic mulch with tackifier specifically designed for tacking straw can be substituted for emulsified asphalt. Please refer to specification If any area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed. Refer to Tac-Tackifers. Plastic mesh or netting with mesh no larger Ds2-Disturbed Area Stabilization (With Temporary Seeding) than one inch by one inch shall be installed according to Ds3-Disturbed Area Stabilization (With Permanent Seeding manufacturer's specifications. and Ds4-Disturbed Area Stabilization (With Sodding). 2. Netting of the appropriate size shall be used to anchor wood SPECIFICATIONS waste. Openings of the netting shall not be larger than the average size of the wood waste chips. **Mulching without Seeding** 3. Polyethylene film shall be anchor trenched at the top as well as incrementally as necessary. This standard applies to grades or cleared areas where seedings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover. Grade to permit the use of equipment for applying and anchoring mulch. install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers. Loosen compacted soll to a minimum depth of 3 inches. Select one of the following materials and apply at the depth Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application. Wood waste (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly reduce erosion Polyethylene film shall be secured over banks or stockpiled soil material for temporary protection. This material can be salvaged and re-used.

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

NTS

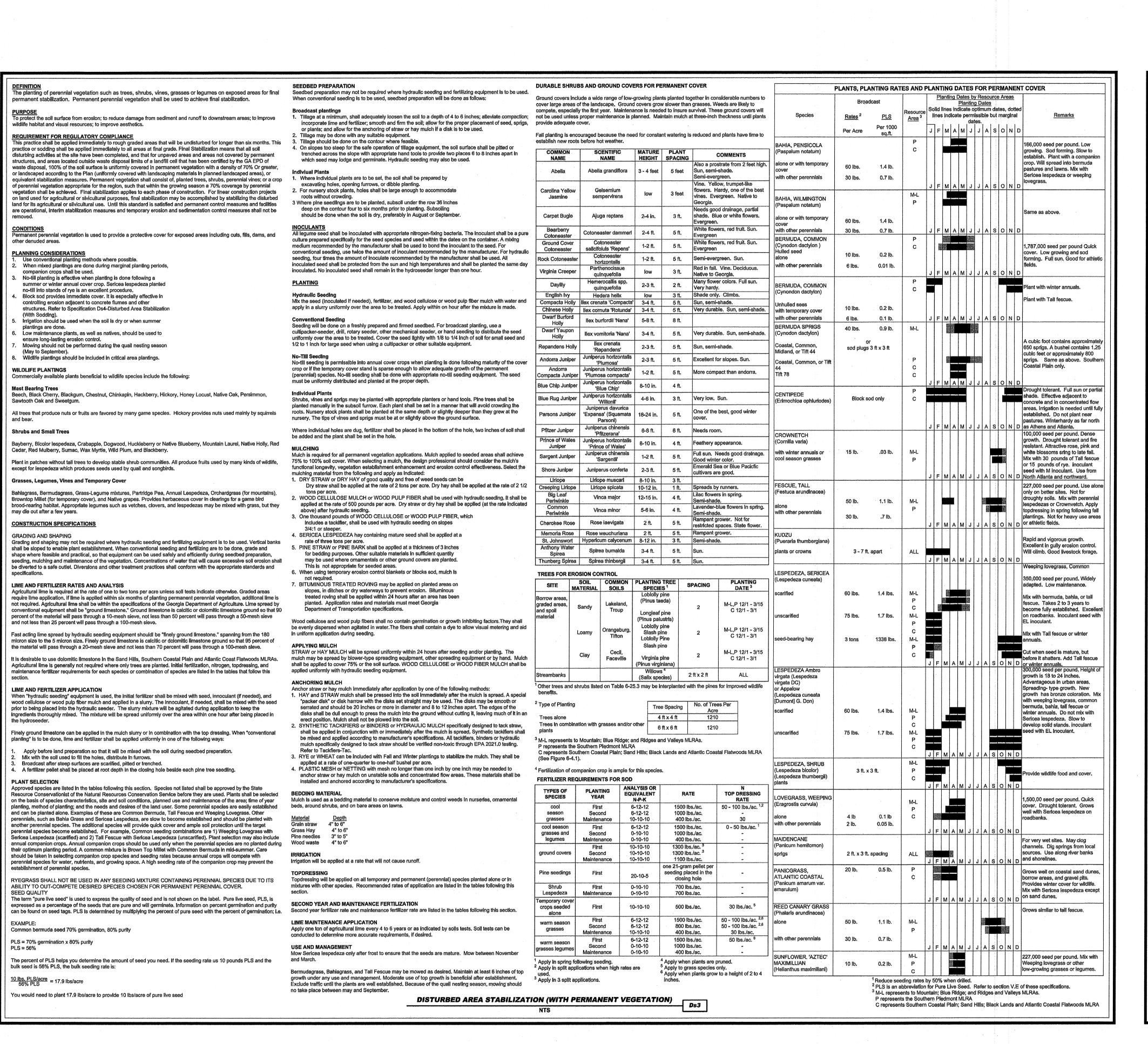


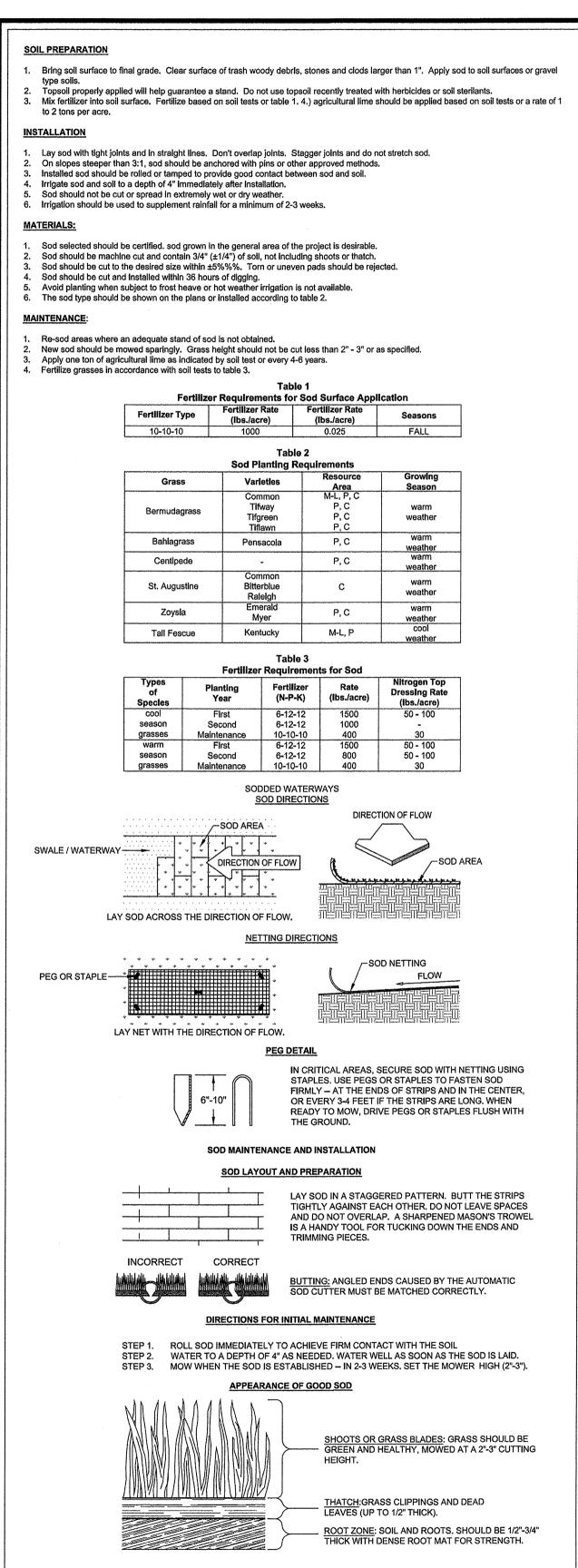
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SHEET NO: C6.5





**DISTURBED AREA STABILIZATION (WITH SODDING)** 

Ds4

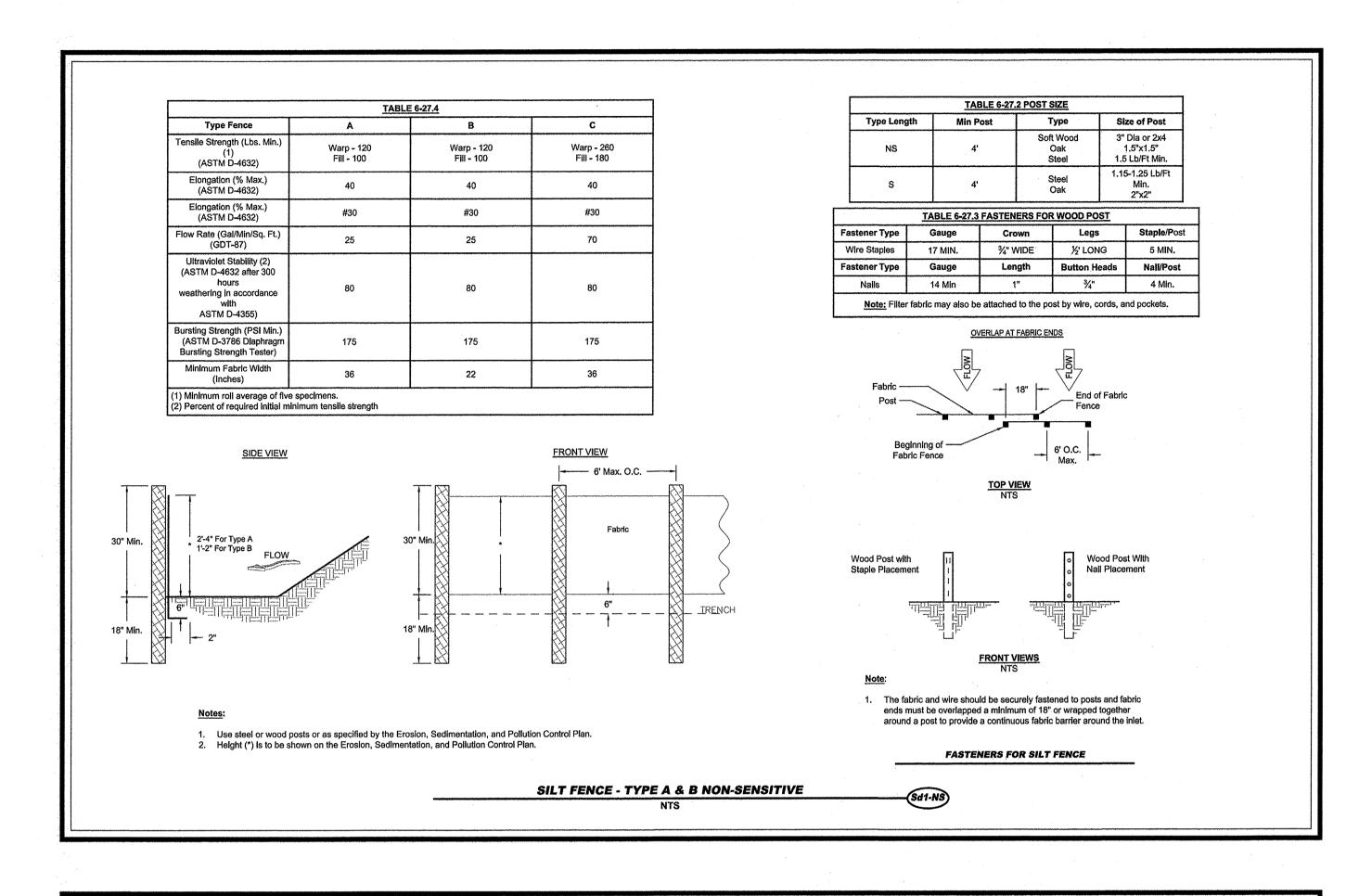
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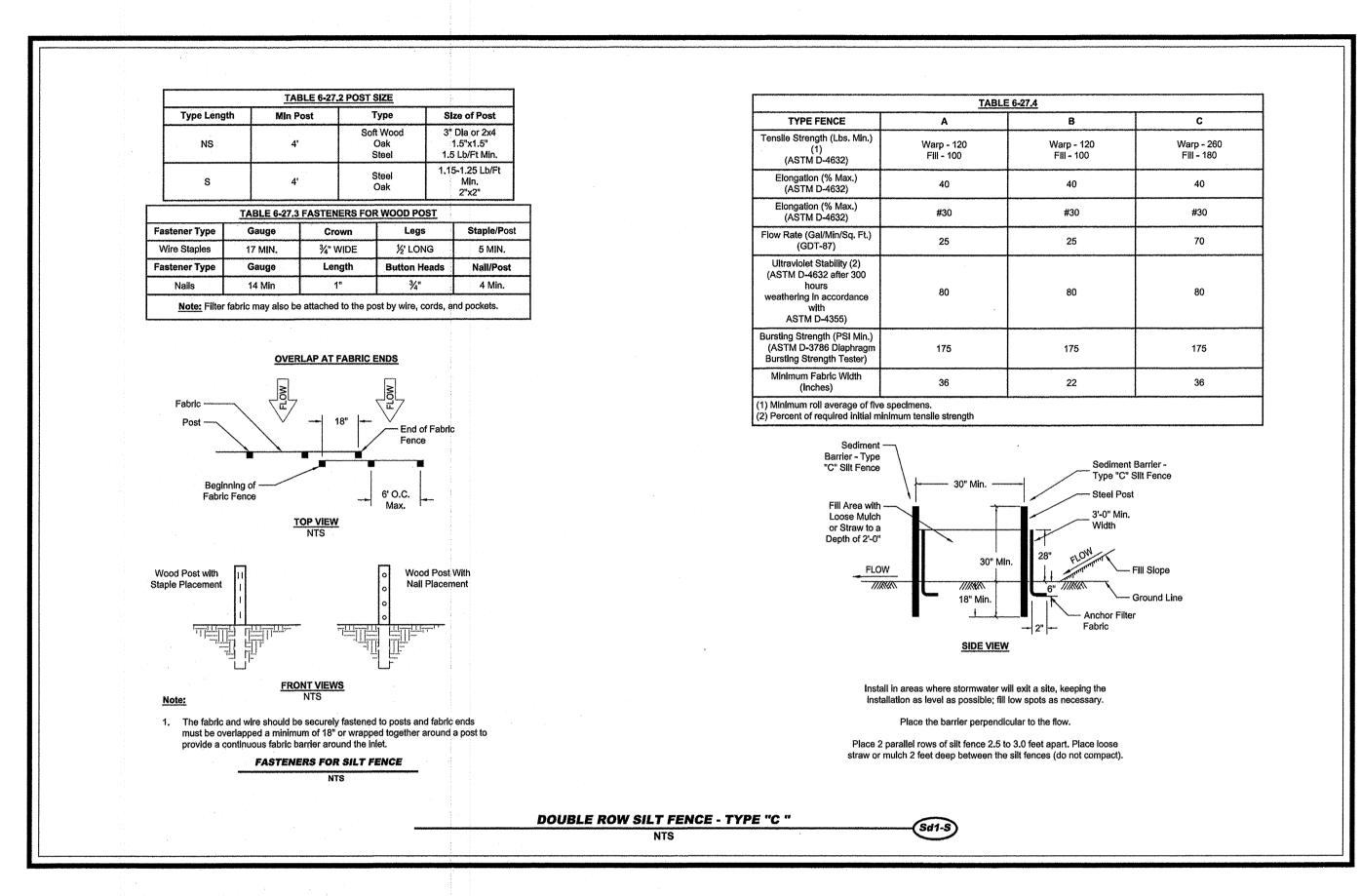
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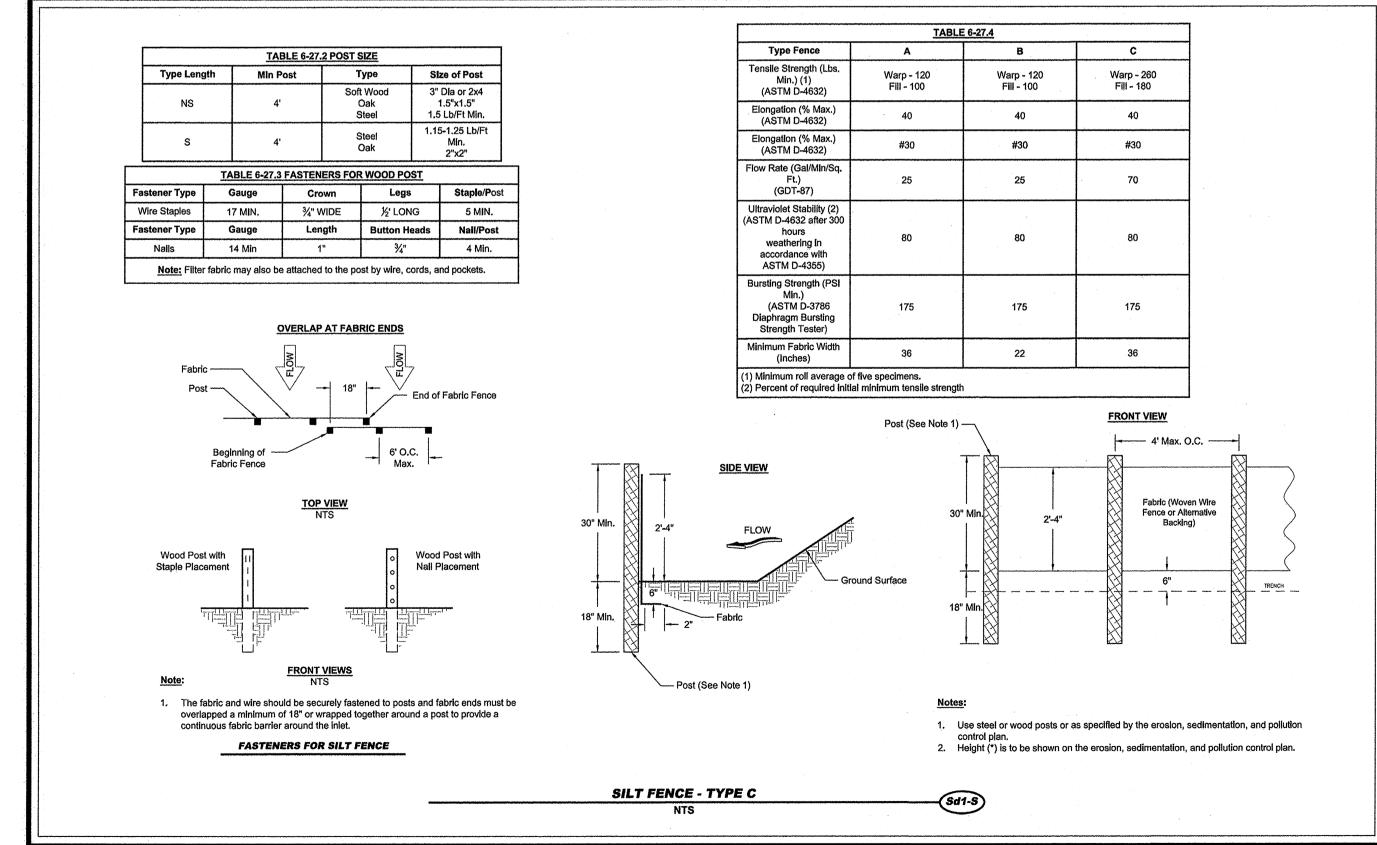
For The Firm

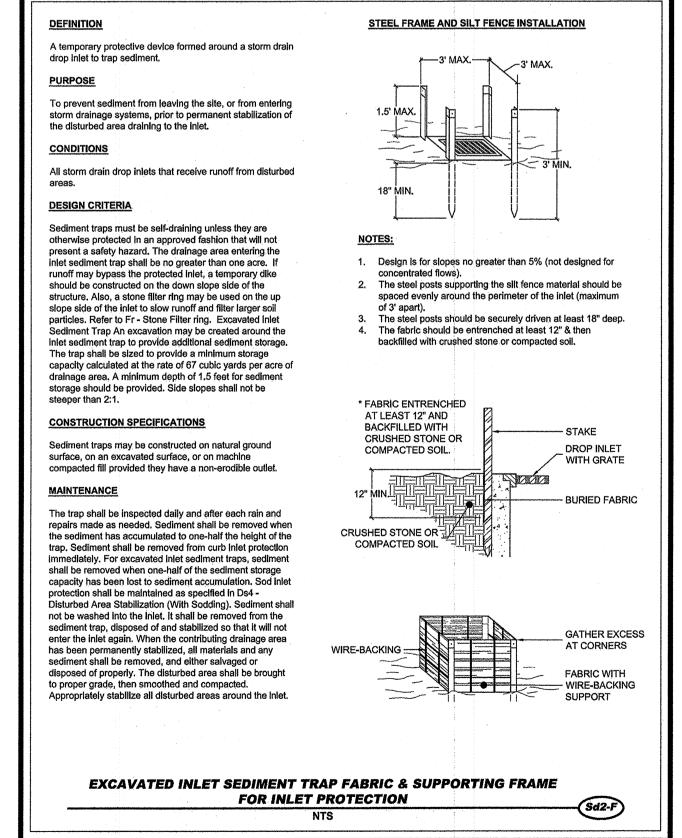
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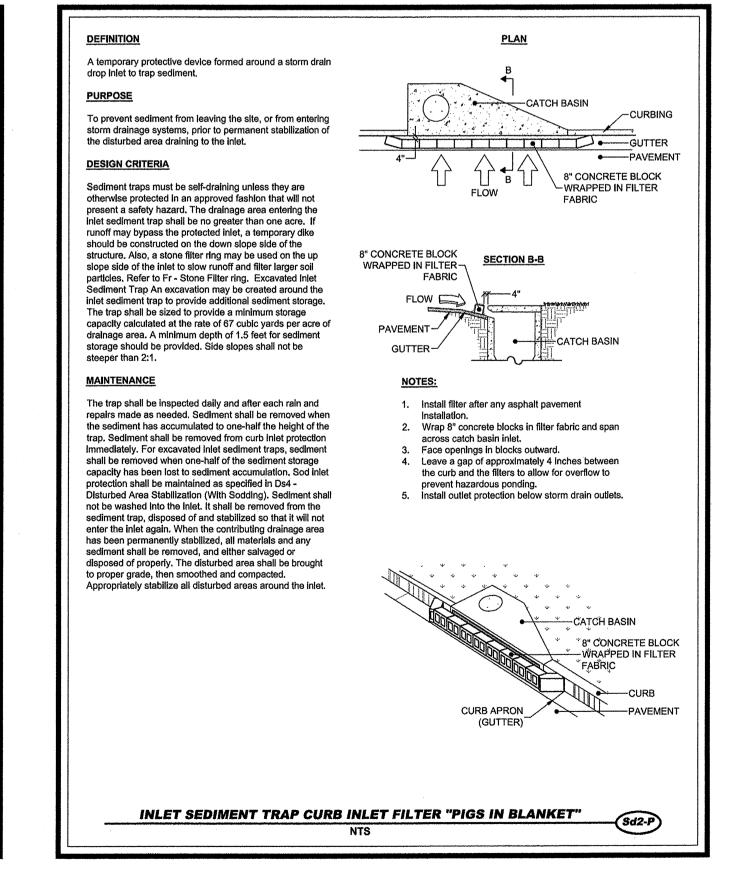
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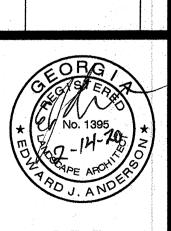












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Travis Pruitt & Associates, Inc.

DATE: 02/14/2020

SCALE: N/A

CN: 190452PN

JN: 190452

FN: 166-D-038

SHEET NO: C6.7

Paved and/or rip-rapped channel sections, placed below storm drain outlets.

To reduce velocity of flow before entering receiving channels below storm drain outlets.

### This standard applies to all storm drain outlets, road culverts, paved channel outlets, etc., discharging into natural or constructed channels. Analysis and/or treatment will extend from the end of the conduit, channel or structure to the point of entry into an existing stream or publicly

#### DESIGN CRITERIA

maintained drainage system.

Structurally lined aprons at the outlets of pipes and paved channel sections shall be designed according to the following criteria.

Peak storm flow from the 25-year, 24-hour frequency storm or the storm specified in Title 12-7-1 of the Official Code of Georgia Annotated or the design discharge of the water conveyance structure, whichever is greater.

The depth of tall water immediately below the pipe outlet must be determined for the design capacity of the pipe. Manning's Equation may be used to determine tail water depth. If the tail water depth is less than half the diameter of the outlet pipe, it shall be classified as a Minimum Tail water Condition. If the tail water depth is greater than half the pipe diameter, it shall be classified as a Maximum Tall water Condition. Pipes which outlet onto flat areas with no defined channel may be assumed to have a Minimum Tail water Condition.

The apron length and d50, stone median size, shall be determined from the curves according to tall water conditions: Minimum Tallwater-Use Figure 6-24.1\* Maximum Tallwater-Use Figure 6-24.2\* Maximum Stone Size=1.5xd50 Apron Thickness=1.5xdmax

- If the pipe discharges directly into a well-defined channel, the apron shall extend across the channel bottom and up the channel banks to an elevation one foot above the maximum tail water depth or to the top of the bank (whichever is less). If the pipe discharges onto a flat area with no defined channel, the width of the apron shall be determined as follows:
- a. The upstream end of the apron, adjacent to the pipe, shall have a width three times the diameter of the outlet pipe.
- . For a Minimum Tall water Condition, the downstream end of the apron shall have a width equal to the pipe diameter plus the length of the apron. Refer to Figure 6-24.1
- c. For a Maximum Tail water Condition, the downstream end shall have a width equal to the pipe diameter plus 0.4 times the length of the apron. Refer to Figure 6-24.2.

The apron shall be constructed with no slope along its length (0.0% grade). The invert elevation of the downstream end of the apron shall be equal to the elevation of the invert of the receiving channel. There shall be no overfall at the end of the apron.

If the pipe discharges into a well-defined channel, the side slopes of the channel shall not be steeper than 2:1.

The apron shall be located so that there are no bends in the horizontal alignment.

#### Geotextiles should be used as a separator between the grade stone, the soil base, and the abutments. The geotextile will prevent the migration of soil particles from the subgrade stone. The geotextile should be specified in accordance with AASHTO M288-06 Section 8, Geotextile Property Requirements. The geotextile should be placed immediately adjacent to the subgrade without any voids.

### The apron may be lined with riprap, grouted riprap, or concrete. The median sized stone for rip rap, d50, shall be determined from the curves, according to the tall water condition. The gradation,

### quality and placement of rip rap shall conform to Appendix C.\* CONSTRUCTION SPECIFICATIONS

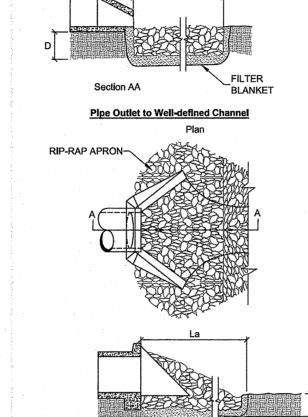
- 1. Ensure that the subgrade for the filter and rip rap follows the required lines and grades shown on the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material. Low areas in the subgrade on undisturbed soil may also be filled by Increasing the rip rap thickness.
- 2. The rip rap and gravel filter must conform to the specified grading limits shown on the plans. Geotextile must meet design requirements and be properly protected from punching or tearing during installation. Repair any damage by removing the rip rap and placing another piece of filter fabric over the damaged area. All connecting joints should overlap a minimum of 1 ft. If
- the damage is extensive, replace the entire filter fabric. 4. Rip rap may be placed by equipment, but take care to avoid damaging the filter.
- 5. The minimum thickness of the rip rap should be 1.5 times the maximum stone diameter.
- 6. Construct the apron on zero grade with no overfall at the end. Make the top of the rip rap at the downstream end level with the receiving area or slightly below it.
- 7. Ensure that the apron is properly aligned with the receiving stream and preferably straight throughout its length. If a curve is needed to fit site conditions, place it in the upper section of
- 8. Immediately after construction, stabilize all disturbed areas with vegetation.
- 9. Stone quality Select stone for rip rap from field stone or quarry stone. The stone should be hard, angular, and highly weather-resistant. The specific gravity of the individual stones should be at least 2.5.
- 10. Filter Install a filter to prevent soil movement through the openings in the rip-rap The filter should consist of a graded gravel layer or a synthetic filter cloth.

STORM DRAIN OUTLET PROTECTION

Inspect rip rap outlet structures after heavy rains to see if any erosion around or below the rip rap has taken place or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

Pipe Outlet to Flat Area- No Well-defined Channel

1. La is the length of the rip rap apron. D = 1.5 times the maximum stone diameter but not less than 6". 3. In a well-defined channel extend the apron up the channel banks to an elevation of 6" above the maximum tall water depth or to the top of the bank, whichever is 4. A filter blanket or filter fabric should be installed between the riprap and soil



# DEFINITION To protect desirable trees from injury during construction activity. To insure the survival of desirable trees where they will be effective for erosion and sediment control, watershed protection, landscape beautification, dust and pollution control, noise reduction, shade and other environmental benefits while the land is being converted from forest to urban-type uses. CHAIN LINK FENCE DETAIL NO EXCAVATION, TRENCHING, TILLING, \_GRUBBING, VEHICLE OR EQUIPMENT STORAGE WITHIN LIMITS OF TREE PROTECTION FENCING GALVANIZED METAL POST SUNK A MINIMUM OF 1'-0"\_ ----6' HT TEMPORARY CHAIN LINK FENCE BELOW GRADE. SET 10' ON CENTER. 6' HT TEMPORARY CHAIN LINK FENCE FOR TREE-Barrier constructed to protect tree trunk, PROTECTION BARRIER (TYP) crown, and root system from injury. Barriers shall be located at the limits of the tree's critical root zone (a radius of one and a half feet per inch of the tree's diameter at breast height). Barrier shall be kept in good condition for the duration of the project and is to remain in place until the notice of termination. FOR ADDED PROTECTION Provide 4" deep organic mulch over any unprotected root zone. Provide temporary irrigation where practical and feasible. TREE PROTECTION

Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

1. To prevent surface and air movement of dust from exposed soil surfaces. 2. To reduce the presence of airborne substances which

#### may be harmful or injurious to human health, welfare, or safety, or to animals or plant life.

This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur

#### without treatment. Method and materials

# A. Temporary methods

See standard Ds1 - disturbed area stabilization (with mulching only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to specification tac - tackifiers. Resins should be used according to manufacturer's recommendations.

# Vegetative cover.

#### See specification Ds2 - Disturbed area stabilization (with temporary seeding).

Spray-on adhesives.

Tac-Tackifiers.

These are used on mineral soils (not effective on muck soils). keep traffic off these areas. refer to standard

This practice is designed to roughen and bring clods to the surface. it is an emergency measure which should be used before wind erosion starts, begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

This is generally done as an emergency treatment. site is sprinkled with water until the surface is wet. Repeat

Solid board fences, snowfences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind

Calcium chloride.

Apply at rate that will keep surface moist, may need

## Permanent methods

PERMANENT VEGETATION. See specification Ds3 - disturbed area stabilization (with permanent vegetation). Existing trees and large shrubs may afford valuable protection if left in place.

This entails covering the surface with less erosive soil material. see specification Tp - topsoiling.

Cover surface with crushed stone or coarse gravel. see specification Cr - construction road stabilization.

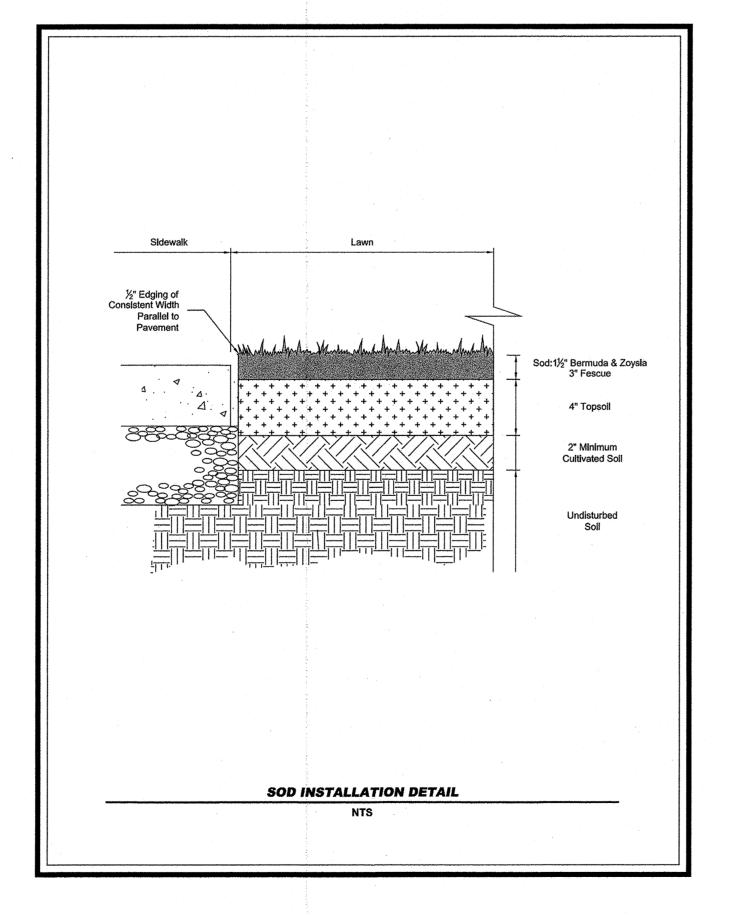


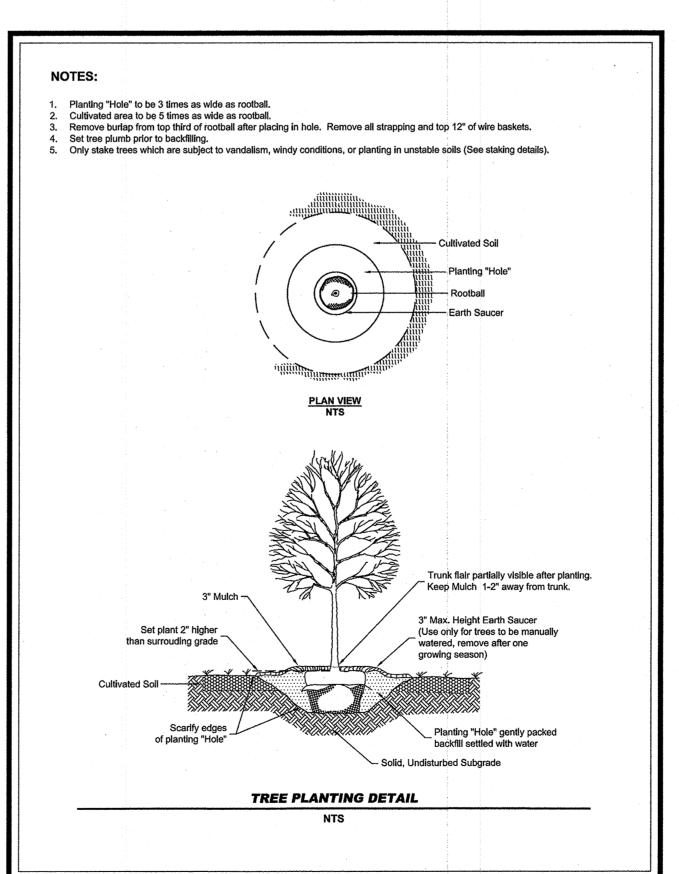
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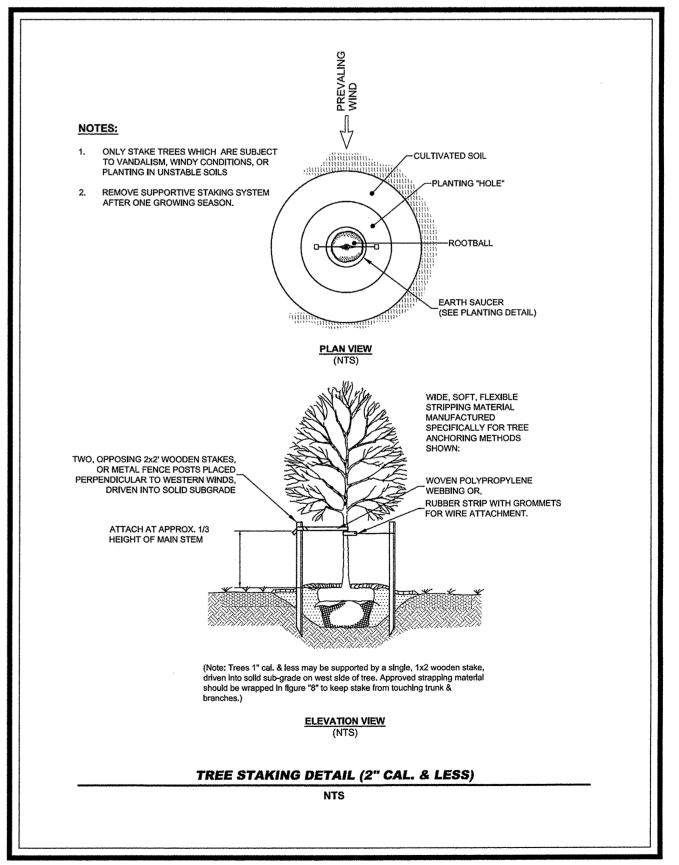
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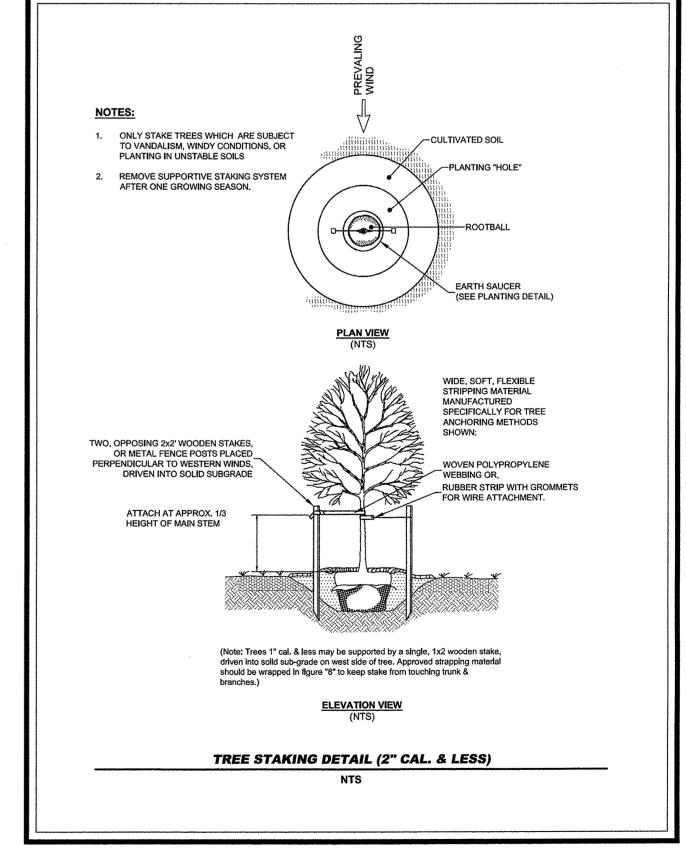
DUST CONTROL ON DISTURBED AREA

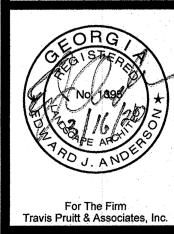
SET PLANT 1" TO 2" HIGHER THAN FINISHED GRADE -FINISHED GRADE SCARIFY EDGES ADD SOIL & TAMP WELL, WATER IN THOROUGHLY CONTAINER SOIL POCKETS & SETTLE. +12" (MIN.) SHRUB PLANTING DETAIL





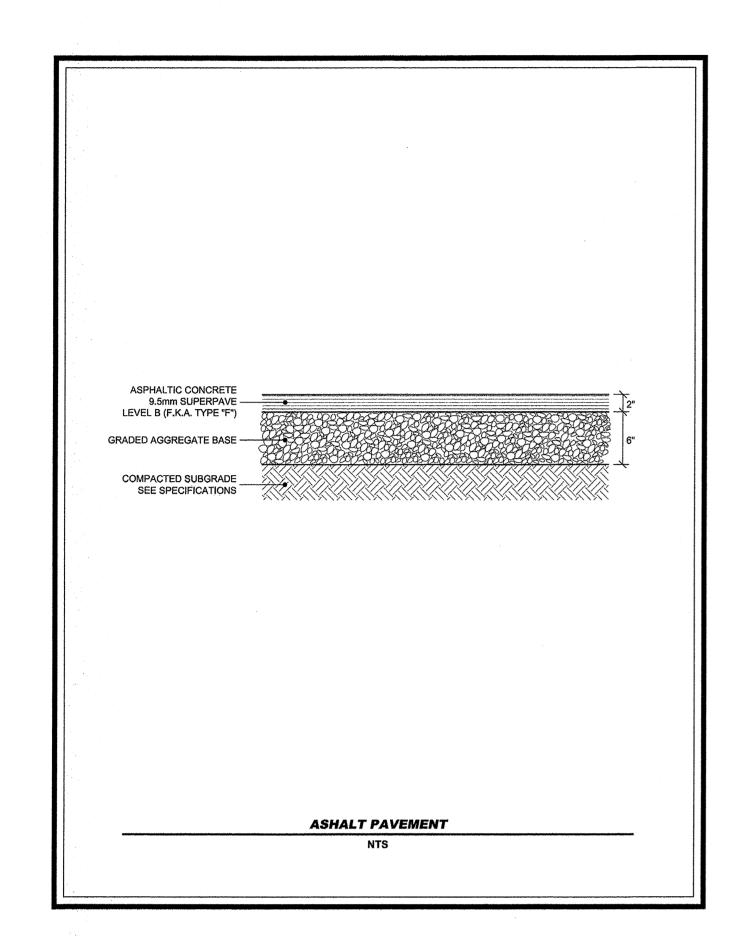


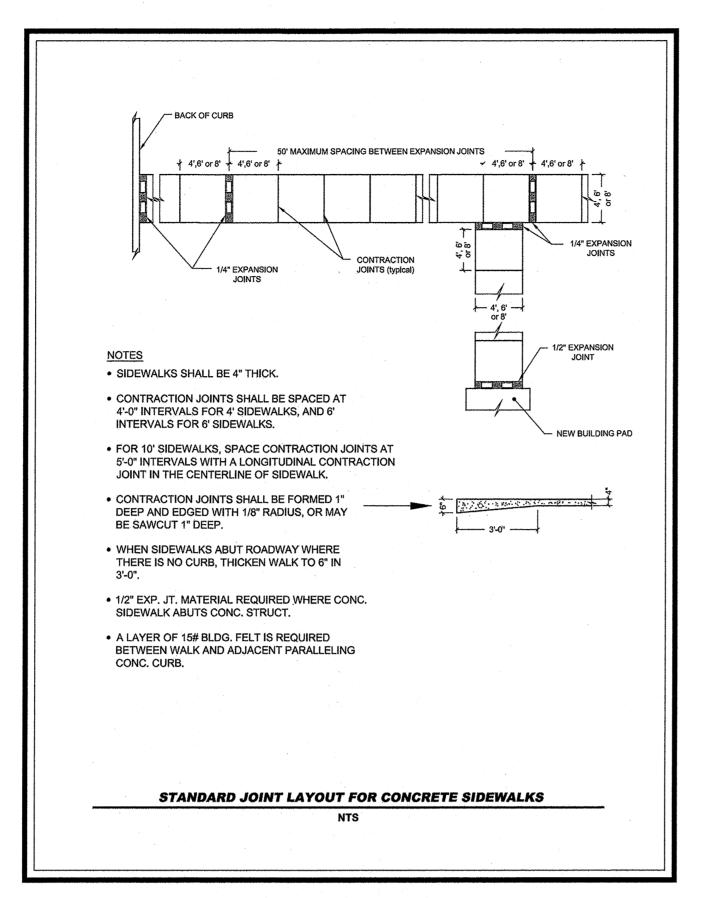


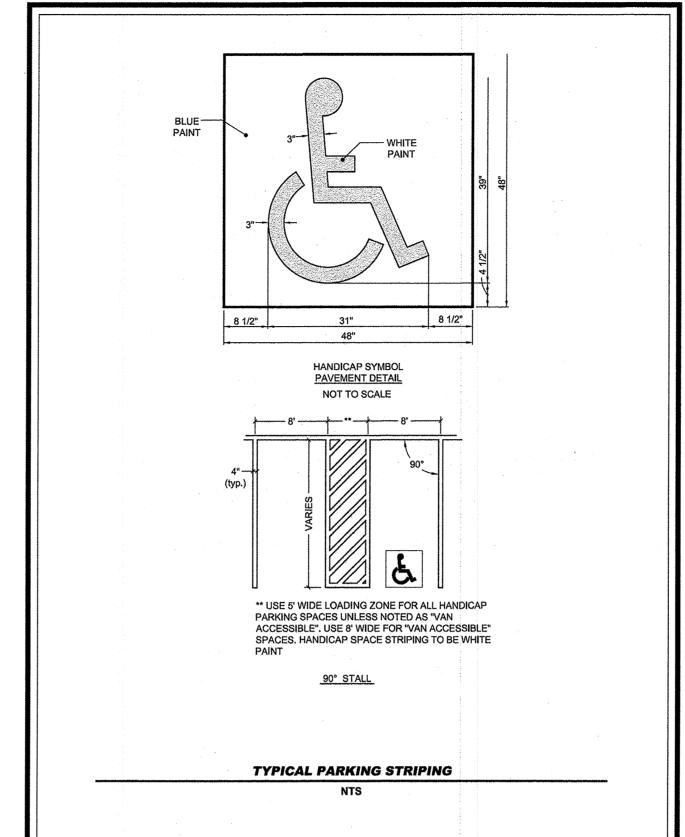


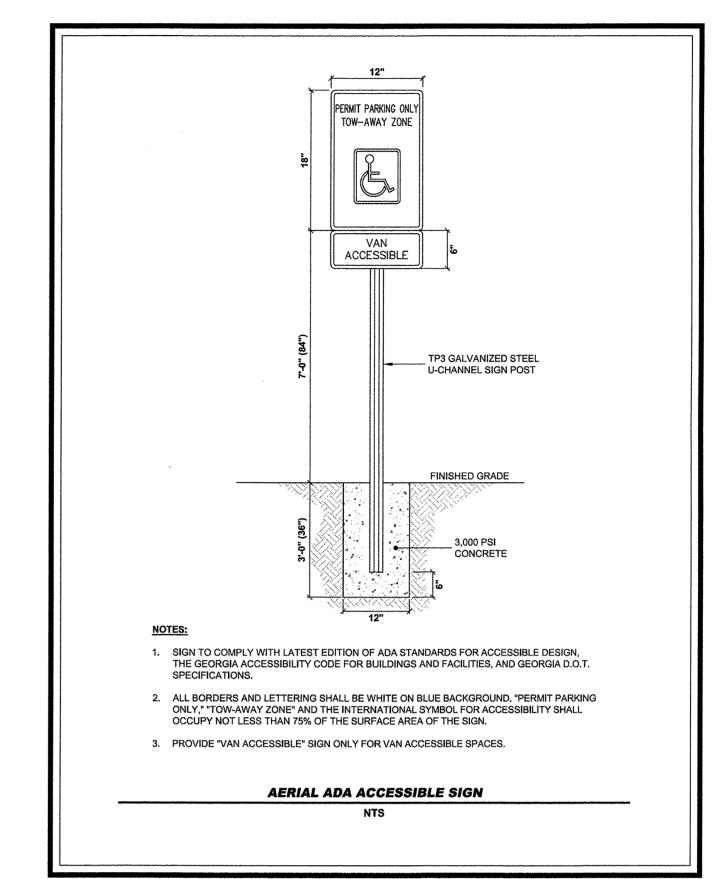
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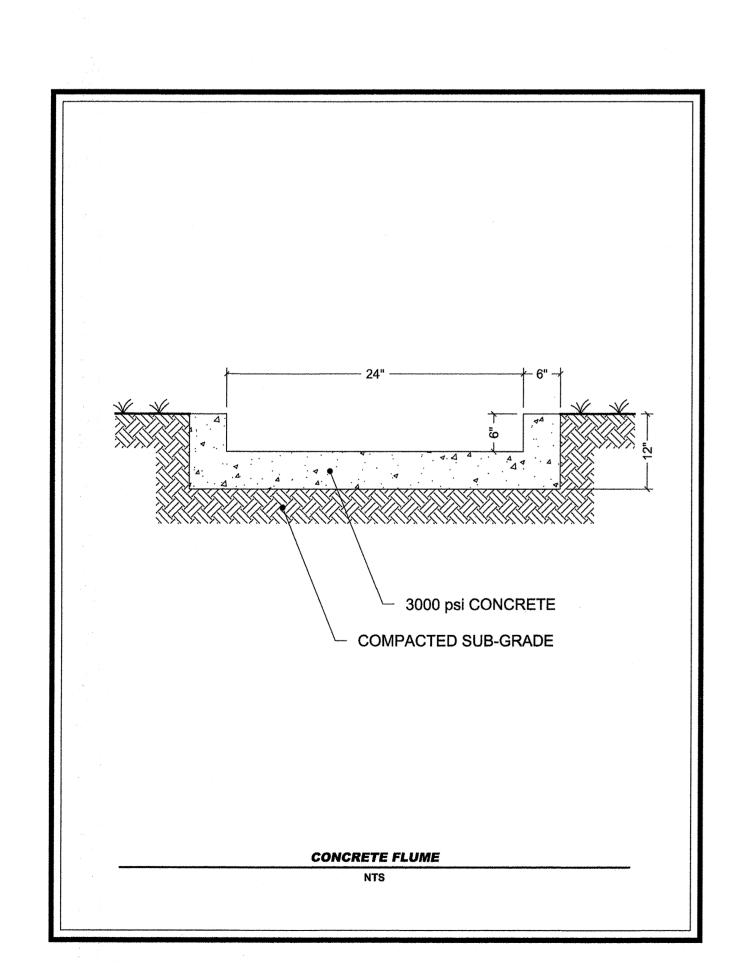
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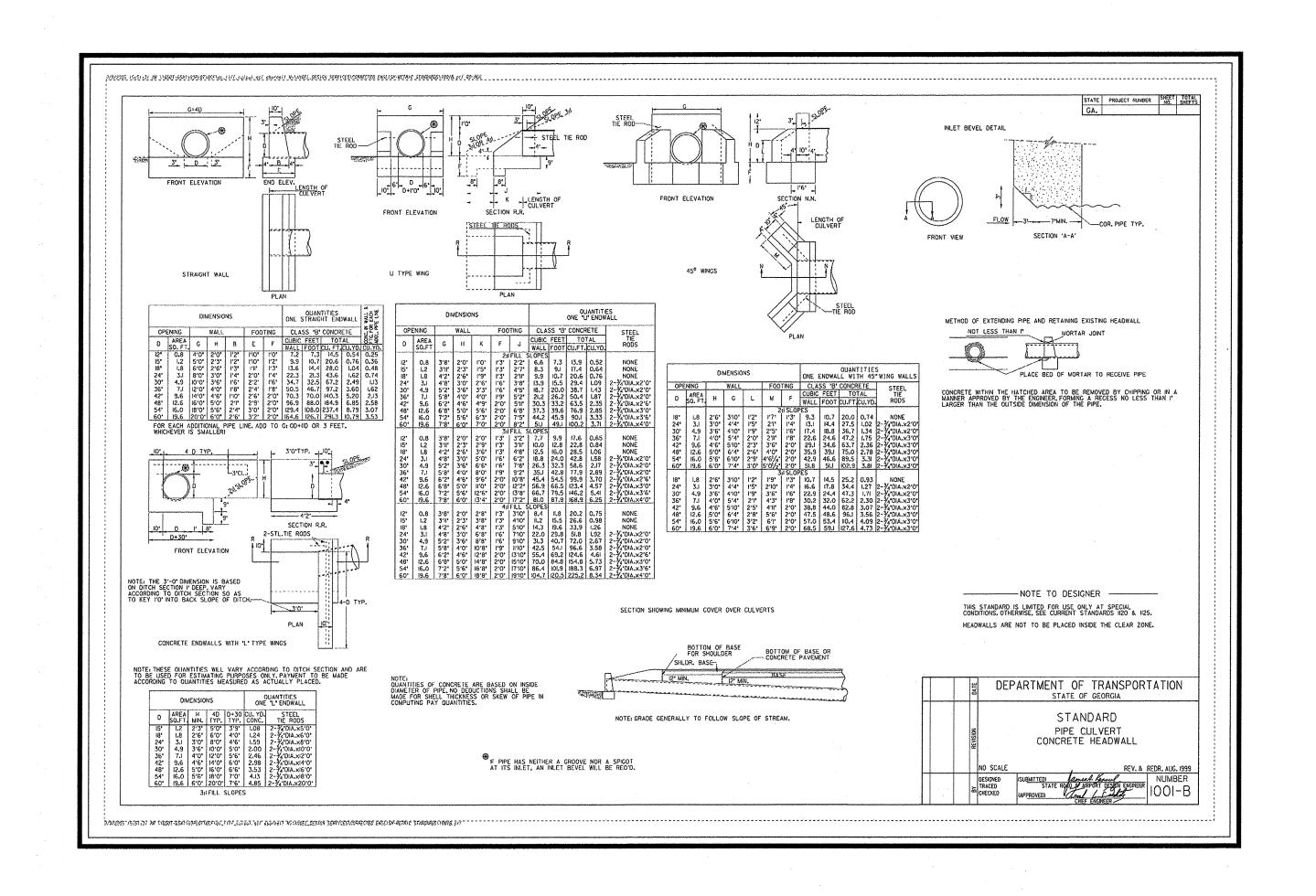


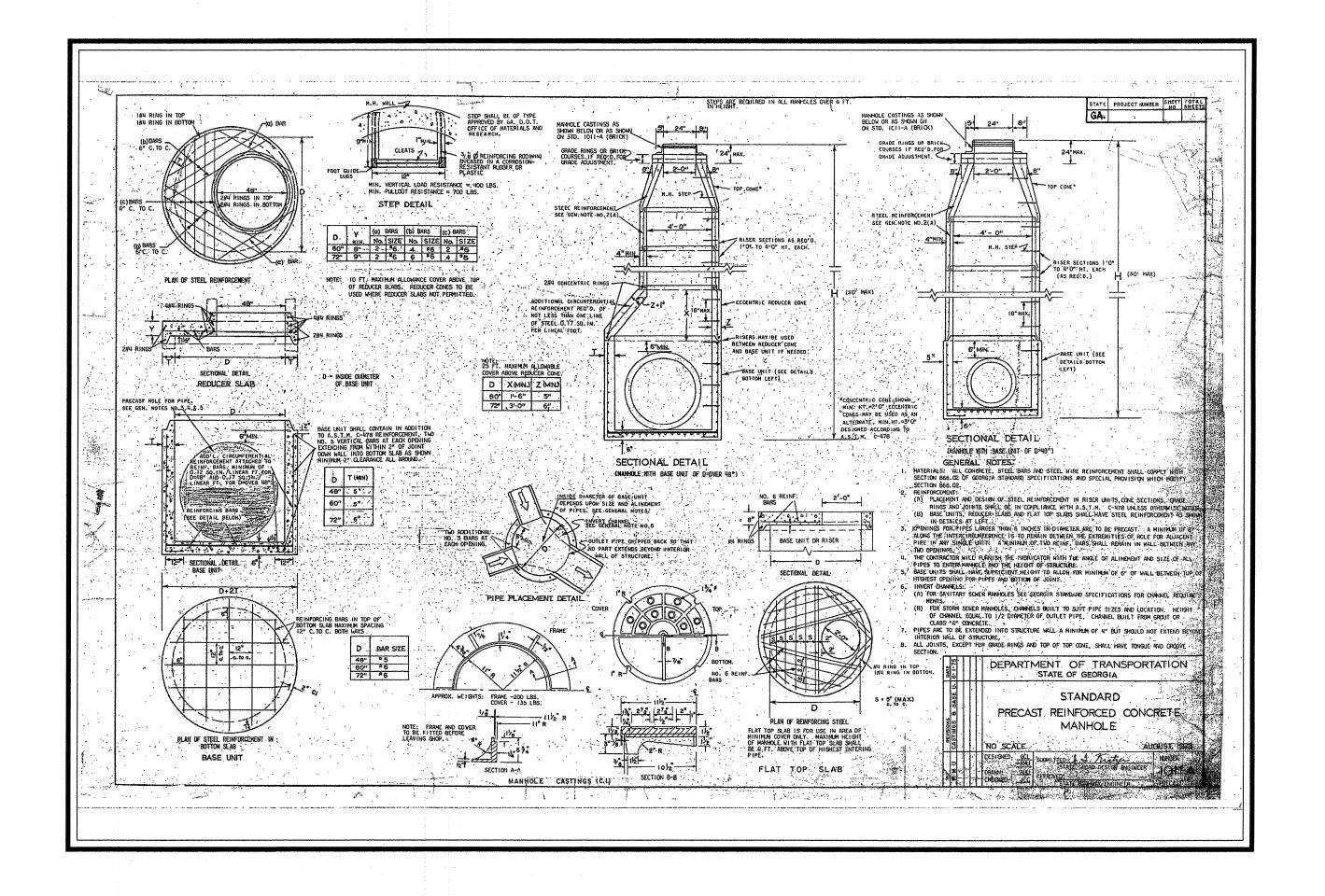
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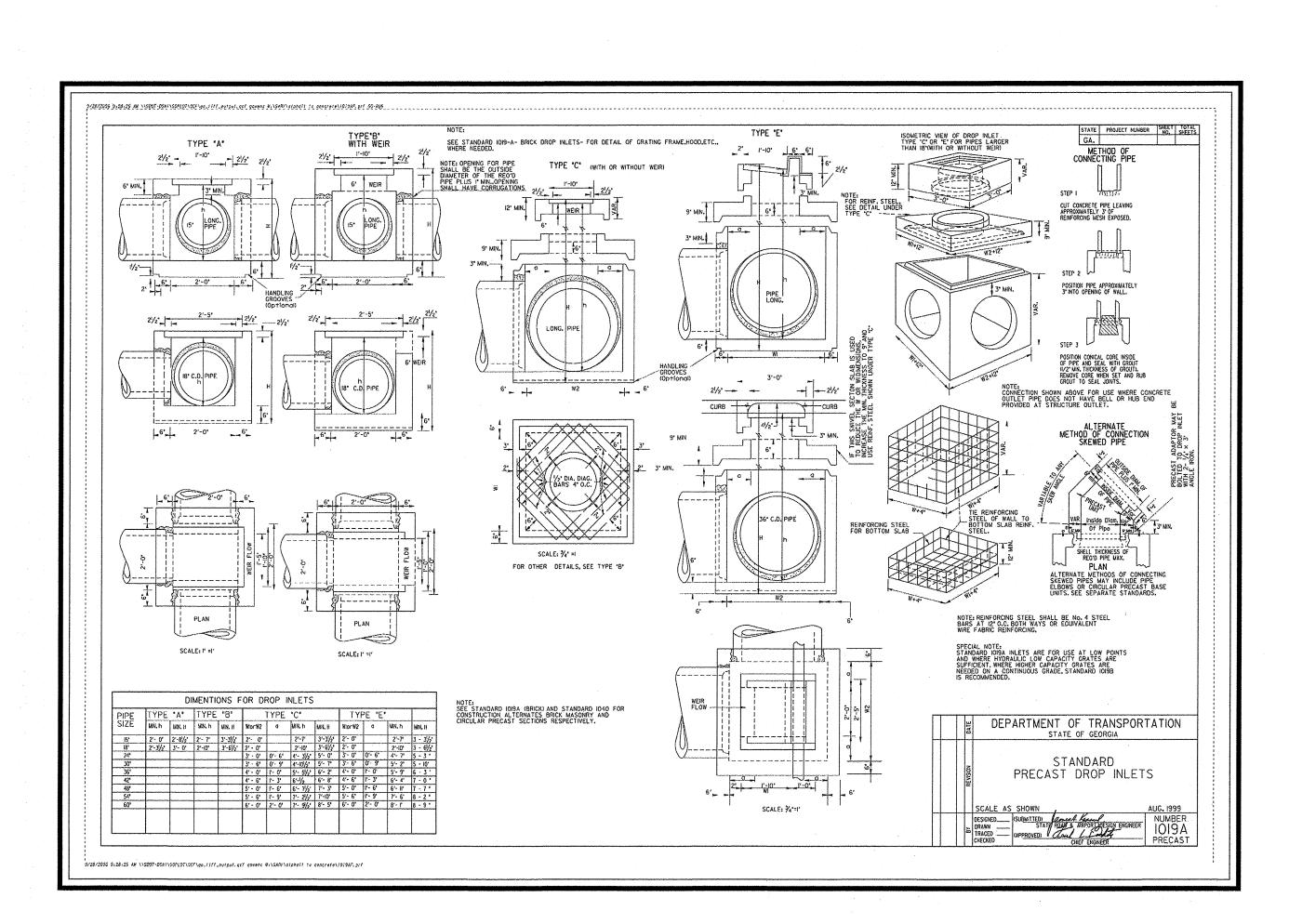
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For The Firm Travis Pruitt & Associates, DATE: 02/14/2020 SCALE: N/A CN: 190452PN

JN: 190452 FN: 166-D-038 SHEET NO: C6.9







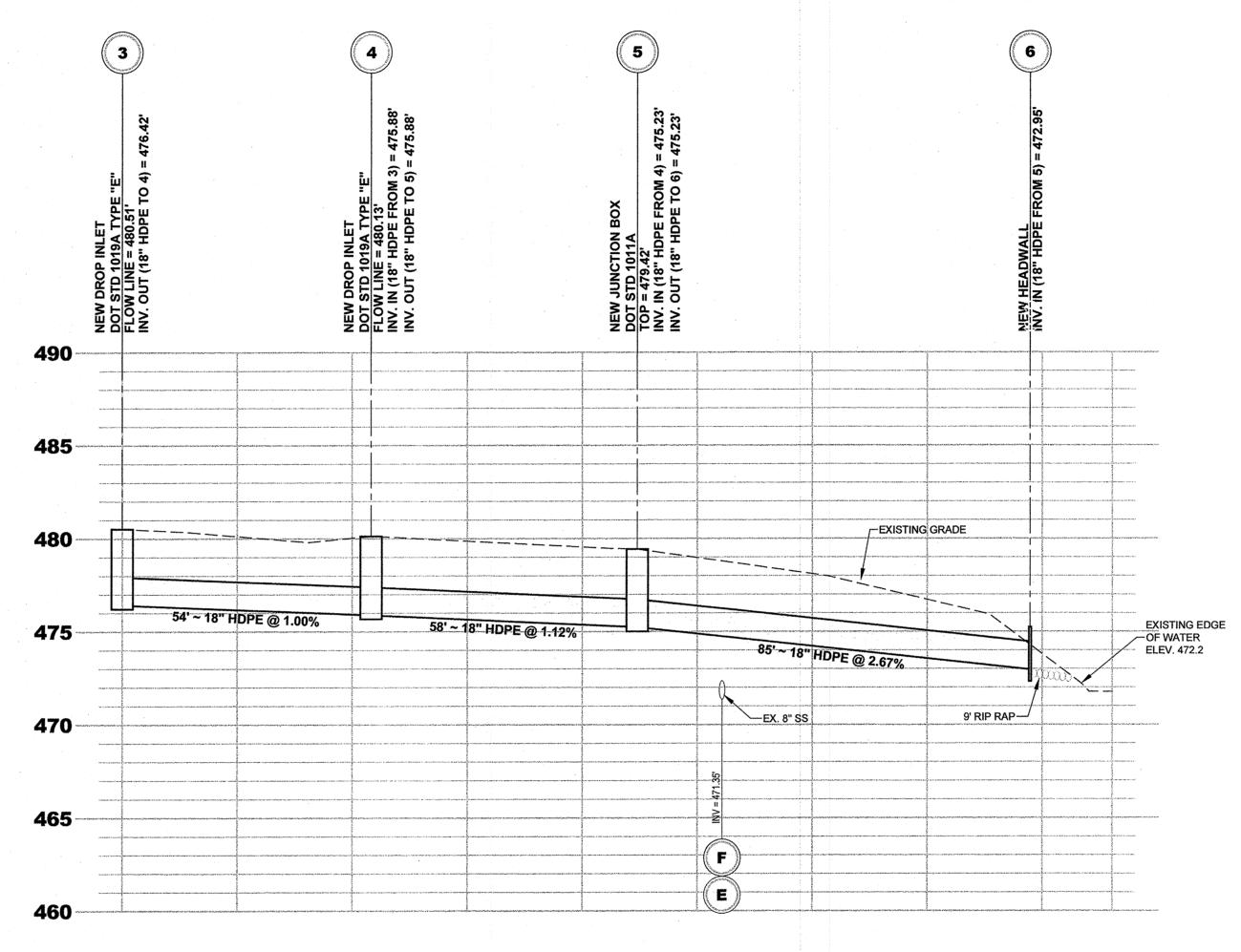


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For The Firm Travis Pruitt & Associates, DATE: 02/14/2020 SCALE: N/A CN: 190452PN N: 190452 FN: 166-D-038 SHEET NO: C6.10

PROPOSED STORM 1-2

Horizontal Scale: 1" = 20' Vertical Scale: 1" = 5'



# **PROPOSED STORM 3-6**

Horizontal Scale: 1" = 20' Vertical Scale: 1" = 5'

NOTE: ALL CORRUGATED METAL PIPE (CMP) SHALL BE TYPE II ALUMINIZED PIPE.

NOTE: ALL CMP WITHIN DETENTION SYSTEM TO BE FULLY ASPHALT COATED.

NOTE: ALL PIPE LENGTHS ARE SCALED LENGTHS FROM CENTER OF STRUCTURE. CONTRACTOR SHALL VERIFY PRIOR TO ORDERING PIPE.

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF <u>ALL</u> EXISTING UTILITIES.
CONTRACTOR SHALL HAVE <u>ALL</u> UTILITIES FLAGGED WITH INVERT ELEVATIONS
PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF <u>ANY/ALL</u> DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.



1-800-282-7411 Know what's below. Call before you dig.

> SCALE: V:1"=5'; H:1"=20' CN: 190452PR JN: 190452

REVISIONS

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JN: 190452 FN: 166-D-038 SHEET NO: C7.0

SITE AREA LIGHT FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LED LUMENS	LED WATTAGE	MOUNTING	NOTES		
OA	LED PARKING AREA (SINGLE HEAD)	LITHONIA, HUBBELL, LUMARK	OLF-3RH-40K-120-DDB	3,100 lm	36 w	WALL	-		
OB	LED PARKING AREA (TWIN HEAD @ 90)	LITHONIA, HUBBELL, LUMARK	(2) RSX1-P1-40K-R4S-120-SPA-HS-DDBXD	6,313 lm	102 w	POLE	1		

# LIGHT FIXTURE SCHEDULE NOTES

1. PROVIDE 12'-0" POLE, LITHONIA #SSS-12-4C-DM29AS-FBC-TC-DDBXD.

SERVICE	WATTS	NOTES	CKT NO.	ABC	CKT NO.	NOTES	WATTS	SERVICE
RCPT - GENERAL	180	-	1	<b>△ĬĬ</b>	2	_	72	LTG - SITE
SPARE		_	3		4	-	174	LTG - SITE
SPARE	-	_	5	-++-	6	_		SPARE
PARE	-	-	7	$ \bigcirc $	8	-		SPARE
SPACE	-	_	9	$ \bigcirc   \downarrow   \bigcirc $	10	-	-	SPARE
SPACE		-	11	$\bigcap \{ \{ \{ \{ \} \} \} \} \}$	12			SPACE
PACE	_	-	13		14	_		SPACE
PACE	-	_	15	$ \bigcirc $	16	-	-	SPACE
PACE	-	_	17		18	_	-	SPACE
PACE	_	-	19	$ \bigcirc $	20	_	<b>,</b> —	SPACE
SPACE	_	-	21		22	_	-	SPACE
SPACE	-	_	23	$ \bigcirc $	24	-		SPACE
SPACE		_	25	$ \bigcirc $	26	-	-	SPACE
SPACE	-	_	27		28	-	_	SPACE
PACE	-	_	29	$\sim$	30	_	-	SPACE

PANEL SCHEDULE "LS"

SERVICE: 120/240 VOLT, 1 PHASE, 3 WIRE

SCALE: N.T.S.

ELECTRICAL RISER DIAGRAM

**BRANCHES: 20/1 EXCEPT AS NOTED** 

MOUNTING: SURFACE (NEMA 3R)

MAINS: 100 AMP WITH 100/2 M.C.B.

CONNECTED LOAD 0.50 KVA

GENERAL NOTES: - PROVIDE SEPARATE GROUND BUS

Ц

- PROVIDE SERVICE ENTRANCE LABEL

- PROVIDE PAD LOCKABLE ENCLOSURE

D. LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE ACTUAL LOCATIONS WITH OTHER TRADES.

E. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES AND PERMITS REQUIRED AND SHALL FURNISH CERTIFICATION

F. ALL MATERIAL SHALL BE NEW AND U.L. APPROVED AND LABELED.

SET-SCREW CONNECTORS. MINIMUM SIZE WIRE TO BE #12 AWG. ALL WIRE SHALL BE COPPER.

H. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE TESTED AND ADJUSTED FOR PROPER OPERATION. COMPLETED

EQUALS AS SCHEDULED ON DRAWINGS. PROVIDE ENGRAVED NAMEPLATES AND TYPED DIRECTORY.

L. DUPLEX RECEPTACLES TO BE SPECIFICATION GRADE, 20A, 120V HUBBELL CAT. #5262-I WITH METAL DEVICE PLATES.

M. LIGHTING FIXTURES AND LAMPS TO BE FURNISHED AND INSTALLED AS INDICATED ON THE FIXTURES SCHEDULE ON

# RISER DIAGRAM NOTES

- COMPANY PRIOR TO ROUGH-IN.
- WEATHERHEAD AND RIGID STEEL CONDUIT BY ELECTRICAL CONTRACTOR.
- UNDERGROUND SERVICE BY GEORGIA POWER COMPANY, COORDINATE PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR TO PROVIDE 1-1/2" PVC CONDUIT. TRANSITION TO RIGID STEEL CONDUIT ABOVE GRADE.
- 3#3 IN 1-1/4" RIGID STEEL CONDUIT.
- 120-VOLT COIL.
- TORK SERIES, 24/7 DIGITAL TIME CLOCK IN NEMA 3R PAD LOCKABLE ENCLOSURE.
- 120 VOLT, 20 DUPLEX RECEPTACLE MOUNT TO UNI-STRUT FRAME. PROVIDE WEATHERPROOF
- 4" SQUARE METAL FENCE POST, EXTEND 3'-0" BELOW GRADE AND ENCASE IN CONCRETE. PROVIDE METAL CAP.
- UNI-STRUT HORIZONTAL BRACING, SECURE TO METAL FENCE POSTS.
- #8 CU GROUND TO (3) 3/4"x8'-0" COPPERWELD GROUND RODS SPACED 6'-0" APART.

# **ELECTRICAL GENERAL NOTES**

- THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED PROJECT TO INSPECT THE EXISTING CONDITIONS AND DETERMINE THE SCOPE OF HIS WORK. THE SITE INSPECTION SHALL BE MADE PRIOR TO SUBMITTING BID FOR THE PROPOSED PROJECT. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL INFORM ARCHITECT PRIOR TO BIDDING OF DISCREPANCIES WHICH EXIST BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- 2. REFER TO RISER DIAGRAM FOR FEEDER SIZES FOR PANELBOARDS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW LIGHTING FIXTURES, RECEPTACLES, PANELBOARDS, ETC. WITH EXISTING STRUCTURE, PIPING, ETC. AND MAKE ADJUSTMENTS AS REQUIRED.
- . Provide arc flash labeling for all electrical equipment per n.e.c. and n.f.p.a.; 70e. Main DISTRIBUTION PANEL OR MAIN SWITCHGEAR MANUFACTURER SHALL PROVIDE A COMPLETE ARC FLASH STUDY AND ALL EQUIPMENT LABELING.
- 5. PROVIDE FINISHED COVER PLATES FOR ALL JUNCTION BOXES.
- BRANCH CIRCUIT CONDUCTORS SHALL NOT BE SMALLER THAN NO.12 AND WHERE BRANCH CIRCUIT CONDUCTOR RUNS FROM SOURCE (PANEL) TO THE LAST DEVICE ON THE CIRCUIT EXCEEDS 100 FT. IN LENGTH, THE CONDUCTORS SHALL BE NO. 10 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. FOR RUNS OVER 200 FT. IN LENGTH THE CONDUCTOR SHALL BE NO. 8 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. THE ABOVE APPLIES TO 120 VOLT CIRCUITS ONLY.
- CONTRACTOR SHALL ASSURE THAT ALL WORK CLEARANCES PER THE N.E.C ARE MET OR EXCEEDED WITH EQUIPMENT FURNISHED PRIOR TO ROUGH-IN. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE ELECTRICAL PLANS.
- 8. BRANCH CIRCUITING WIRES SHALL NOT PASS THROUGH ELECTRICAL DEVICES (PANELS, DISCONNECT SWITCHES, CONTACTORS, ETC.) OTHER THAN THOSE DESIGNED FOR THE USE AS A JUNCTION BOX.
- WIRE NUTS ARE NOT PERMITTED WITH IN THE ELECTRICAL PANEL OR ELECTRICAL DEVICES. ALL WIRING SHALL BE PULLED AT REQUIRED LENGTHS WITH OUT SPLICING WITHIN ELECTRICAL PANELS AND OTHER ELECTRICAL DEVICES.
- 10. PROVIDE DEDICATED NEUTRALS FOR ALL CIRCUITS, DO NOT SHARE NEUTRALS.
- 11. PROVIDE AND INSTALL ALL CONDUIT AND POWER CIRCUITS FOR VIDEO SURVEILLANCE SYSTEM. REFER TO LOW VOLTAGE DRAWINGS FOR ALL CONDUIT AND POWER REQUIREMENTS.

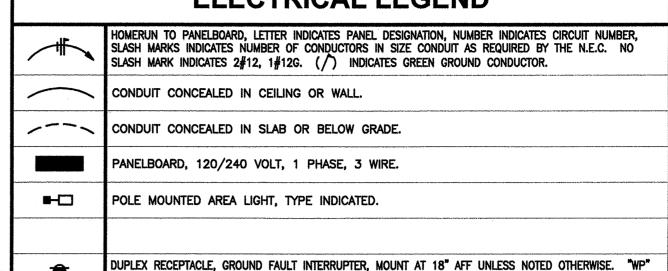
# **ELECTRICAL SPECIFICATIONS**

- A. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT FOR COMPLETE ELECTRICAL
- B. ALL WORK SHALL CONFORM TO REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND APPLICABLE STATE AND
- C. WORKMANSHIP SHALL BE FIRST QUALITY AND IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE BY SKILLED

- OF INSPECTION TO OWNER AT THE COMPLETION OF PROJECT.
- G. UNLESS OTHERWISE NOTED, ALL WIRING ABOVE GRADE SHALL BE TYPE THW 75 DEGREES C IN EMT WITH
- WIRING SYSTEM SHALL BE FREE OF SHORT CIRCUITS.
- PANELBOARDS SHALL BE SQUARE-D TYPE "NQOD" FOR 120/240, 1 PHASE, 3 WIRE SYSTEM OR APPROVED

- NEW POLE MOUNTED TRANSFORMER, 120/240 VOLT, 1 PHASE, 3 WIRE. COORDINATE EXACT LOCATION, DETAILS AND METERING OF POLE MOUNTED TRANSFORMERS WITH GEORGIA POWER
- CT'S AND METERING BY GEORGIA POWER COMPANY, COORDINATE PRIOR TO ROUGH-IN.
- 4-POLE LIGHTING CONTACTOR IN NEMA 3R PAD LOCKABLE ENCLOSURE WITH H-O-A SWITCH AND
- STEEL ENCLOSURE WITH METAL IN-USE COVER.





INDICATES NEMA 3R WEATHERPROOF ENCLOSURE WITH "IN-USE" COVER.

	ABBREVIATION LEGEND					
ABBREVIATION	DESCRIPTION					
A.F.F.	ABOVE FINISHED FLOOR					
C.B.	CIRCUIT BREAKER					
EX	EXISTING DEVICE TO REMAIN					
EXR	EXISTING DEVICE TO BE RELOCATED					
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT TYPE RECEPTACLE					
M.C.B.	MAIN CIRCUIT BREAKER					
M.L.O.	MAIN LUGS ONLY					
N.F.	NON FUSED					
N.T.S.	NOT TO SCALE					
W.P.	WEATHER PROOF (NEMA "3R") DEVICE					

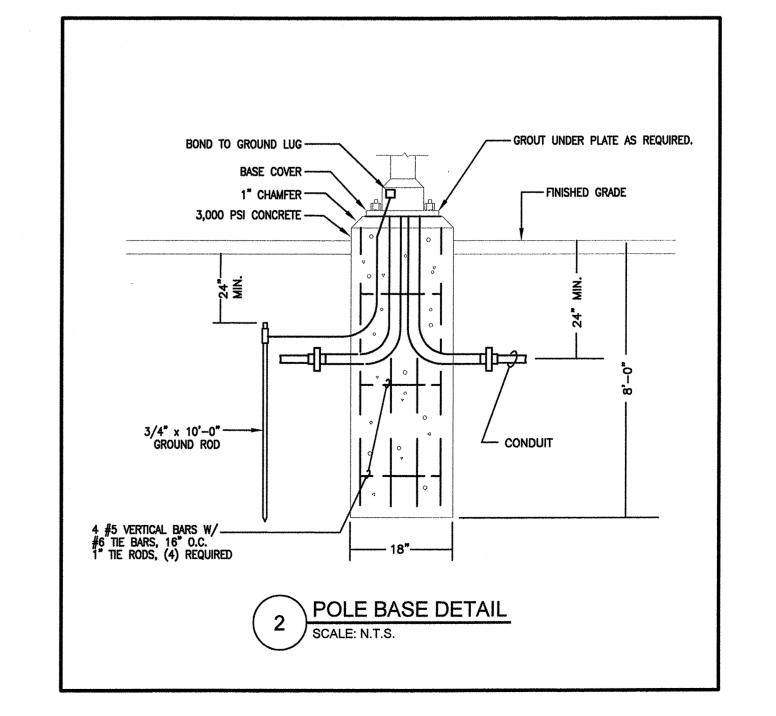
# **COMPLETION DOCUMENTS**

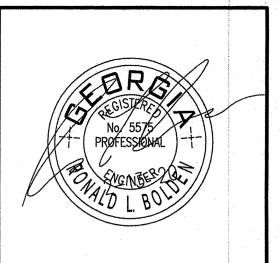
WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE BY THE CONTRACTOR, 3 COPIES OF RECORD AS-BUILT DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING THE FOLLOWING:

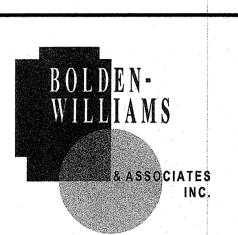
- A. A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM.
- B. FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION.

WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, 3 COPIES OF OPERATING AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OWNER BY THE CONTRACTOR. THE MANUALS SHALL INCLUDE, AT A MINIMUM,

- SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
- OPERATIONS MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
- NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
- D. A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.







3066 Highway 29 South Lawrenceville, Georgia 30044 (T) 770.279.0413 (F) 770.925.4263

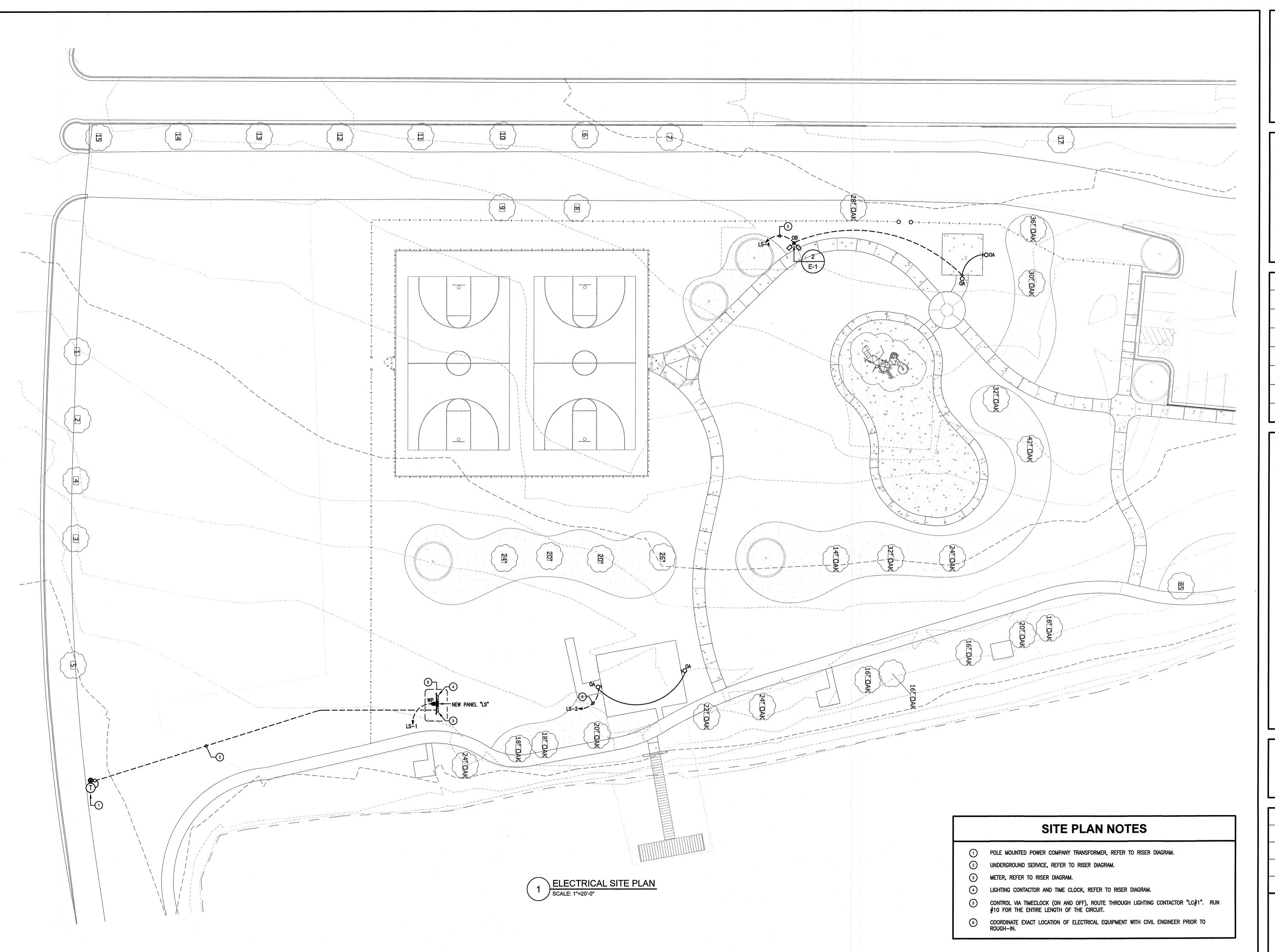
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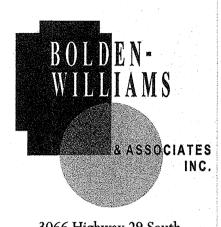
SHEET TITLE

Electrical Legend, Notes and Riser Diagram

DATE: 13 FEBRUARY 2020 PROJECT NO: 20/9076 AS NOTED SCALE: M.T.F. DRAWN BY: J.B.W. CHECKED BY:







3066 Highway 29 South Lawrenceville, Georgia 30044 (T) 770.279.0413 (F) 770.925.4263

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FREEDOM PARK - PHASE 3
MACON-BIBB COUNTY
PARKS & RECREATION

SHEET TITLE
Electrical
Site Plan

DATE: 13 FEBRUARY 2020
PROJECT NO: 20/9076
SCALE: AS NOTED
DRAWN BY: M.T.F.
CHECKED BY: J.B.W.

E-2